

COMMUNITY WORKSHOP

Monday, May 19, 2025

The attached documents have been submitted by the applicant for the following item:

1. PROJECT NAME: Esplanade T-Mobile Wireless Facility; PLANNING AND ZONING PERMIT NO. 24-530-06 (Special Use Permit - Wireless); Rio Lindo Neighborhood

A request to construct a wireless communication stealth facility within a 450 square-foot lease area on a 4.10 acre site located at 600 East Esplanade Drive (APN: 142-0-022-565) within the General Commercial Planned Development (C-2-PD) zone. Development includes several new antennae and associated equipment within a screened lease area on the roof of the existing hotel. The project is exempt from environmental review pursuant to Section 15303 (New Construction of Small Structures), Class 3 of the California Environmental Quality Act (CEQA) Guidelines.

Applicant: Sydney McLaughlin, Smartlink Group
City Contact: Rogelio Solis, Case Planner

Phone: (443) 789-0010
Phone: (805) 385-7850

For additional project information, please direct your inquiry to the listed contacts, or call the Planning Division at (805) 385-7858

Para información en español, favor de llamar al (805) 385-7858

T-Mobile



SITE NUMBER: SV14303A
SITE NAME: SV00267A REPLACEMENT
SITE TYPE: ROOFTOP
PROJECT TYPE: REPLACEMENT

ADDRESS: 600 E. ESPLANADE DR.
OXNARD, CA 93036
COUNTY: VENTURA
JURISDICTION: CITY OF OXNARD

PLANS PREPARED BY:



CONSULTING GROUP:



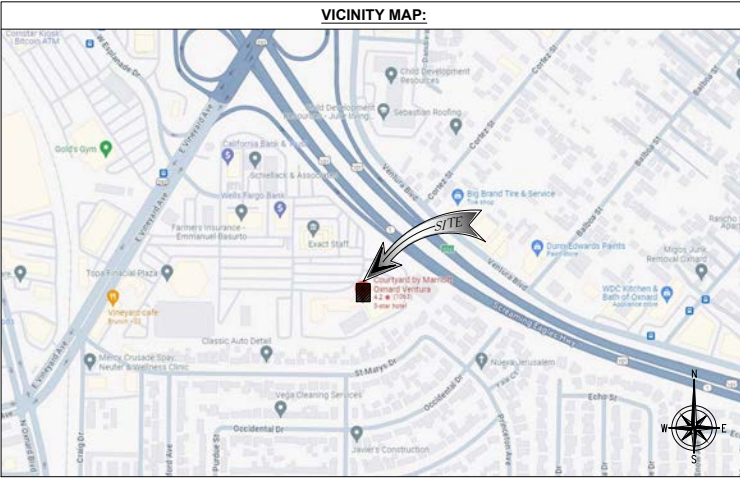
1875 CORONADO AVE
 SIGNAL HILL, CALIFORNIA 90755

A NUWAVE COMPANY

PROJECT DIRECTORY:
SITE ADDRESS: 600 E. ESPLANADE DR. OXNARD, CA 93036
GEODETIC COORDINATES: LATITUDE: 34° 13' 40.4" N (34.227890) LONGITUDE: 119° 10' 17.4" W (-119.171496)
PROPERTY OWNER: JS HOSPITALITY GROUP LLC 20342 SW ACACIA ST NEWPORT BEACH, CA 92660
APPLICANT: T-MOBILE WEST CORPORATION 3257 EAST GUASTI ROAD OXNARD, CA 91761
BUILDING SUMMARY: OCCUPANCY CLASSIFICATION: U TYPE OF CONSTRUCTION: GENERAL COMMERCIAL PLANNED AND DEVELOPMENT (C-2-PD) ZONING: 142-G-022-56 ASSESSORS PARCEL NUMBER:

SHEET INDEX:

SHEET NUMBER:	DESCRIPTION:
T-1	TITLE SHEET
T-2	ABBREVIATIONS, SYMBOLS, GENERAL NOTES & SPECIFICATIONS
T-3	RF SIGNAGES
LS-1	LANDSCAPE PLANS
LS-2	LANDSCAPE PLANS
A-0	PARCEL MAP
A-1	SITE PLAN
A-2	ENLARGED ROOF PLAN
A-3	NEW EQUIPMENT LAYOUT
A-3.1	NEW EQUIPMENT AREA ELEVATIONS
A-4	NEW ANTENNA SCHEDULE, NEW ANTENNA LAYOUT
A-5	ELEVATIONS
A-6	ELEVATIONS
A-7	ELEVATIONS
A-8	ELEVATIONS
D-1	DETAILS
D-2	DETAILS
D-3	DETAILS
D-4	DETAILS



PROJECT SUMMARY:
 REPLACEMENT RFDS VER. #1 03/07/2024
 THIS PROJECT INCLUDES THE MODIFICATIONS TO AN EXISTING T-MOBILE WIRELESS FACILITY, INCLUDING:
ANTENNA LOCATION:
 • INSTALL 3 (N) AIR419 841 PANEL ANTENNAS (1 PER SECTOR)
 • INSTALL 3 (N) 84059066 PANEL ANTENNAS (1 PER SECTOR)
 • INSTALL 3 (N) RRU5-4480 B71+885 (1 PER SECTOR)
 • INSTALL 3 (N) RRU5-4480 B25+866 (1 PER SECTOR)
 • INSTALL 1 (N) 8'-3"x18'-0" FRP SCREEN
 • INSTALL 1 (N) 8'-1"x18'-0" FRP SCREEN
EQUIPMENT LOCATION:
 • INSTALL (N) STEEL PLATFORM 3'-2"x6'-0"
 • INSTALL 1 (N) 10'-0" LONG FRP SCREEN
 • INSTALL 1 (N) 6160 V2 ENCLOSURE CABINETS
 • INSTALL 1 (N) 8160 BATTERY CABINET
 • INSTALL 2 (N) RP4651
 • INSTALL 1 (N) 6601 V2 CHASSIS
 • INSTALL 1 (N) IRE ROUTER
 • INSTALL 1 (N) DU220
 • INSTALL 3 (N) 6x24 HCS 4WIG 30M
 • INSTALL 1 (N) 200A RPS
 • INSTALL 1 (N) TELCO BOX
 • INSTALL 2 (N) WORK LIGHTS
 • INSTALL 1 (N) ACCESS LADDER
 • INSTALL (N) ROOF AND WALL MOUNTED CABLE TRAY PER PLAN

NO. OF PARKING:	141
PARKING COVERAGE (%):	65635.61 SQ. FT. (36.75)
LANDSCAPE COVERAGE (%):	45091.35 SQ. FT. (25.25)
PAVEMENT COVERAGE (%):	12144.66 SQ. FT. (6.80)
PROJECT BUILDING (%):	45723.66 SQ. FT. (25.60)
SECOND BUILDING (%):	10000.72 SQ. FT. (5.60)
TOTAL LOT COVERAGE:	178566.00 SQ. FT.
AREA OF WORK APPROXIMATELY:	450FT

APPROVALS:
 THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL CONSTRUCTION DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND ANY CHANGES AND MODIFICATIONS THEY MAY IMPOSE.

	PRINT NAME	SIGNATURE	DATE
LANDLORD			
DEVELOP. MGR			
CONST. MGR			
ZONING MGR			
RF ENGINEER			
OPERATIONS			
SAC REP.			
UTILITIES			

DRIVING DIRECTIONS:
 DIRECTIONS FROM T-MOBILE OFFICE:
 • GET ON I-10 W FROM E GUASTI RD, HEAD WEST TOWARD E GUASTI RD, TURN LEFT TOWARD E GUASTI RD, TURN RIGHT ONTO E GUASTI RD, CONTINUE STRAIGHT TO STAY ON E GUASTI RD, USE THE 2ND FROM THE RIGHT LANE TO TURN RIGHT ONTO N ARCHIBALD AVE, USE THE LEFT 2 LANES TO TURN LEFT TO MERGE ONTO I-10 W TOWARD LOS ANGELES, TAKE CA-210 W, I-210 W, CA-118 W, CA-23 S AND US-101 N TO CA-232 S/E VINEYARD AVE IN OXNARD, TAKE EXIT 62A FROM US-101 N, MERGE ONTO I-10 W, KEEP LEFT TO STAY ON I-10 W, TAKE EXIT 48 FOR MONTE VISTA AVE, USE THE RIGHT 2 LANES TO TURN RIGHT ONTO MONTE VISTA AVE, CONTINUE STRAIGHT TO STAY ON MONTE VISTA AVE, TURN RIGHT ONTO E BASELINE RD, TURN LEFT TO MERGE ONTO CA-210 W, CONTINUE ONTO I-210 W, KEEP RIGHT AT THE FORK TO STAY ON I-210 W, FOLLOW SIGNS FOR SACRAMENTO, USE THE RIGHT 2 LANES TO TAKE EXIT 6B FOR CA-118 W TOWARD VENTURA, CONTINUE ONTO CA-118 W, CONTINUE ONTO CA-118 W, CONTINUE ONTO CA-23 S, USE THE RIGHT 2 LANES TO TAKE EXIT 12B TO MERGE ONTO US-101 N TOWARD VENTURA, TAKE EXIT 62A FOR VINEYARD AVE/CA-232, CONTINUE ON CA-232 S/E VINEYARD AVE TO YOUR DESTINATION, USE THE LEFT 2 LANES TO TURN LEFT ONTO CA-232 S/E VINEYARD AVE, USE THE LEFT 2 LANES TO TURN LEFT ONTO E ESPLANADE DR, TURN RIGHT, TURN LEFT, DESTINATION WILL BE ON THE RIGHT.

CONSULTING TEAM:
SAC/ZONING/PERMITTING: SMARTLINK GROUP 10 CHURCH CIRCLE ANNAPOLIS, MD 21401 CONTACT: SIDNEY MCCLAUGHLIN EMAIL: SIDNEY.MCCLAUGHLIN@SMARTLINKGROUP.COM
DESIGN ENGINEERING: INTELOCITY, LLC 1875 CORONADO AVENUE SIGNAL HILL, CA 90755 CONTACT: MARTIN OLGUN EMAIL: MARTIN.OLGUN@INTELOCITY.COM

APPLICABLE CODES
BUILDING CODE REFERENCE:
 ALL WORK IS TO COMPLY WITH THE THE 2022 CALIFORNIA BUILDING STANDARDS CODE (CAL. CODE REGS., TITLE 24):
 • 2022 CALIFORNIA BUILDING CODE
 • 2022 CALIFORNIA TITLE 24
 • 2022 CALIFORNIA FIRE CODE
 • 2022 CALIFORNIA ENERGY CODE
 • 2022 CALIFORNIA MECHANICAL CODE
 • TIA/EIA-222-H OR LATEST EDITION

NO.	DATE	DESCRIPTION	BY:
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2	06/28/24	100% ZD'S	MVC
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7	12/19/24	REVISED 100% ZD'S	JG

SITE INFORMATION:
SV00267A REPLACEMENT
SV14303A
 600 E. ESPLANADE DR.
 OXNARD, CA 93036



SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1

Occupational Safety and Health Administration (OSHA) Requirements

OSHA requires that those in the Occupational classification must complete training in RF Safety, RF Awareness, and Utilization of Personal Protective Equipment. OSHA also provides options for Hazard Prevention and Control:

Hazard Prevention	Control
<ul style="list-style-type: none"> Utilization of good equipment Enact control of hazard areas Limit exposures Employ medical surveillance and accident response 	<ul style="list-style-type: none"> Employ Lockout/Tag out Utilize personal alarms & protective clothing Prevent access to hazardous locations Develop or operate an administrative control program

RF SIGNAGE AND BARRIERS

All RF signs should be obeyed by at all times.

NOTICE
GUIDELINES FOR WORKING IN RADIO FREQUENCY ENVIRONMENTS

- All personnel should have electromagnetic energy (EME) awareness training.
- All personnel entering this site must be authorized.
- Obey all posted signs.
- Assume all antennas are active.
- Before working on antennas, notify owners and disable appropriate transmitters.
- Maintain minimum 3 feet clearance from all antennas.
- Do not stop in front of antennas.
- Use personal RF monitors while working near antennas.
- Never operate transmitters without shields during normal operation.
- Do not operate base station antennas in equipment room.

TM-AL-161

IN CASE OF EMERGENCY
CALL
1-888-662-4662

Antenna Structure Registration Number
1234567

SITE NUMBER:
SITE NAME:

Per 47 CFR 17.4 (g)

INFORMATION
Federal Communications Commission
Tower Registration Number
1 2 3 4 5 6 7
Posted in accordance with Federal Communications Commission rules on antenna tower registration 47CFR 17.4(g)

INFORMATION
This is an **ACCESS POINT** to an area with transmitting antennas.
Obey all postings and boundaries beyond this point.
Call T-Mobile at 877-611-5868 for more information.
STATE: _____ SWITCH: _____
SITE ID/PSLC: _____
T-Mobile

NOTICE



Transmitting antennas may cause radio frequency fields beyond this point that may exceed the FCC general public exposure limit.
Obey all posted signs and site guidelines for working in radio frequency environments.
In accordance with Federal Communications Commission rules on radio frequency exposure 47 CFR 1.1307(b)
For information contact: 877-611-5868
T-Mobile

CAUTION



Beyond this point: Radio frequency fields from transmitting antennas at this site may exceed FCC rules for human exposure.
For your safety, obey all posted signs and site guidelines for working in radio frequency environments.
In accordance with Federal Communications Commission rules on radio frequency exposure 47 CFR 1.1307(b)
For information contact: 877-611-5868
T-Mobile

WARNING



Beyond this point: Radio frequency fields from transmitting antennas at this site exceed FCC rules for human exposure.
Failure to obey all posted signs and site guidelines for working in radio frequency environments could result in serious injury.
In accordance with Federal Communications Commission rules on radio frequency exposure 47 CFR 1.1307(b)
For information contact: 877-611-5868
T-Mobile

DANGER



Beyond this point: Radio frequency fields from transmitting antennas at this site exceed FCC rules for human exposure. Immediate and serious injury will occur on contact.
Failure to obey all posted signs and site guidelines for working in radio frequency environments could result in serious injury.
In accordance with Federal Communications Commission rules on radio frequency exposure 47 CFR 1.1307(b)
For information contact: 877-611-5868
T-Mobile

T-Mobile

PLANS PREPARED BY:



CONSULTING GROUP:

INTELOCITY
DESIGN | BUILD | INNOVATE

1875 CORONADO AVE
SIGNAL HILL, CALIFORNIA 90755

A NUWAVE COMPANY

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SITE INFORMATION:

SV00267A REPLACEMENT
SV14303A

600 E. ESPLANADE DR.
OXNARD, CA 93036

SEAL:



SHEET TITLE:

RF SIGNAGES

SHEET NUMBER:

T-3

If there are workers in an area with a sign that they do not understand, they can call the NOC Number at 877-611-5868 for guidance.

LEGEND

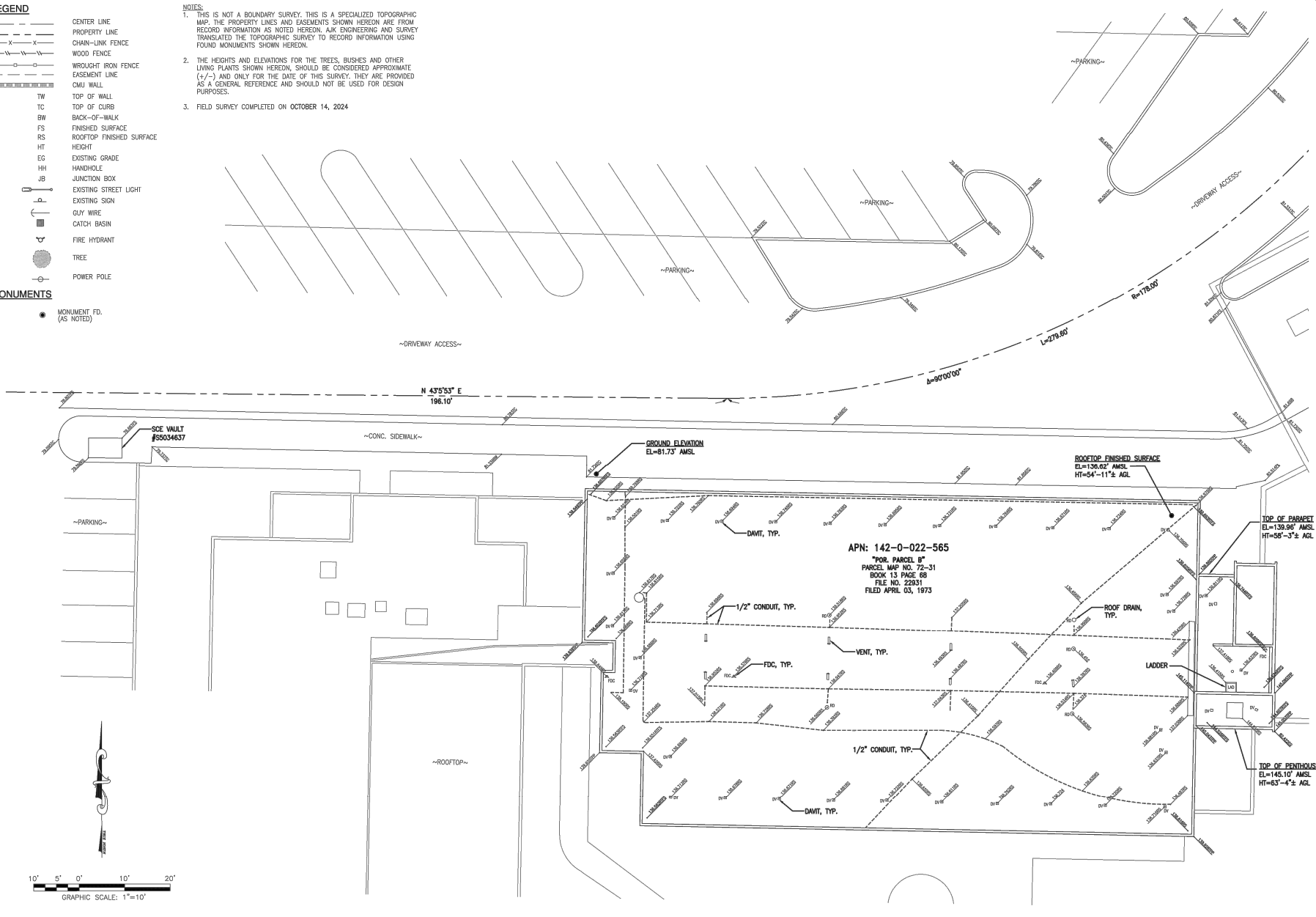
- — — CENTER LINE
- — — PROPERTY LINE
- x — x — CHAIN-LINK FENCE
- W — W — WOOD FENCE
- o — o — WROUGHT IRON FENCE
- — — EASEMENT LINE
- — — CMU WALL
- — — TW TOP OF WALL
- — — TC TOP OF CURB
- — — BW BACK-OF-WALK
- — — FS FINISHED SURFACE
- — — RS ROOFTOP FINISHED SURFACE
- — — HT HEIGHT
- — — EG EXISTING GRADE
- — — WH HANDHOLE
- — — JB JUNCTION BOX
- — — Existing Street Light
- — — Existing Sign
- — — GUY WIRE
- — — CATCH BASIN
- — — FIRE HYDRANT
- — — TREE
- — — POWER POLE

MONUMENTS

- MONUMENT FD. (AS NOTED)

NOTES:

1. THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP. THE PROPERTY LINES AND EASEMENTS SHOWN HEREON ARE FROM RECORD INFORMATION AS NOTED HEREON. AJK ENGINEERING AND SURVEY TRANSLATED THE TOPOGRAPHIC SURVEY TO RECORD INFORMATION USING FOUND MONUMENTS SHOWN HEREON.
2. THE HEIGHTS AND ELEVATIONS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.
3. FIELD SURVEY COMPLETED ON OCTOBER 14, 2024.



ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	10/18/24	PRELIMINARY SURVEY	AB



PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO AJK MOBILE.
 ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO MOBILE IS STRICTLY PROHIBITED.

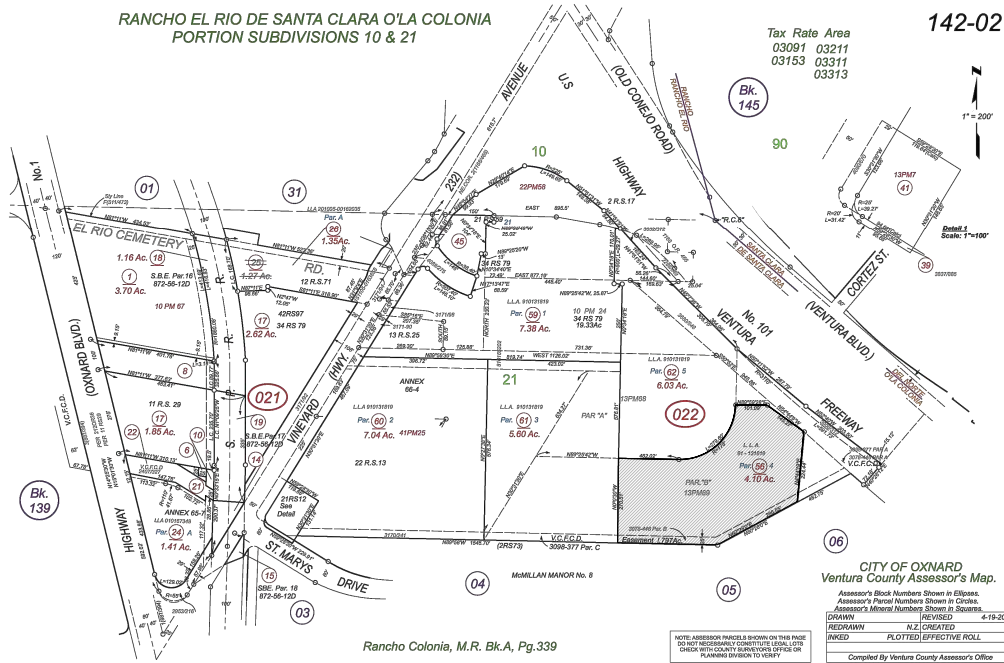


SV14303A
 600 E ESPLANADE DR
 OXNARD, CA 93036

SHEET TITLE:
 TOPOGRAPHIC SURVEY

LS-2

RANCHO EL RIO DE SANTA CLARA O'LA COLONIA
PORTION SUBDIVISIONS 10 & 21



Tax Rate Area
03091 03211
03153 03311
03313

142-02

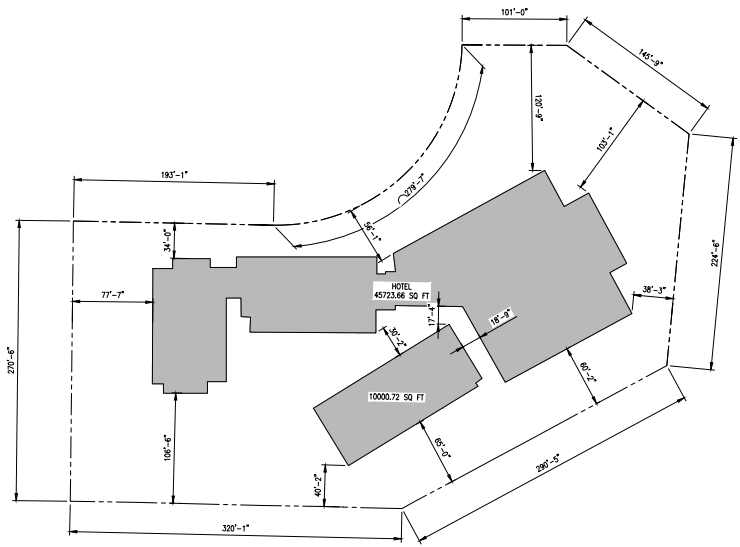
1" = 200'

Rancho Colonia, M.R. Bk.A, Pg. 339

CITY OF OXNARD
Ventura County Assessor's Map.

Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.
Assessor's Mineral Numbers Shown in Squares.
DRAWN: REVERED
N.Z. CREATED: 6/19/2021
REDRAWN:
PLOTTED/EFFECTIVE ROLL
Compiled by Ventura County Assessor's Office

NOTE: ASSessor PRICES SHOWN ON THIS PAGE
DO NOT NECESSARILY CORRESPOND TO THE
COURT RECORDS. CONTACT THE COUNTY
PLANNING DIVISION TO VERIFY



APN: 142-0-022-56
USE/ZONING: GENERAL COMMERCIAL
PLANNED AND DEVELOPMENT (C-2-PD)
TOTAL SQ FOOTAGE
(LOT): 4.1 ACRES (178596 SQ. FT.)

HOTEL COVERAGE APPROX 45724.38 SQ. FT.
PROJECT BUILDING APPROX 45723.66 SQ. FT.
SECOND BUILDING APPROX 10000.72 SQ. FT.



PARCEL MAP

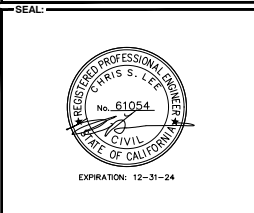
SCALE:
NTS 1



CONSULTING GROUP:
INTELOCITY
DESIGN | BUILD | INNOVATE
1875 CORNADO AVE
SIGNAL HILL, CALIFORNIA 90755
A NUWAVE COMPANY

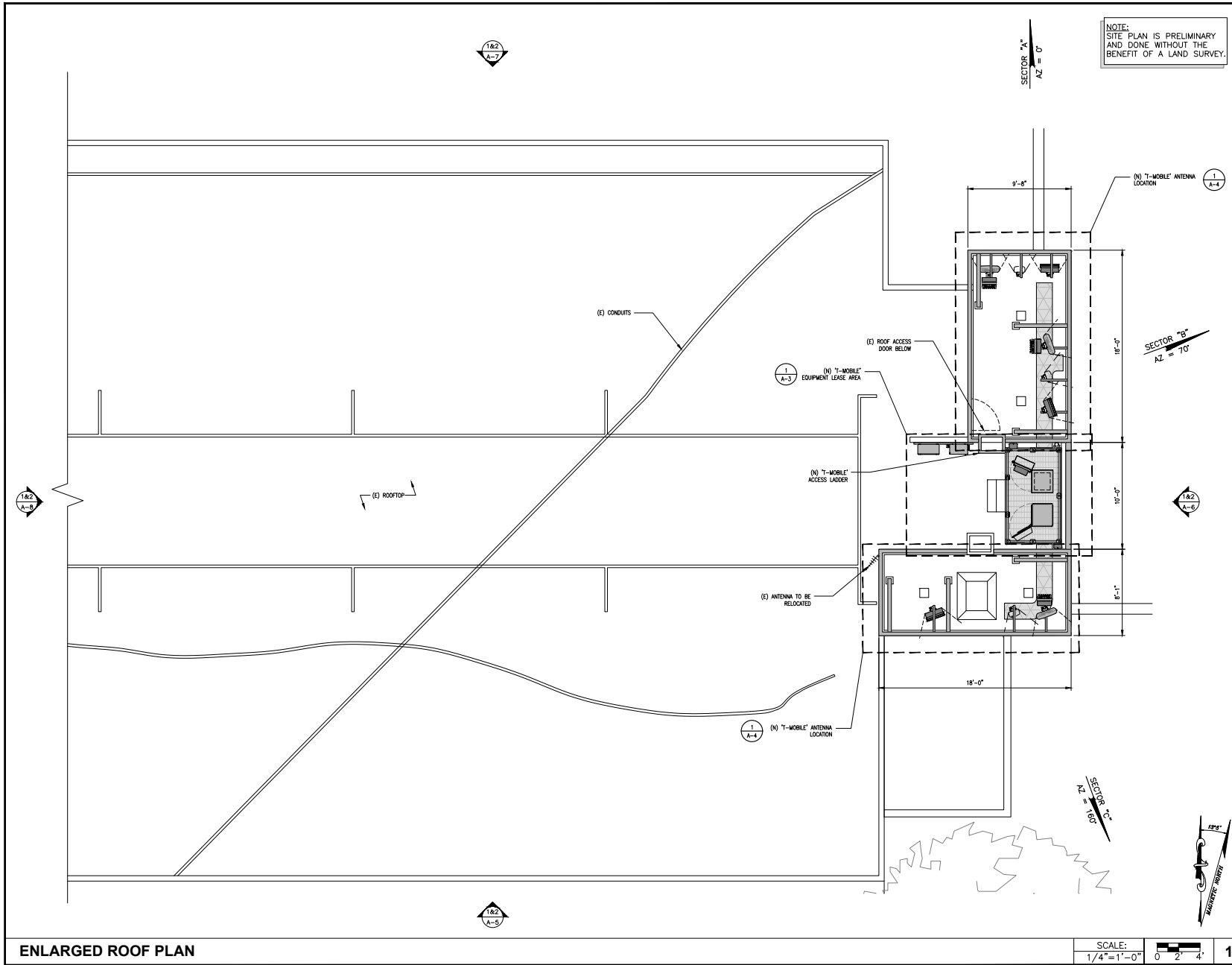
NO.	DATE	DESCRIPTION	BY
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6	10/30/24	REVISED 100% ZD'S	MVC
7	12/19/24	REVISED 100% ZD'S	JG

SITE INFORMATION:
SV00267A REPLACEMENT
SV14303A
600 E. ESPLANADE DR.
OXNARD, CA 93036



SHEET TITLE:
PARCEL MAP

SHEET NUMBER:
A-0



NOTE:
SITE PLAN IS PRELIMINARY
AND DONE WITHOUT THE
BENEFIT OF A LAND SURVEY.



PLANS PREPARED BY:



CONSULTING GROUP:



1875 CORONADO AVE
SIGNAL HILL, CALIFORNIA 90755

A NUWAVE COMPANY

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7	12/19/24	REVISED 100% ZD'S	JG

SITE INFORMATION:

SV00267A REPLACEMENT
SV14303A

600 E. ESPLANADE DR.
OXNARD, CA 93036

SEAL:



EXPIRATION: 12-31-24

SHEET TITLE:

ENLARGED ROOF PLAN

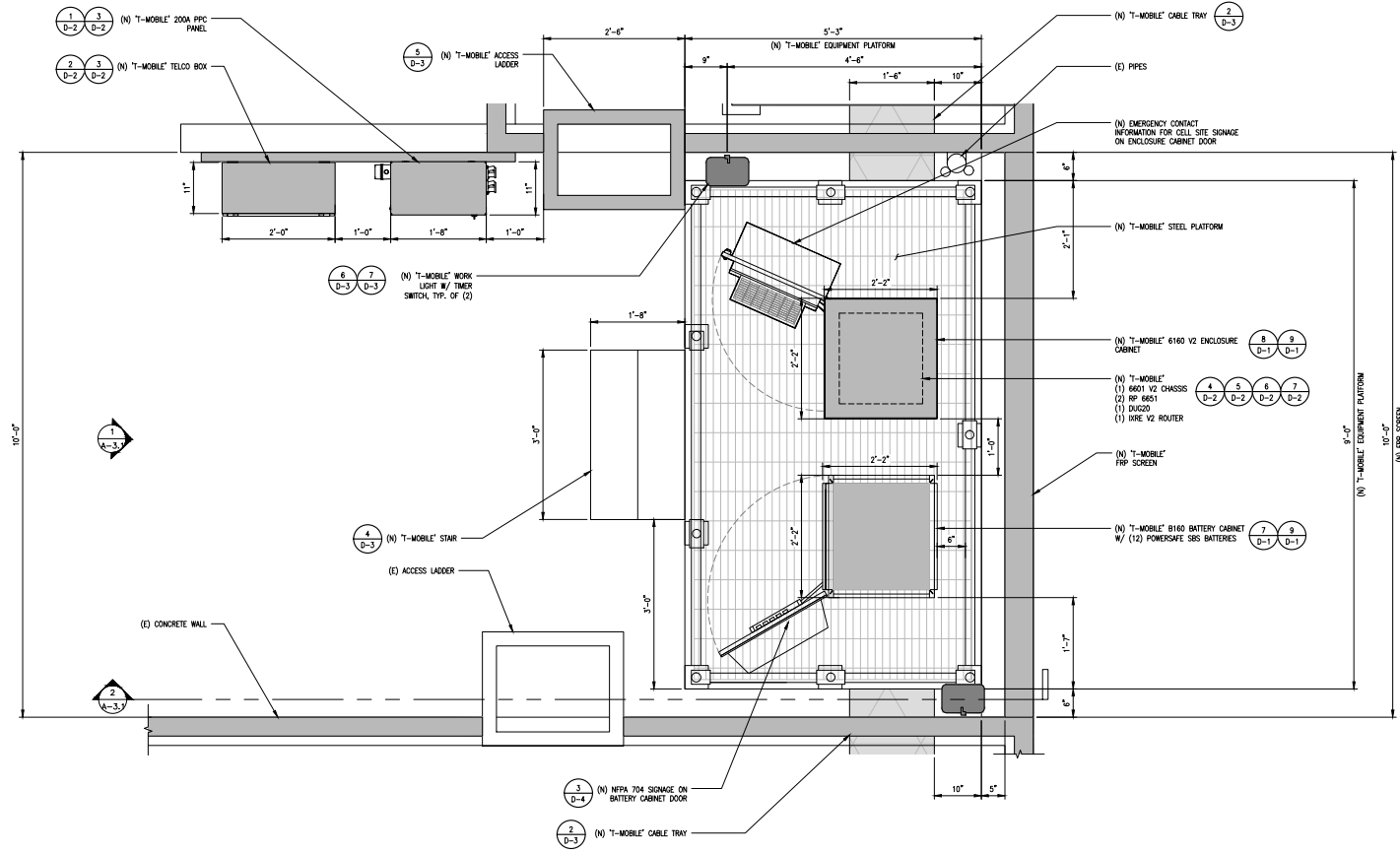
SHEET NUMBER:

A-2

ENLARGED ROOF PLAN

SCALE:
1/4" = 1'-0" 0 2' 4' 1

NOTE:
SERVICE LIGHT WILL NOT BE SEEN FROM THE GROUND.
THIS LIGHTING IS FOR THE WORKER ONLY AND WILL ONLY BE USED IF THERE IS WORK AFTER DARK. IT WILL BE ON A TIMER SO IT WILL ONLY BE USED WHILE THE WORKER IS PRESENT AND GO OFF AUTOMATICALLY.



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SHEET TITLE:

NEW EQUIPMENT LAYOUT

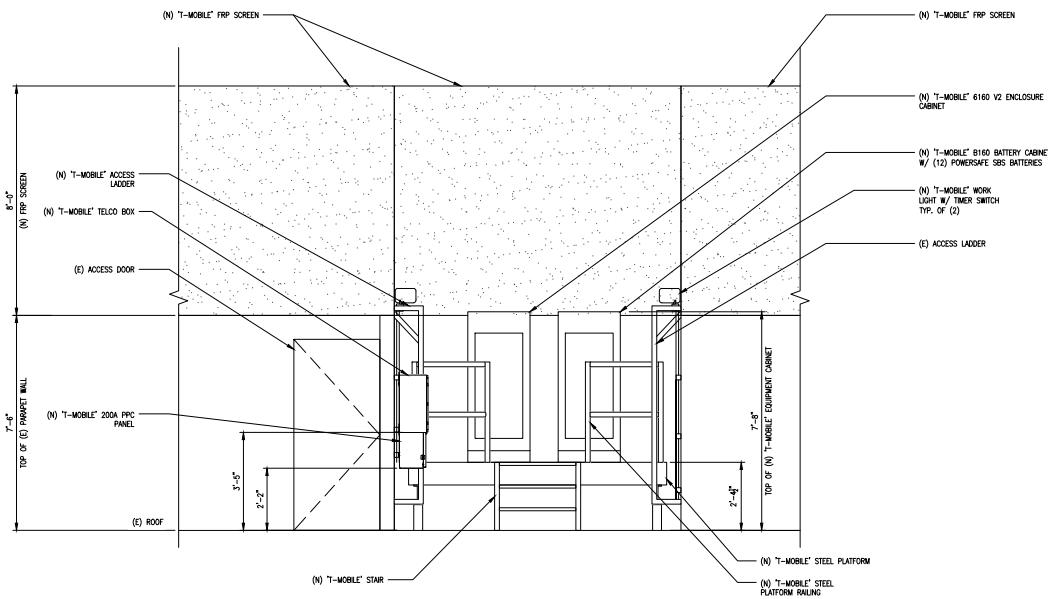
SHEET NUMBER:

A-3

NEW EQUIPMENT LAYOUT AT ROOF DECK

SCALE:
1"=1'-0" 0 6" 1' 1



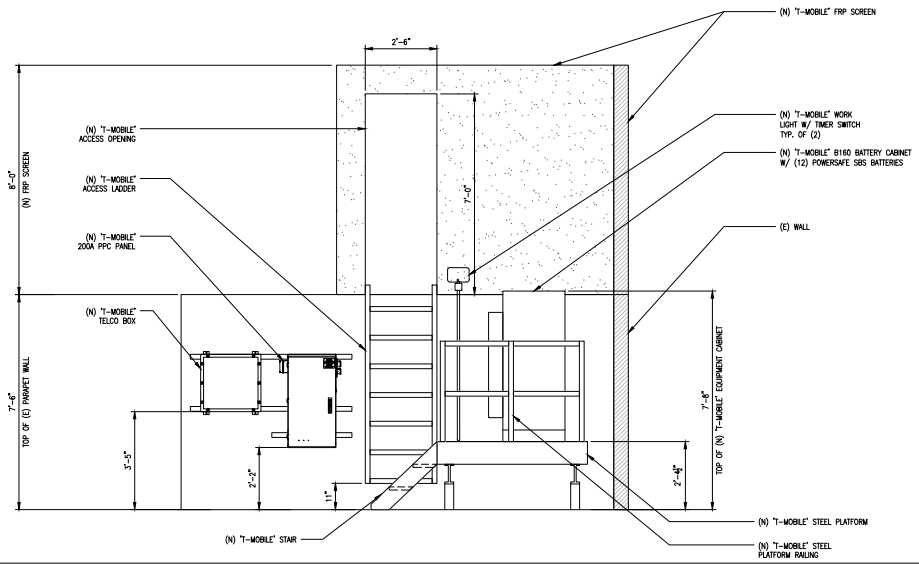


NOTE:
SERVICE LIGHT WILL NOT BE
SEEN FROM THE GROUND.

ALL NEW EQUIPMENT AND
ANTENNAS WILL BE
COMPLETELY SCREENED AT
ALL TIMES AND WILL NOT
BE VISIBLE FROM THE
SURROUNDING STREET VIEWS
OR ADJACENT U.S. 101
HIGHWAY.

NEW WEST ELEVATION

SCALE:
1/2" = 1'-0" 0 1' 2' 1



NOTE:
SERVICE LIGHT WILL NOT BE
SEEN FROM THE GROUND.

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COMPLETELY SCREENED AT
ALL TIMES AND WILL NOT
BE VISIBLE FROM THE
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OR ADJACENT U.S. 101
HIGHWAY.

NEW SOUTH ELEVATION

SCALE:
1/2" = 1'-0" 0 1' 2' 2

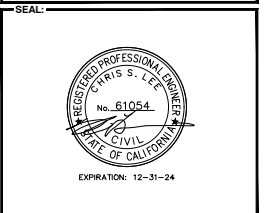


PLANS PREPARED BY:

CONSULTING GROUP:
INTELOCITY
DESIGN | BUILD | INNOVATE
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OXNARD, CA 93036



SHEET TITLE:
**NEW EQUIPMENT
ELEVATIONS**

SHEET NUMBER:
A-3.1

T-Mobile

PLANS PREPARED BY:



CONSULTING GROUP:

INTELOCITY
DESIGN | BUILD | INNOVATE

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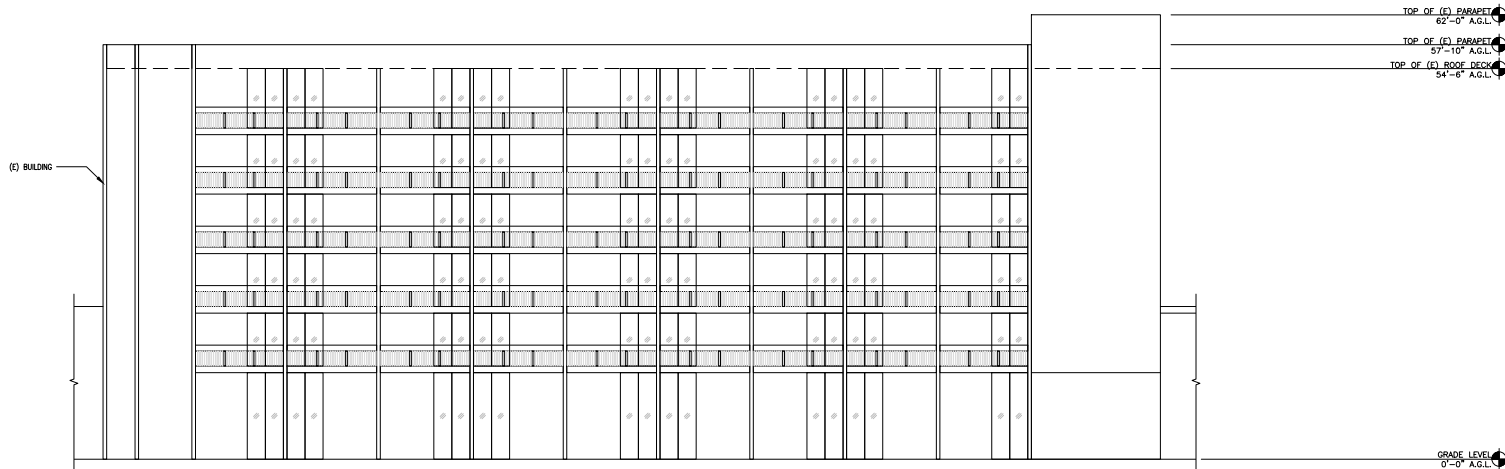
EXPIRATION: 12-31-24

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A-5

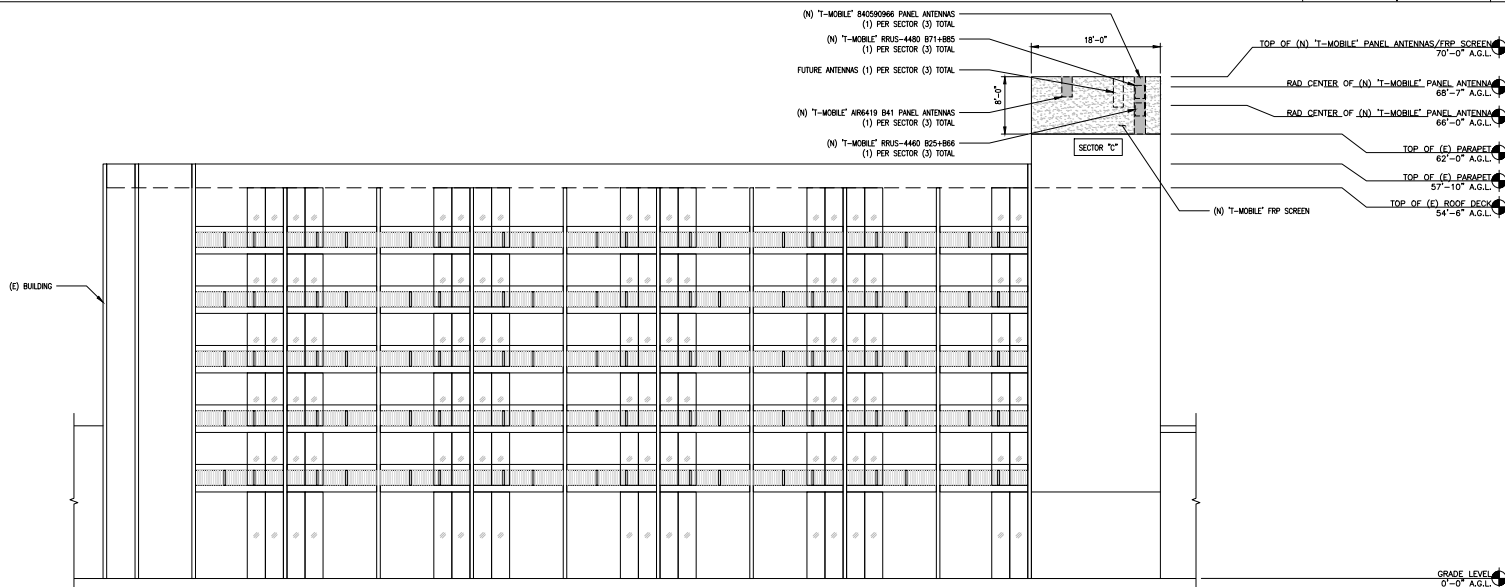


EXISTING SOUTH ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8" 1

NOTE:
ALL (N) SCREENING WILL BE
COLORED AND TEXTURED TO
MATCH (E) BUILDING

ALL NEW EQUIPMENT AND
ANTENNAS WILL BE
COMPLETELY SCREENED AT ALL
TIMES AND WILL BE VISIBLE
FROM THE SURROUNDING
STREET VIEW OR ADJACENT
U.S. 101 HIGHWAY.



NEW SOUTH ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8" 2



PLANS PREPARED BY:



CONSULTING GROUP:



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NO.	DATE	DESCRIPTION	BY
1	06/10/24	90% ZD'S	MVC
2	06/28/24	100% ZD'S	MVC
3	10/14/24	REVISED 100% ZD'S	MVC
4	10/17/24	REVISED 100% ZD'S	MVC
5	10/23/24	REVISED 100% ZD'S	MVC
6	10/30/24	REVISED 100% ZD'S	MVC
7	12/19/24	REVISED 100% ZD'S	JG

SITE INFORMATION:

SV00267A REPLACEMENT
SV14303A

600 E. ESPLANADE DR.
OXNARD, CA 93036

SEAL:

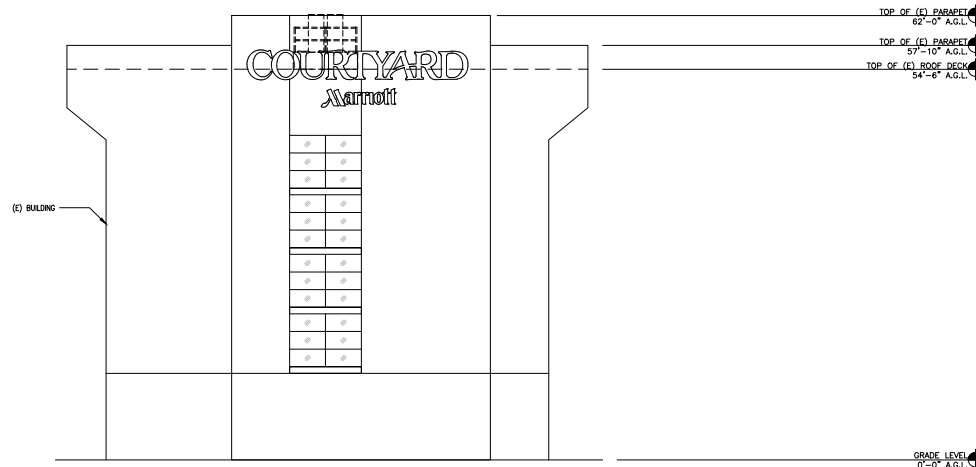


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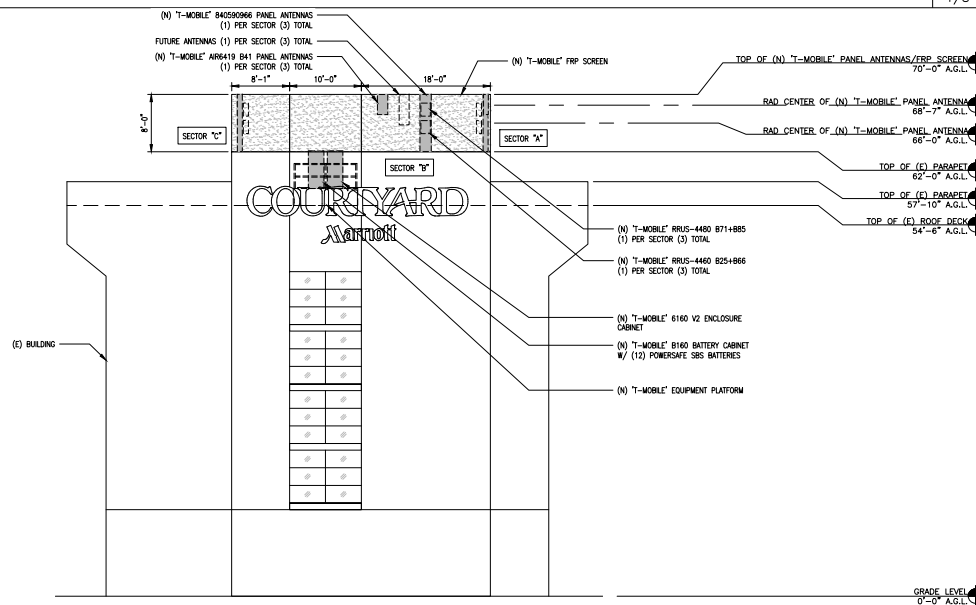
ELEVATIONS

SHEET NUMBER:

A-6



EXISTING EAST ELEVATION



NOTE:
ALL (N) SCREENING WILL BE
COLORED AND TEXTURED TO
MATCH (E) BUILDING
ALL NEW EQUIPMENT AND
ANTENNAS WILL BE
COMPLETELY SCREENED AT ALL
TIMES AND WILL BE VISIBLE
FROM THE SURROUNDING
STREET VIEW OR ADJACENT
U.S. 101 HIGHWAY.

NEW EAST ELEVATION



PLANS PREPARED BY:



CONSULTING GROUP:



1875 CORONADO AVE
SIGNAL HILL, CALIFORNIA 90755

A NUWAVE COMPANY

NO.	DATE	DESCRIPTION	BY
1	06/10/24	90% ZD'S	MVC
2	06/28/24	100% ZD'S	MVC
3	10/14/24	REVISED 100% ZD'S	MVC
4	10/17/24	REVISED 100% ZD'S	MVC
5	10/23/24	REVISED 100% ZD'S	MVC
6	10/30/24	REVISED 100% ZD'S	MVC
7	12/19/24	REVISED 100% ZD'S	JG

SITE INFORMATION:

SV00267A REPLACEMENT
SV14303A

600 E. ESPLANADE DR.
OXNARD, CA 93036

SEAL:



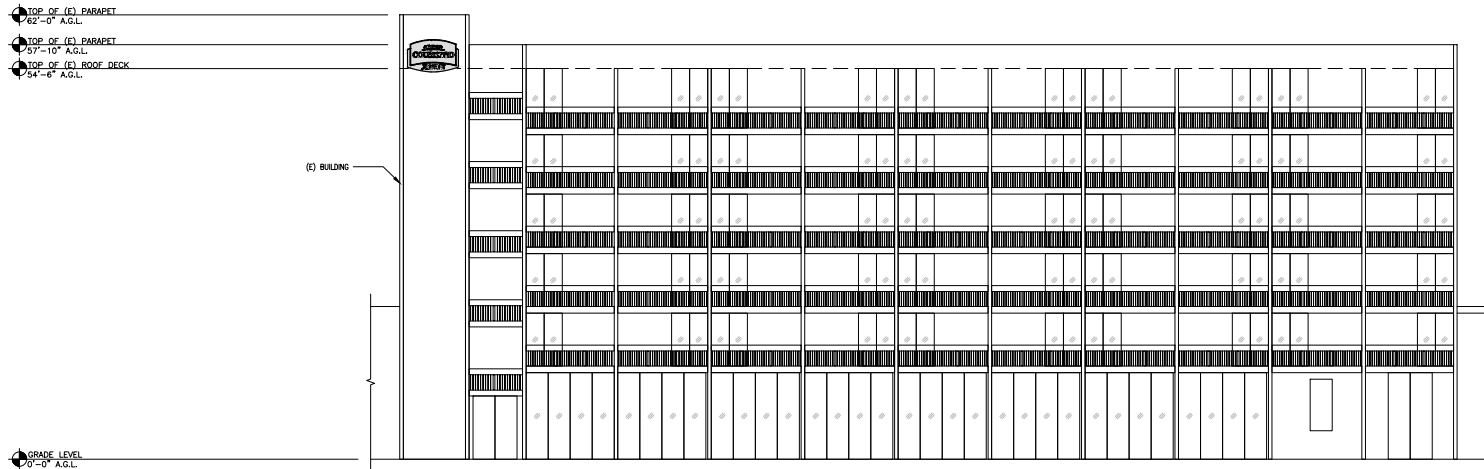
EXPIRATION: 12-31-24

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A-7



EXISTING NORTH ELEVATION

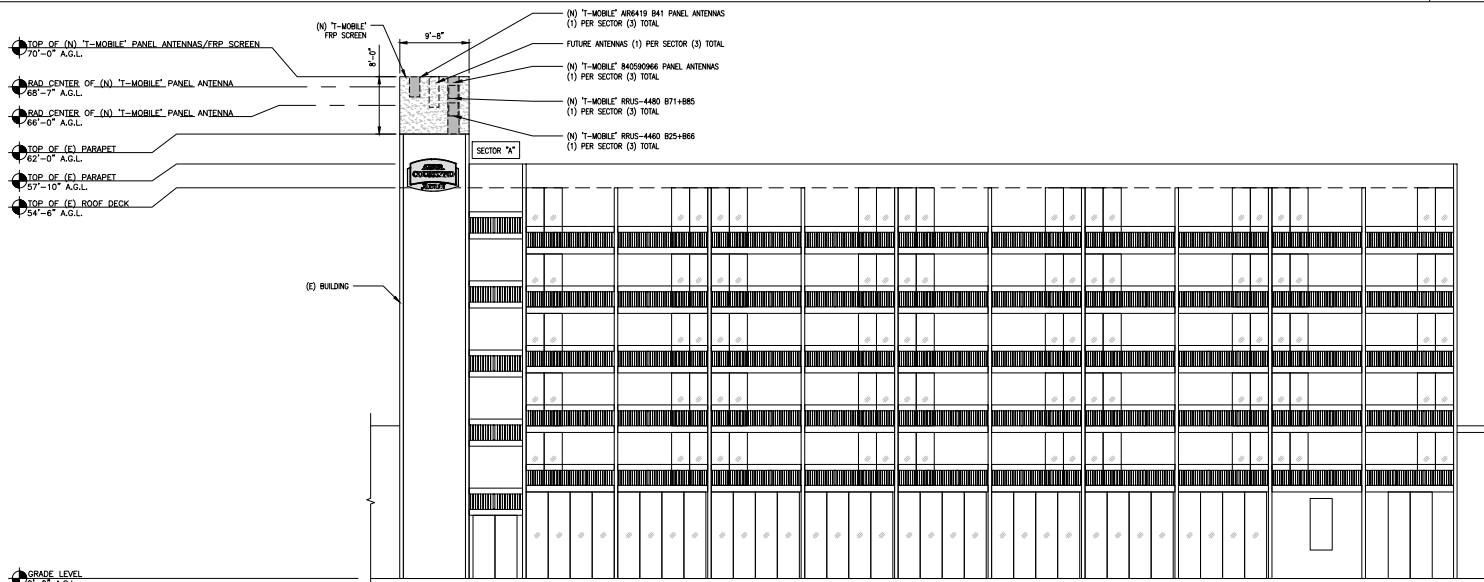
SCALE:
1/8"=1'-0"



1

NOTE:
ALL (N) SCREENING WILL BE
COLORED AND TEXTURED TO
MATCH (E) BUILDING

ALL NEW EQUIPMENT AND
ANTENNAS WILL BE
COMPLETELY SCREENED AT ALL
TIMES AND WILL BE VISIBLE
FROM THE SURROUNDING
STREET VIEW OR ADJACENT
U.S. 101 HIGHWAY.



NEW NORTH ELEVATION

SCALE:
1/8"=1'-0"



2



PLANS PREPARED BY:



CONSULTING GROUP:



1875 CORNADO AVE
SIGNAL HILL, CALIFORNIA 90755

A NUWAVE COMPANY

NO.	DATE	DESCRIPTION	BY
1	06/10/24	90% ZD'S	MVC
2	06/28/24	100% ZD'S	MVC
3	10/14/24	REVISED 100% ZD'S	MVC
4	10/17/24	REVISED 100% ZD'S	MVC
5	10/23/24	REVISED 100% ZD'S	MVC
6	10/30/24	REVISED 100% ZD'S	MVC
7	12/19/24	REVISED 100% ZD'S	JG

SITE INFORMATION:

SV00267A REPLACEMENT
SV14303A

600 E. ESPLANADE DR.
OXNARD, CA 93036

SEAL:



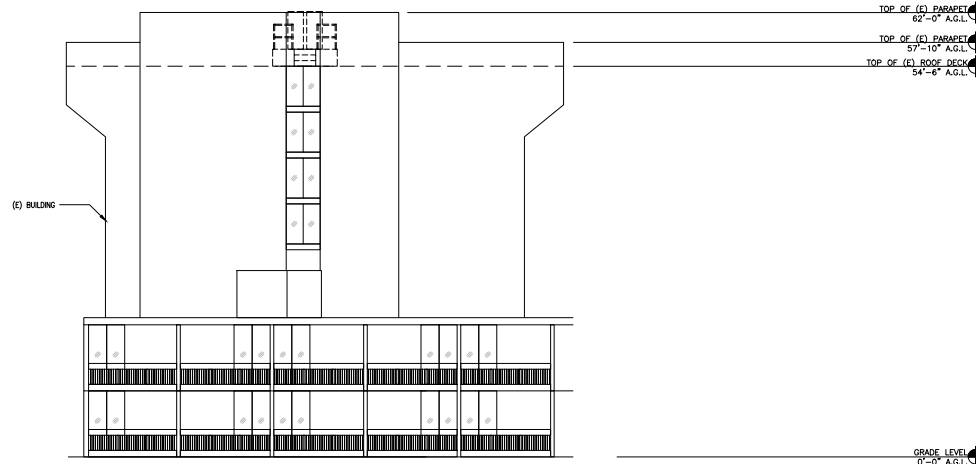
EXPIRATION: 12-31-24

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A-8



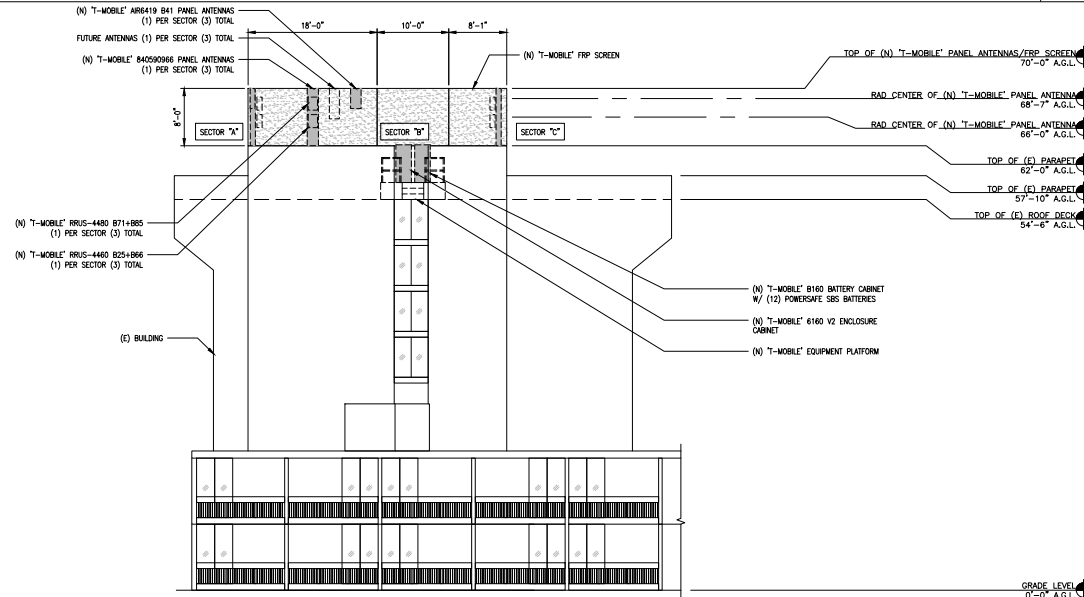
EXISTING WEST ELEVATION

SCALE:

1/8"=1'-0"



1



NEW WEST ELEVATION

SCALE:

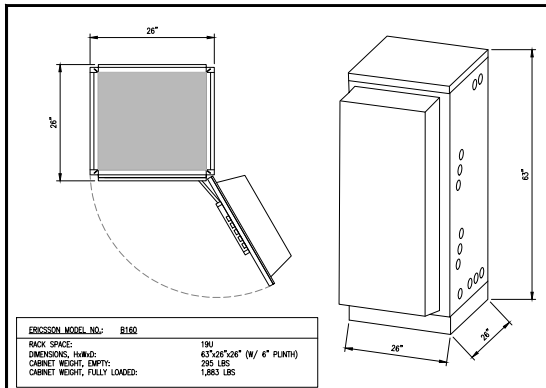
1/8"=1'-0"



2

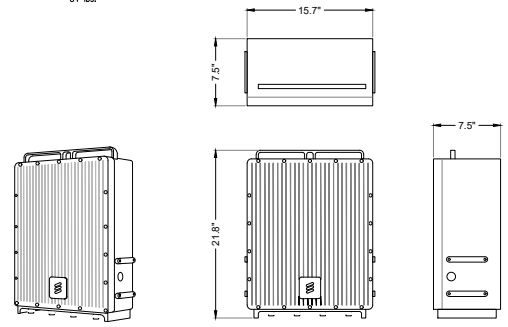
NOTE:
ALL (N) SCREENING WILL BE
COLORED AND TEXTURED TO
MATCH (E) BUILDING

ALL NEW EQUIPMENT AND
ANTENNAS WILL BE
COMPLETELY SCREENED AT ALL
TIMES AND WILL BE VISIBLE
FROM THE SURROUNDING
STREET VIEW OR ADJACENT
U.S. 101 HIGHWAY.

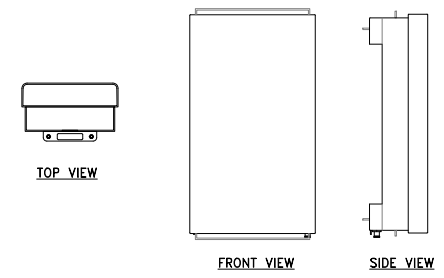


ERICSSON MODEL NO.: B160
 RACK SPACE: 1RU
 DIMENSIONS, HxWxD: 63" x 26" x 15" (w/ 6" PLINTH)
 CABINET WEIGHT, EMPTY: 295 LBS
 CABINET WEIGHT, FULLY LOADED: 1,860 LBS

MANUFACTURER: ERICSSON
 MODEL NO.: RADIO 4460 B71/B85
 DIMENSIONS, HxWxD: 21.8" x 15.7" x 7.5"
 WEIGHT: 84 lbs.



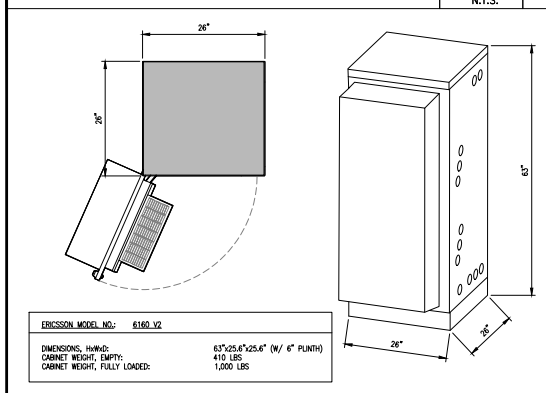
MANUFACTURER: ERICSSON
 MODEL NO.: A89419 B41
 DIMENSIONS, HxWxD: 33.6" x 20.0" x 6.3"
 WEIGHT: 66.5 lbs
 W/ BRACKET: 77.5 lbs.



B160 BATTERY CABINET SCALE: N.T.S. **7**

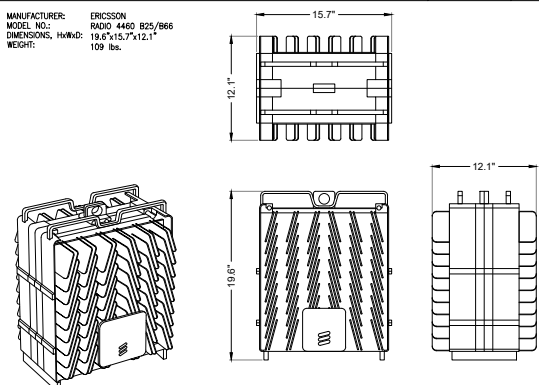
RRUS 4480 SPECIFICATIONS SCALE: N.T.S. **4**

ANTENNA SPECIFICATIONS SCALE: N.T.S. **1**

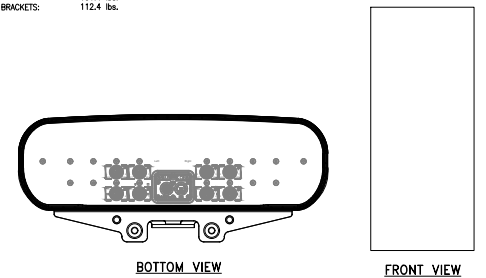


ERICSSON MODEL NO.: 6160_V2
 DIMENSIONS, HxWxD: 63" x 25.6" x 25.6" (w/ 6" PLINTH)
 CABINET WEIGHT, EMPTY: 410 LBS
 CABINET WEIGHT, FULLY LOADED: 1,000 LBS

MANUFACTURER: ERICSSON
 MODEL NO.: RADIO 4460 B25/B66
 DIMENSIONS, HxWxD: 19.6" x 15.7" x 12.1"
 WEIGHT: 109 lbs.



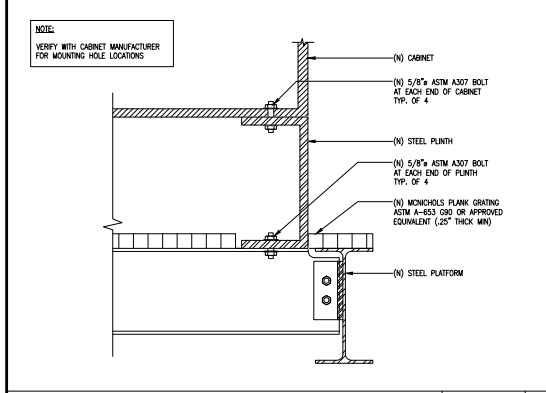
MANUFACTURER: ERICSSON
 MODEL NO.: 846569866
 DIMENSIONS, HxWxD: 95.9" x 23.5" x 7.1"
 WEIGHT: 101.4 lbs.
 W/ BRACKETS: 112.4 lbs.



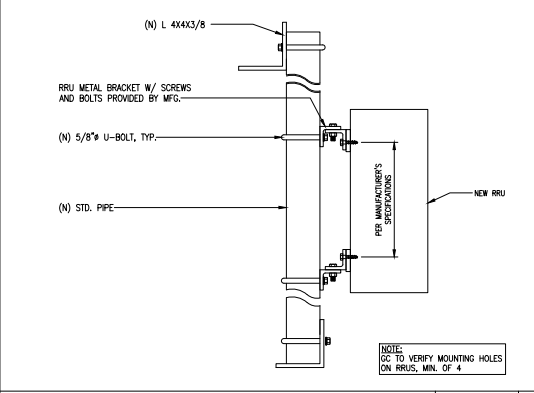
6160 V2 CABINET ENCLOSURE SCALE: N.T.S. **8**

RRUS 4460 SPECIFICATIONS SCALE: N.T.S. **5**

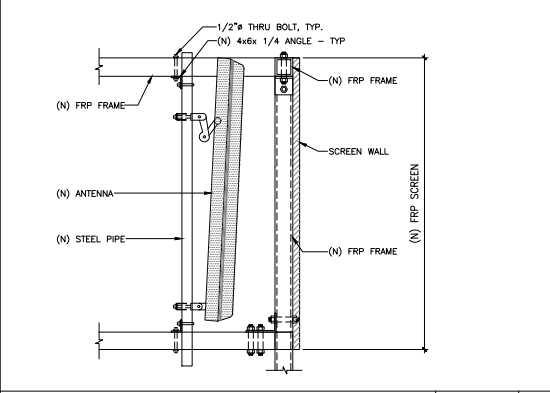
ANTENNA SPECIFICATIONS SCALE: N.T.S. **2**



NEW CABINET ANCHORAGE SCALE: N.T.S. **9**



RRU MOUNTING DETAIL SCALE: N.T.S. **6**

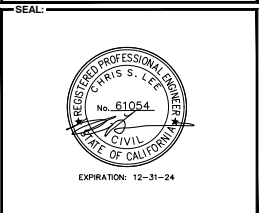


ANTENNA MOUNTING SCALE: N.T.S. **3**



NO.	DATE	DESCRIPTION	BY
1	06/10/24	90% ZD'S	MVC
2	06/28/24	100% ZD'S	MVC
3	10/14/24	REVISED 100% ZD'S	MVC
4	10/17/24	REVISED 100% ZD'S	MVC
5	10/23/24	REVISED 100% ZD'S	MVC
6	10/30/24	REVISED 100% ZD'S	MVC
7	12/19/24	REVISED 100% ZD'S	JG

SITE INFORMATION:
SV00267A REPLACEMENT
SV14303A
 600 E. ESPLANADE DR.
 OXNARD, CA 93036

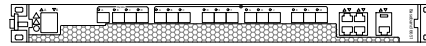


SHEET TITLE:
DETAILS

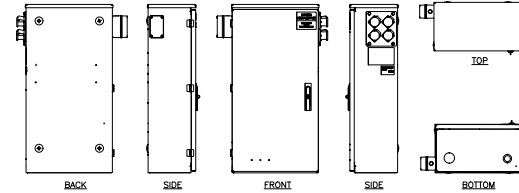
SHEET NUMBER:
D-1

PENDING

RP6651 DETAIL
 MANUFACTURER: ERICSSON (SKU3453)
 DIMENSION: 19" X 1 RU
 WEIGHT: 7.5kg
 POWER CONSUMPTION: 345W



RAYCAP_PPC
RTMAC-2465-P-240-MTS
 ENCLOSURE DIMENSIONS (HxWxD): 39"x20"x11.3"
 WEIGHT: 80 lbs
 OPERATING AC VOLTAGE: 240/120 1 PHASE 3W+G



T-Mobile

PLANS PREPARED BY:



CONSULTING GROUP:



1875 CORONADO AVE
 SIGNAL HILL, CALIFORNIA 90755

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DUG20 SCALE: N.T.S. **7**

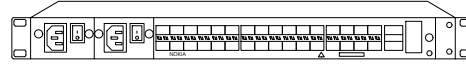
RP6651 MMBB SCALE: N.T.S. **4**

200A PPC CABINET SCALE: N.T.S. **1**

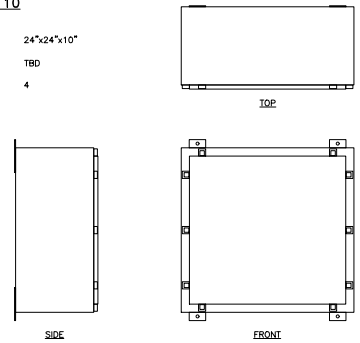
NO.	DATE	DESCRIPTION	BY
1	06/10/24	90% ZD'S	MVC
2	06/28/24	100% ZD'S	MVC
3	10/14/24	REVISED 100% ZD'S	MVC
4	10/17/24	REVISED 100% ZD'S	MVC
5	10/23/24	REVISED 100% ZD'S	MVC
6	10/30/24	REVISED 100% ZD'S	MVC
7	12/19/24	REVISED 100% ZD'S	JG



NOKIA 7250 IXR-E
 DIMENSIONS, HxWxD: 45x438x254 mm (1.75"x17.25"x10")



NEMA ENCLOSURE
WM3RCS02002110
 DIMENSIONS (HxWxD): 24"x24"x10"
 WEIGHT: TBD
 NEMA RATING: 4



COMMCON FIBER4-4500	
WEIGHT (kg/m)	4 AWG DC 48RS 1.57 (±0.1)
WEIGHT (lb/m)	2.39 (±0.1)
DIAMETER (mm)	44.7 (±0.20mm)
DIAMETER (in)	1.76 (±0.1)
COAX STANDARD DIAMETER EQUIVALENT	1.3/8"

6x24 HCS 4AWG SPECIFICATIONS SCALE: N.T.S. **8**

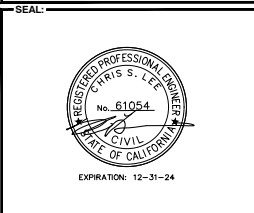
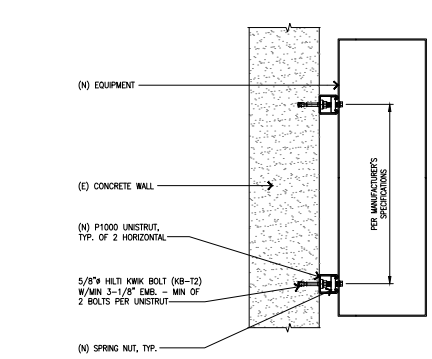
IXR-E DETAIL SCALE: N.T.S. **5**

TELCO CABINET DETAIL SCALE: N.T.S. **2**

SITE INFORMATION:
SV00267A REPLACEMENT
SV14303A
 600 E. ESPLANADE DR.
 OXNARD, CA 93036

PENDING

ERICSSON INDOOR RBS 6601V2 CHASSIS
 DC POWER SUPPLY: -48VDC
 NOMINAL VOLTAGE: -40.0 TO -57.6VDC
 NON-DESTRUCTIVE VOLTAGE RANGE: 0 TO -60VDC
 POWER CONSUMPTION: 250W



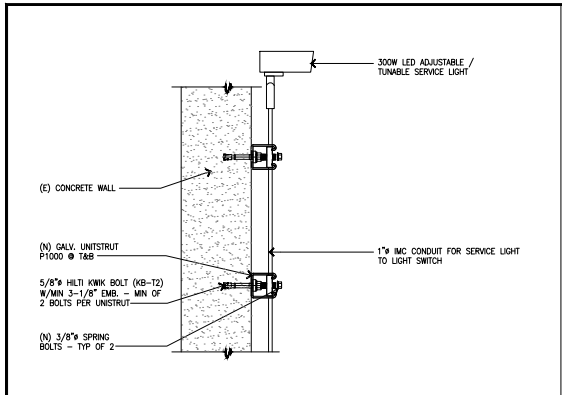
SHEET TITLE:
DETAILS

GEN PLUG INFO SCALE: N.T.S. **9**

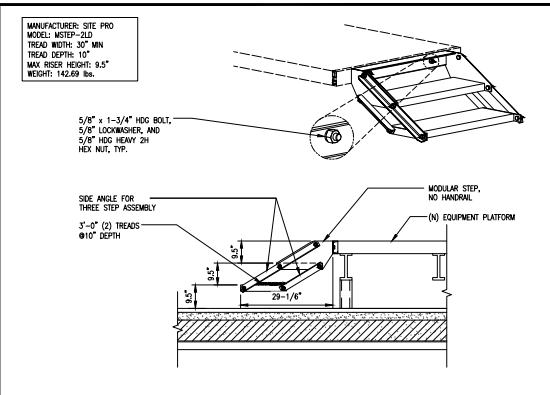
6601 V2 CHASSIS SCALE: N.T.S. **6**

EQUIPMENT TO WALL ANCHORAGE DETAIL (TYP.) SCALE: N.T.S. **3**

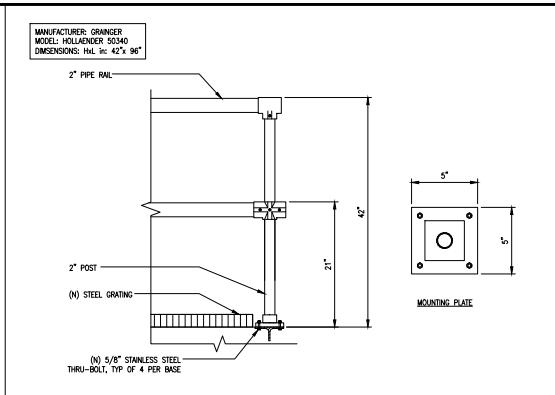
SHEET NUMBER:
D-2



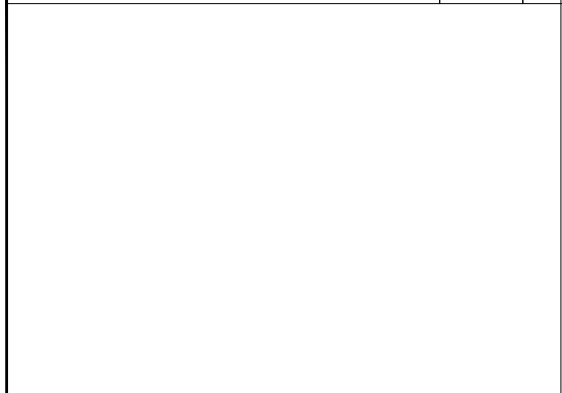
SERVICE LIGHT MOUNTING SCALE: N.T.S. 7



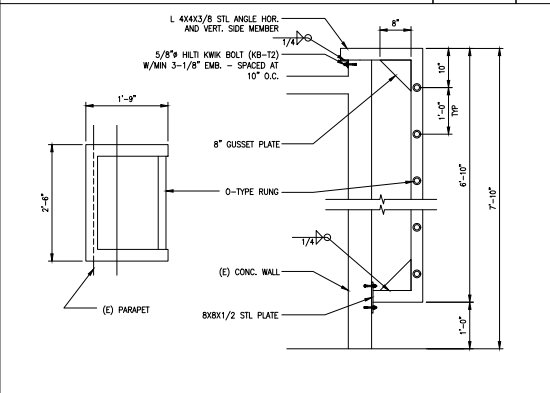
PLATFORM TWO STAIR DETAIL SCALE: N.T.S. 4



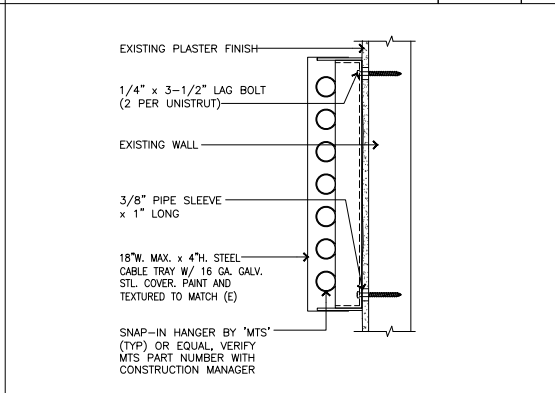
GUARDRAIL DETAIL SCALE: N.T.S. 1



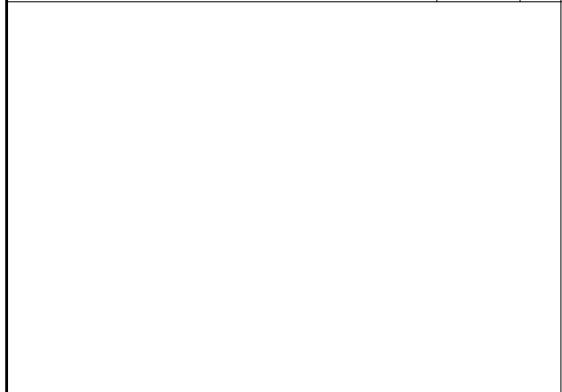
NOT USED SCALE: N.T.S. 8



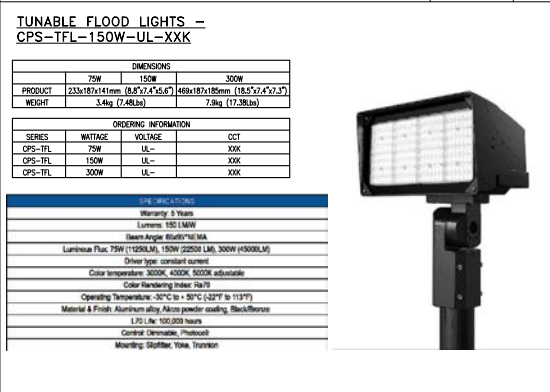
ACCESS LADDER DETAIL SCALE: N.T.S. 5



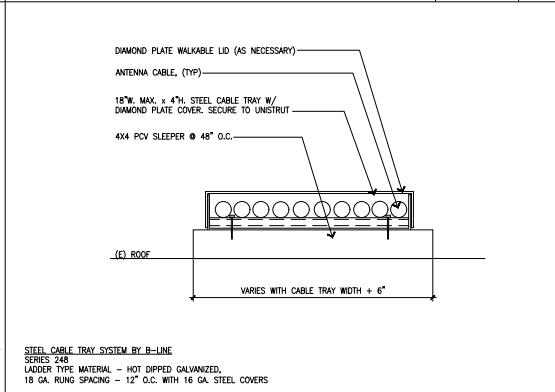
WALL MOUNTED CABLE TRAY SCALE: N.T.S. 2



NOT USED SCALE: N.T.S. 9



WORK LIGHT SPECIFICATIONS SCALE: N.T.S. 6



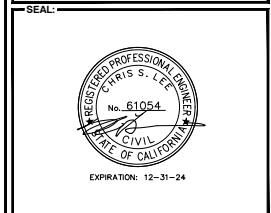
CABLE TRAY AT ROOF SCALE: N.T.S. 3



CONSULTING GROUP:
INTELOCITY
 1875 CORONADO AVE
 SIGNAL HILL, CALIFORNIA 90755
 A NUWAVE COMPANY

NO.	DATE	DESCRIPTION	BY
1	06/10/24	90% ZD'S	MVC
2	06/28/24	100% ZD'S	MVC
3	10/14/24	REVISED 100% ZD'S	MVC
4	10/17/24	REVISED 100% ZD'S	MVC
5	10/23/24	REVISED 100% ZD'S	MVC
6	10/30/24	REVISED 100% ZD'S	MVC
7	12/19/24	REVISED 100% ZD'S	JG

SITE INFORMATION:
SV00267A REPLACEMENT
SV14303A
 600 E. ESPLANADE DR.
 OXNARD, CA 93036



SHEET TITLE:
DETAILS

SHEET NUMBER:
D-3

BATTERY INFORMATION / NOTES:

BATTERY MFG: POWERSAFE SBS
 MODEL No.: SBS 190F
 ELECTROLYTE CONTENT PER BATTERY: 2.34 GALLONS
 ELECTROLYTE HAZARD CLASSIFICATION PER 2022 CFC SECTION 1206.2 (17% SULFURIC ACID): CORROSIVE
 No. OF BATTERIES TO BE INSTALLED: 12
 TOTAL ELECTROLYTE CONTAINED ON SITE (2.34 X 12): 28.08 GALLONS MAX.
 BATTERY POWER OUTPUT AMPERAGE x VOLTAGE / 1000
 3800 x 12 / 1000 = 45.6kWh x 12 = 547.2
 TOTAL 547.2KWH ON SITE

NOTE: ALL FIRE DEPT BATTERIES AND INSTALLATION SHALL COMPLY WITH 2022 CFC SECTION 1206.2

A. QUANTITIES LESS THAN 50 GAL. ARE EXEMPT FROM 2022 C.F.C. SECTION 1206.2 - TABLE 1206.2.9 AND SHALL NOT REQUIRE PERMIT.
 B. ANY CHANGES OR ADDITIONS TO BACK-UP BATTERIES MUST COMPLY WITH 2022 C.F.C. SECTION 1206.2
 C. POWER OUTPUT OF THE BATTERY SYSTEM LESS THAN 600kWh (2160 MEGAJOULES) ARE EXEMPT FROM 2022 CFC SECTION 1206.2 - TABLE 1206.2.9 AND SHALL NOT REQUIRE PERMIT

TABLE 1206.2.9			TABLE 1206.2		
BATTERY TECHNOLOGY	MAXIMUM ALLOWABLE QUANTITIES	GROUP, H OCCUPANCY	BATTERY TECHNOLOGY	MAXIMUM ALLOWABLE QUANTITIES	CAPACITY
Flow batteries	600 kWh	Group H-2	Flow batteries	20 kWh	20 kWh
Lead acid, all types	Unlimited	Not Applicable	Lead acid, all types	70 kWh	70 kWh
LiBum, all types	600 kWh	Group H-2	LiBum, all types	20 kWh	20 kWh
Nickel cadmium (Ni-Cd)	Unlimited	Not Applicable	Nickel cadmium (Ni-Cd)	20 kWh	20 kWh
Sodium, all types	600 kWh	Group H-2	Sodium, all types	20 kWh	20 kWh
Other battery technologies	200 kWh	Group H-2c	Other battery technologies	10 kWh	10 kWh

BATTERY NOTES

SCALE: N.T.S. **2**



NFPA 704 SIGN

SCALE: N.T.S. **3**

NOT USED

SCALE: N.T.S. **4**

CHAPTER 12, SECTION 1206 COMPLIANCE

ELECTRICAL ENERGY STORAGE SYSTEM

1206.2 SCOPE:
 STATIONARY STORAGE BATTERY SYSTEMS HAVING CAPACITIES EXCEEDING THE VALUES SHOWN IN THE TABLE 1206.2 SHALL COMPLY WITH SECTIONS 1206.2.1 THROUGH 1206.2.12.6, AS APPLICABLE.

BATTERY STORAGE SYSTEM THRESHOLD QTY'S

BATTERY TECHNOLOGY	CAPACITY ALLOWED		
LEAD ACID, ALL TYPES	70kWh (252 MEGAJOULES)		
# OF BATTERIES	AH	kWh (PER BATTERY)	TOTAL kWh
12	190	1.2	14.4

CONCLUSION:
 14.4 < 70 kWh SECTION 1206.2 DOES NOT APPLY

General Specifications

PowerSafe® SBS Battery	Number of Cells	Nominal Voltage (V)	Nominal Capacity		Nominal Dimensions					Electrolyte (1.300 S.G.)				Pure Acid (H ₂ SO ₄) Acid											
			Shr. Rate 1.75Vpc @ 77°F	10hr. Rate 1.80Vpc @ 20°F	Length in mm	Width in mm	Height in mm	Typical Weight lbs kg	Short Circuit Current (Amps)	Internal** Resistance Milli-Ohms	Terminals	Volume (per bloc) gal L	Weight (per bloc) lbs kg	Volume (per bloc) gal L	Weight (per bloc) gal L	Lead Weight (per bloc) lbs kg									
SBS B8F	6	12	31	31	11.9	303	3.80	97.0	6.26	159	22.7	10.3	1270	10.0	M6 M	0.37	1.42	4.05	1.84	0.11	0.40	1.61	0.73	15.6	7.08
SBS B10F	6	12	38	38	11.9	303	3.80	97.0	7.24	184	28.2	12.8	1390	9.00	M6 M	0.48	1.80	5.1	52.34	0.13	0.51	2.04	0.93	17.7	8.03
SBS B14F	6	12	62	62	11.9	303	3.80	97.0	10.4	264	42.0	19.1	1800	7.00	M6 M	0.78	2.95	8.4	53.83	0.22	0.83	3.35	1.52	29.6	13.4
SBS C11F	6	12	92	91	16.4	417	4.10	105	10.1	256	61.6	27.9	2300	5.50	M6 M	1.28	4.85	13.9	5.50	0.36	1.36	5.50	2.49	43.4	19.7
SBS 100F	6	12	100	100	15.6	395	4.30	108	11.3	287	71.9	32.6	2210	5.60	M6 M	1.34	5.09	14.6	6.60	0.38	1.43	5.77	2.62	49.7	22.5
SBS 112F	6	12	112	112	22.1	561	4.90	125	8.98	228	90.4	41.0	2500	5.00	M6 M	1.71	6.48	18.5	8.41	0.48	1.82	7.35	3.34	56.8	25.8
SBS 145F	6	12	145	145	17.8	452	6.80	172	9.37	238	105	47.6	4100	3.00	M6 M	2.25	8.51	24.3	11.0	0.63	2.39	9.66	4.38	72.4	32.8
SBS 165F	6	12	165	165	17.8	452	6.77	172	10.8	274	117	52.8	3700	2.30	M6 M	2.45	9.27	26.5	12.0	0.64	2.42	9.72	4.41	82.7	37.5
SBS 170F	6	12	170	170	22.1	561	4.90	125	11.1	283	116	52.5	3400	4.00	M6 M	2.09	7.92	22.7	10.3	0.59	2.23	8.99	4.08	82.0	37.2
SBS 190F	6	12	190	190	22.1	561	4.90	125	12.4	316	132	60.0	3800	3.30	M6 M	2.34	8.86	25.3	11.5	0.66	2.49	10.1	4.56	95.8	43.4

**Resistance values are for reference only and not intended to represent an Ohmic Value or Baseline measurement



**SBS B8F - B14F
SBS C11F**



SBS 100F - 112F



SBS 145F, 165F - 190F

BATTERY SPECIFICATIONS

SCALE: N.T.S. **1**

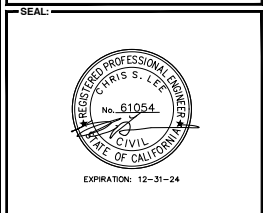


NO.	DATE	DESCRIPTION	BY
1	06/10/24	90% ZD'S	MVC
2	06/28/24	100% ZD'S	MVC
3	10/14/24	REVISED 100% ZD'S	MVC
4	10/17/24	REVISED 100% ZD'S	MVC
5	10/23/24	REVISED 100% ZD'S	MVC
6	10/30/24	REVISED 100% ZD'S	MVC
7	12/19/24	REVISED 100% ZD'S	JG

SITE INFORMATION:

**SV00267A REPLACEMENT
 SV14303A**

600 E. ESPLANADE DR.
 OXNARD, CA 93036



SHEET TITLE:

DETAILS

SHEET NUMBER:

D-4

COMMUNITY WORKSHOP

Monday, May 19, 2025

The attached documents have been submitted by the applicant for the following item:

- 2. PROJECT NAME: Hendrickson Tri-Plex; PLANNING AND ZONING PERMIT NOS. 24-400-03 (Coastal Development Permit), and 24-300-04 (Subdivision Map); Oxnard Shores Neighborhood**

A request to construct a three-story residential condominium on a 7,405 square-foot vacant lot located at 5201 Driftwood Way (APN: 191-0-031-125) within the Multiple Family Coastal Medium Density (R-3-C) zone. Proposed development includes three attached residential units comprised of a total of 5,661 square-feet of habitable area with each unit providing a two car attached garage, and subdivision of the existing lot into four lots (three residential units and one common area). The project is exempt from environmental review pursuant to Section 15303 (New Construction of Small Structures), Class 3 of the California Environmental Quality Act (CEQA) Guidelines.

Applicant: Kenneth Wright, MDA Group
City Contact: Marcum Caldwell, Case Planner

Phone: (916) 312-2131
Phone: (805) 385-7863

For additional project information, please direct your inquiry to the listed contacts, or call the Planning Division at (805) 385-7858

Para información en español, favor de llamar al (805) 385-7858

HENDRICKSON TRI-PLEX

5201 DRIFTWOOD STREET
OXNARD, CALIFORNIA



MDA GROUP



9281 SIERRA COLLEGE BLVD.,
ROSEVILLE,
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FORM OR MANNER WITHOUT THE WRITTEN CONSENT OF MURRAY
T. DUNCAN ARCHITECT.

HENDRICKSON TRI-PLEX
5201 DRIFTWOOD STREET
OXNARD, CALIFORNIA

PROJECT TEAM

OWNER
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marclava@mda-group.com

ENERGY TITLE-24
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GMEP ENGINEERS
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CONTACT: SHUJIN ZHU
EMAIL: jzh@gmeep.com

SOLAR DESIGN CONSULTANT
OPTIMIZED ENERGY
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PHONE: (916) 626-5518
CONTACT: JENNA GREEN
EMAIL: jgg@oetinc.com

PROJECT INFORMATION

ZONING: R3C (COASTAL MEDIUM DENSITY MULTIPLE FAMILY)
CONSTRUCTION TYPE: V-R
OCCUPANCY: R-2
ADDRESS: 5201 DRIFTWOOD STREET, OXNARD, CA
APN: 191-P-0911-05
FIRE SPRINKLERS: YES PROVIDE NFPA DR AUTOMATIC FIRE SPRINKLER SYSTEM
NUMBER OF STORIES: CBC-TABLE 504.4 NUMBER OF STORIES ALLOWED IS STORIES PER CBC, 3 STORIES (PER CITY OF OXNARD CODE). PROPOSED THREE STORY BUILDING CONSISTS OF THREE CONDOMINIUM UNITS.
BUILDING HEIGHT: MAX. ALLOWED: 40'-0" CBC-TABLE 504.3 (MAX. ALLOWED, THREE STORIES, NOT TO EXCEED 35'-0" (PER CITY CODE)) PROPOSED THREE STORIES, MAX. 35'-0" HIGH
BUILDING AREA: CBC-TABLE 509.6 (MAX. ALLOWED: 1,000 SF/STORY OR TOTAL: 2,000 SF) 9F. PROPOSED: 6,981 SQFT & 2,000 SQFT.
INTERIOR YARD SPACE: MINIMUM 25% OF LOT AREA
YARD SPACE PROVIDED: AT GROUND LEVEL: 118 SQFT. AT SUNSET TERRACES: 659 SQFT. TOTAL: 2373 SQFT. OR 31% OF LOT AREA.
LOT AREA: 730 SQFT. IE 6,000 SQFT.
WIDTH OF LOT: 61'-4"
LENGTH OF LOT: 100'-0"
FIRE DEPARTMENT NOTE: PRIOR TO ISSUANCE OF BUILDING PERMIT, A FIRE FLOW TEST WILL BE REQUIRED.

AREAS OF CONDOMINIUM UNITS:
GROSS AREA
UNIT A
FIRST FLOOR: 413 SF.
SECOND FLOOR: 831 SF.
THIRD FLOOR: 528 SF.
TOTAL: 1,772 SF.
GARAGE: 432 SF.
TOTAL UNIT 'A' AREA: 2,204 SF.
UNIT B
FIRST FLOOR: 434 SF.
SECOND FLOOR: 1066 SF.
THIRD LEVEL: 861 SF.
TOTAL: 2,361 SF.
GARAGE: 432 SF.
TOTAL UNIT 'B' AREA: 2,793 SF.

UNIT C
FIRST FLOOR: 439 SF.
SECOND FLOOR: 892 SF.
THIRD FLOOR: 834 SF.
TOTAL: 2,165 SF.
GARAGE: 432 SF.
TOTAL UNIT 'C' AREA: 2,597 SF.
TOTAL BUILDING AREA: 6,981 SF.
AREA OF GROUND LEVEL PATIOS:
UNIT A: 212 SF.
UNIT B: 131 SF.
UNIT C: 116 SF.
TOTAL: 459 SF.

PROJECT INFORMATION

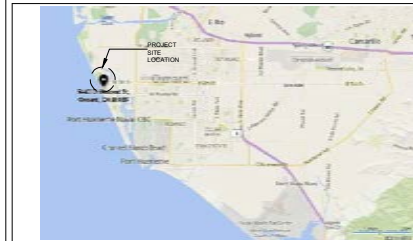
AREA OF BALCONIES AT SECOND FLOOR:
UNIT A: 53 SF.
UNIT B: 45 SF.
UNIT C: 102 SF.
TOTAL: 243 SF.
AREA OF COVERED TERRACES ON THIRD FLOOR FLOOR:
UNIT A: 268 SF.
UNIT B: 266 SF.
UNIT C: 285 SF.
TOTAL: 819 SF.
AREAS OF ROOF TOP DECK:
UNIT A: 253 SF.
UNIT B: 206 SF.
UNIT C: 242 SF.
TOTAL: 701 SF.
PROJECT DESCRIPTION:
NEW CONSTRUCTION OF A THREE UNITS, THREE STORY CONDOMINIUM BUILDING WITH ROOF TOP DECKS, SITE AND LANDSCAPE IMPROVEMENTS. EACH CONDOMINIUM UNIT INCLUDES (3) THREE BEDROOMS, (3) THREE BATHROOMS, (2) TWO VEHICLE GARAGE, A GROUND LEVEL PATIO AREA, SECOND FLOOR BALCONIES, THIRD LEVEL COVERED TERRACES, THREE OFF STREET GUEST PARKING SPACES ARE PROVIDED. PRECISE GRADING PLAN AND UTILITY PLAN ARE ALSO PROVIDED WITH EARTHWORKS ESTIMATE. CUT: 50 CUBIC YARDS, FILL: 30 CUBIC YARDS.
PLANS ARE IN COMPLIANCE WITH CURRENT 2019 CBC, AND OXNARD CALIFORNIA CODE OF ORDINANCES CHAPTER 16.

OPERATION 4 MAINTENANCE MANUAL:
AT THE TIME OF FINAL INSPECTION, AN OPERATION 4 MAINTENANCE MANUAL, COMPACT DISC OR WEBSITE REFERENCE SHALL BE PLACED IN THE BUILDING. THIS MANUAL SHALL INCLUDE ALL OF THE ITEMS LISTED ON CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.4.2(1) (CGS&S 4.4.2).
AUTOMATIC SPRINKLER SYSTEM FOR TOWNHOUSES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13R.

DEFERRED APPROVAL ITEMS

1. A NFPA DR AUTOMATIC FIRE SPRINKLER SYSTEM IS REQUIRED UNDER A SEPARATE SUBMITTAL AND PERMIT.
2. A FIRE ALARM SYSTEM IS REQUIRED, UNDER SEPARATE SUBMITTAL AND PERMIT.
3. SUBSTITUTION AND PERMIT.
4. SPRINKLER PROTECTION IS REQUIRED UNDER EXTERIOR ROOFS, CANOPIES, AND OVERHANGS OVER FOUR-FEET IN WIDTH. ADDITIONAL SPRINKLER HEADS MAY BE REQUIRED BASED ON FIELD CONDITIONS AS DETERMINED NECESSARY BY THE FIRE INSPECTOR.
5. PENDANT SPRINKLERS WITHIN 3- FEET OF THE CENTER OF A CEILING FAN, SURFACE MOUNTED CEILING LUMINAIRE OR SIMILAR OBJECT SHALL BE CONSIDERED TO BE OBSTRUCTED, AND ADDITIONAL SPRINKLERS SHALL BE INSTALLED.

VICINITY MAP



LOCATION MAP



DRAWN	PROJECT MANAGER	CHECKED
SW	BW	MD

JOB NUMBER: 1812

REVISIONS	DESCRIPTION	DATE
△	PLAN CHECK REVISIONS	5/29/23
△	PLAN CHECK REVISIONS	3/28/23
△	2019 CODE UPDATE	7/14/2021
△	2022 CODE UPDATE	1/26/24
△	2024 MINUTE	11/29/24

TITLE SHEET

T1.0

7/14/2021

ABBREVIATIONS

AB - ANCHOR BOLT	FAB - FABRICATION	O/ - OVER	VAR - VARIES
ABV - ABOVE	FAC - FACTORY	OA - OVERALL	VB - VAPOR BARRIER
AC - ASPHALT CONCRETE	FAS - FASTEN FASTENER	OB - OBTUSE	VCT - VINYL COMPOSITION TILE
ACJ - AIR CONDITIONING	FBB - FIBERBOARD	OC - ON CENTER (S)	VCTB - VINYL COVERED TACKBOARD
ACOSB - AIR-CURTAIN	FBL - FIBERGLASS	OD - OUTSIDE DIAMETER	VCB - VERTICAL
AD - ADJUST	FBLK - FIRE BLOCKING	OFD - OVERFLOW DRAIN	VCS - VERTICAL GRAIN
ADJ - ADJUSTABLE/ADJACENT	FBO - FURNISHED BY OTHERS	OH - OVERHEAD	VCR - VENER
ADP - AIR DUCT	FBD - FLOOR DRAIN	OPG - OPENING	VO - VENT OVER/OFFSET
ADSS - ALTERNATE	FF - FINISHED FLOOR	OF - OPENING	VR - VENT RISER
ALUM - ALUMINUM	FG - FIXED GLASS	OPF - OPPOSITE	VTR - VENT THROUGH ROOF
APPROX - APPROXIMATE	PHS - FLATHEAD MACHINE SCREW	OPT - OPTIONAL	VNC - VINYL WALL COVERING
ARCH - ARCHITECT (ARJAL)	PHD - FLATHEAD POOD SCREW		
	FIN - FINISH (ED)	PEB - PARTICLE BOARD	W/ - WITH
BB - BOTTOM OF BEAM	FL - FLOOR JOIST	PERH - PERIMETER	WG - WATER CLOSET
BD - BOARD	FLR - FLOOR (ING)	PERF - PERFORATE (D)	WD - WOOD
BDL - BELLOCH	FLOR - FLOORING	PFIB - PREFABRICATE (D)	WFD - WIRE D FINE GLASS
BLDG - BUILDINGS	FLX - FLEXIBLE	PL - PROPERTY LINE	WMC - WALL HANG CABINET
BLK - BLOCK	FND - FOUNDATION	PLAM - PLASTIC LAMINATE	WI - WROUGHT IRON
BLDG - BUILDINGS	FOC - FACE OF CONCRETE	PLAS - PLASTER	WN - WIRECROW
BH - BEAM	FOF - FACE OF FINISH	PLT - PLATE	WN - WIRE MESH
BOT - BOTTOM	FOH - FACE OF MASONRY	PLHD - PLTHOOD	WO - WITHOUT
BRD - BOARDING	FOS - FACE OF STUDS	PLN - PANEL	WP - WATERPROOFING
BRZ - BRONZE	FR - FRAME (D), (ING)	PNT - PAINT (ED)	WSCOT - WAINSCOT
BUR - BUILT UP ROOFING	FTG - FOOTING	POC - POINT OF CONNECTION	WST - WASTE
	FURK - FURRED (ING)	PT - POINT	WSP - WELDED WIRE FABRIC
	FUT - FUTURE	PTN - PARTITION	
C - CARPET	G - GAUGE	PVA - POLYVINYL ACETATE	# - AT
CAB - CABINET	GA - GAUGE GAUGE	PVC - POLYVINYL CHLORIDE	Ø - CENTER LINE
CAB - CATCH BASIN	GB - GYPSUM BOARD	R - RISER	∅ - DIAMETER
CEM - CEMENT	GD - GRADE GRADING	RD - ROOF DRAIN	0 - SQUARE FEET
CEB - CERAMIC	GI - GALVANIZED IRON	REF - REFERENCE	
CF - CUBIC FOOT	GL - GASKET (ED)	REFR - REFRIGERATOR	
CFL - COMPACTFLUORESCENT	GRV - GRAVEL	RENF - REINFORCE (D), (ING)	
CHAM - CHAMFER	GRV - GRAVEL	RENO - REMOVE	
CHBD - CHALKBOARD	GRV - GRAVEL	REQD - REQUIRED	
CI - CAST IRON	GYB - GYPSUM	RES - RESILIENT	
CJ - CEILING JOIST	H - HOSE DRIB	RET - RETURN	
CJT - CONTROL JOINT	HC - HOLLOW CORE	REV - REVISION (S), REVISED	
CLB - CERAMIC TILE	HG - HANGING	RFP - ROOFING	
CMU - CONCRETE MASONRY UNIT	HCAP - HANGING CAP	RFL - REFLECT (ED), (IVE), (OR)	
CONR - CONCRETE	HR - HEADER	RH - RIGHT HAND	
CO - CLEAN OUT	HW - HARDWOOD	RL - REDE LINE	
COL - COLUMN	HW - HORIZONTAL	RO - ROUGH OPENING	
COOP - COOPERATION	HM - HOLLOW METAL, STEEL	ROH - RIGHT OF WAY	
COMPO - COMPOSITION (COMPOSITE)	HR - HORIZONTAL	ROO - ROOF	
CONC - CONCRETE	HTG - HEATING	RND - ROUNDOFF	
CONT - CONTINUOUS OR CONTINUE	HTG - HEATING	RNL - RAINWATER LEADER	
CONST - CONSTRUCTION	HVAC - HEATING/VENTILATING/ AIR CONDITIONING	RB - RUBBER BASE	
CORR - CORRUGATED		SC - SOLID CORE	
COTF - CLEAN OUT THRU FLOOR		SCH - SCHEDULE	
COTG - CLEAN OUT THRU GRADE		SD - STORM DRAIN	
COTN - CLEAN OUT THRU HALL		SEC - SECTION	
CR - CURB RETURN		SELV - SELVING	
CRK - COUNTERSINK		SH - SHEET	
CS - CASSETT		SHF - SHEATHING	
CTSK - COUNTERSINK SCREW		SH - SIMILAR	
CTR - CENTER		SKL - SKYLIGHT	
GH - GOLD WATER		SP - SHELF & POLE	
		SPG - SPECIFICATION (S)	
		SQ - SQUARE	
		SS - STAINLESS STEEL	
		STD - STANDARD	
		STL - STEEL	
		STO - STORAGE	
		STRUC - STRUCTURE/STRUCTURAL	
		STRG - SHEET VINYL	
		SV - SYSTEM	
		T - TREAD	
		TB - TOP & BOTTOM	
		TEB - TELEPHONE	
		TEP - TEMPERED	
		TG - TONGUE AND GROOVE	
		TK - THICK (NESS)	
		TRU - THROUGH	
		TJ - TOOL JOINT	
		TRBD - TRACKBOARD	
		TRH - TOP OF MASONRY	
		TOB - TOP OF BEAM	
		TOC - TOP OF CURB OR CONCRETE	
		TP - TOILET PAPER DISPENSER	
		TPN - TOILET PARTITION	
		TS - TOP OF SHEATHING	
		TSB - TOP SET BASE	
		TSL - TOP OF SLAB	
		TT - TYPICAL	
		TT - TYPICAL	
		TV - TELEVISION	
		TH - TOP OF HALL	
		UN - UNLESS OTHERWISE NOTED	

SUPPRESSION SYSTEMS

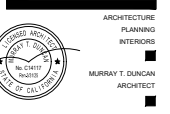
1. SUPPRESSION SYSTEMS SHALL BE REGISTERED WITH THE COMPLIANCE ENGINEER (www.thecomplianceengineer.com) PRIOR TO FINAL INSPECTION.

ARCHITECTS INSPECTION

- ATTENTION CONTRACTORS - THE ARCHITECT SHALL BE CALLED TO THE SITE FOR INSPECTION 4 APPROVAL OF THE CONSTRUCTION AT THESE STAGES:
- 1. AFTER FRAMING IS COMPLETE (BEFORE GYPSUM BOARD INSTALLATION)
- 2. AFTER ALL GYPSUM BOARD & WINDOWS HAVE BEEN INSTALLED (BEFORE TAPE 4 TEXTURE)
- 3. AFTER ALL CONSTRUCTION IS FINISHED 4 COMPLETE. (FOR FINAL ARCHITECTS INSPECTION)

SHEET INDEX

T-1.0 TITLE COVER SHEET	TITLE 24 COMPLIANCE
T-2.0 ABBREVIATIONS, SYMBOLS LEGEND	END T-24 ENERGY CALCULATIONS
	EN1 T-24 ENERGY CALCULATIONS
	EN2 T-24 ENERGY CALCULATIONS
TS-1 TOPOGRAPHIC SURVEY	
TENTATIVE MAP	SOLAR PV
C1 OF C4 VESTING TENTATIVE TRACT MAP	PV2 SOLAR PV GENERAL NOTES, CALCS & SCHEDULES
C2 OF C4 DEVELOPMENT PLAN	PV1 SOLAR PV PLAN - ROOF
C3 OF C4 PRELIMINARY GRADING & DRAINAGE	PV2 SOLAR PV EQUIPMENT SUBMITTAL
C4 OF C4 PRELIMINARY UTILITY PLAN	
CIVL PRECISE GRADING & UTILITY PLAN	STRUCTURAL
C2 SECTIONS AND DETAILS	S1 FOUNDATION PLAN
	S2 1ND & 2ND FLOOR FRAMING PLANS
	S3 ROOF FRAMING PLAN
	S4 STRUCTURAL DETAILS
	S5 STRUCTURAL DETAILS
	S6 STRUCTURAL DETAILS
	S7 STRUCTURAL DETAILS
	S8 STRUCTURAL DETAILS
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	S99 STRUCTURAL DETAILS
	S100 STRUCTURAL DETAILS



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HENDRICKSON TRI-PLEX
5201 DRIFTWOOD STREET
OXNARD, CALIFORNIA

DRAWN	PROJECT MANAGER	CHECKED
SW	BW	MD

REVISIONS	DESCRIPTION	DATE
1	PLAN CHECK REVISIONS	5/29/23
2	PLAN CHECK REVISIONS	5/29/23
3	2023 CODE UPDATE	7/14/2023
4	2023 CODE UPDATE	11/29/23
5	100-MINUTES	11/29/2024

ABBREVIATIONS
SYMBOLS LEGEND
CODE COMPLIANCE

T20

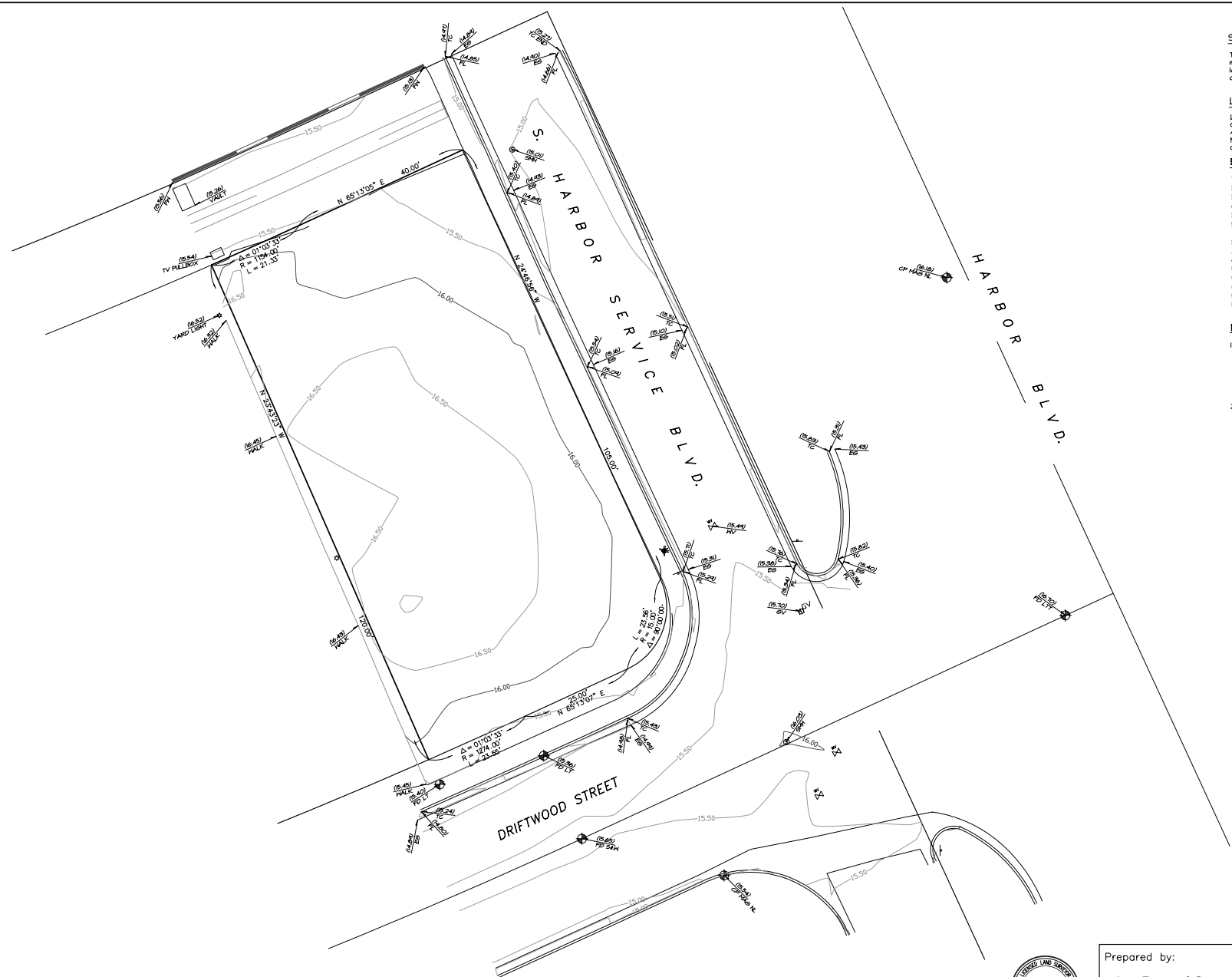
SYMBOLS LEGEND

	PROPERTY LINE	
	ELEVATION DATUM	
	DOOR MARK	
	WINDOW MARK	
	STUD WALLS PER WALL TYPES	

CODE COMPLIANCE

ALL CONSTRUCTION ACTIVITIES SHALL CONFORM WITH:

- 2022 CALIF. BUILDING CODE
- 2022 CALIF. MECHANICAL CODE
- 2022 CALIF. PLUMBING CODE
- 2022 CALIF. ELECTRICAL CODE
- 2022 CALIF. ENERGY CODE
- 2022 CALIF. FIRE CODE
- 2022 CALIF. GREEN BUILDING STANDARDS CODE



SURVEYOR'S STATEMENT

This map correctly represents a topographic survey made by me or under my direction in conformance with locally accepted standards and practices at the request of ISLAND LLC in July, 2018.

LEGAL DESCRIPTION

LOT 22, TRACT NO. 1056, IN THE CITY OF OXNARD, COUNTY OF VENTURA, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 27 PAGE 15 OF MISCELLANEOUS RECORDS (MAPS), IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

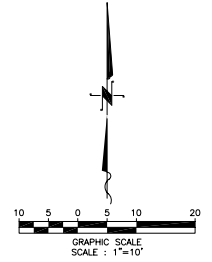
BENCHMARK

VCPI#: 424
 DESIGNATION: 100-4
 Datum: NAVD 88
 Character: VENTURA COUNTY BRASS Disk
 Date: 2009
 Elevation: 14.90 Feet

Description:
 AT THE SOUTHEASTERLY CORNER OF THE INTERSECTION OF HARBOR BOULEVARD AND WEST FIFTH STREET, 116.0 FEET SOUTHEASTERLY FROM THE CENTER OF WEST FIFTH STREET, 18.0 FEET EASTERLY FROM THE CENTER OF HARBOR BOULEVARD, 6.5 FEET NORTHERLY FROM ROVER POLE NUMBER 182702E, 1.0 FOOT WESTERLY FROM AN IRON GUARD POST.

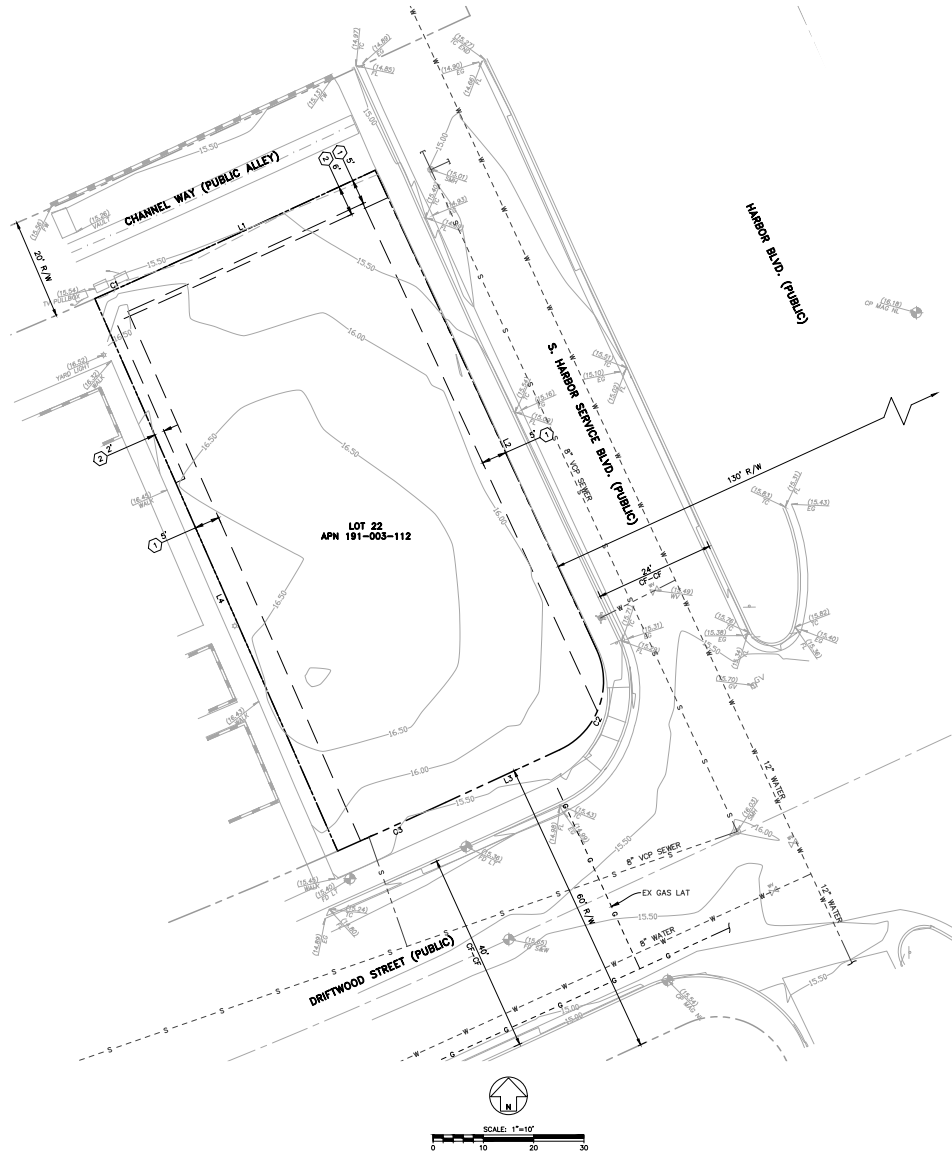
NOTES

1. No attempt has been made as a part of this topographic survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or municipal/public service facility, except as may be shown hereon. For information regarding these utilities or facilities, contact the appropriate agency.
2. Except as specifically stated or shown on this plot, this topographic survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, other than possible easements that were visible at the time of making this survey; existing setback lines; restrictive covenants; zoning or other land use regulations; and any other land use regulations; and any other facts that an accurate and current title search may disclose.



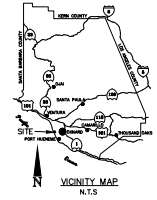
Prepared by:
 Les Everard Surveyor
 5201 Clemson Street
 Ventura, CA 93003
 (805) 289-9407

Topographic Survey
 5201 Driftwood Street
 Oxnard, CA
 Survey Date: July, 2018



PROJECT INFORMATION/STATISTICS

ASSESSOR'S PARCEL NUMBER: 191-003-112
 ADDRESS: 5201 DRIFTWOOD ST
 OXNARD, CA 93035
 EXISTING LAND USE: VACANT LOT
 EXISTING LANDUSE: (ONSITE)
 EXISTING ZONING: RESIDENTIAL (R3C)
 PROPOSED ZONING: RESIDENTIAL (R3C)
 GROSS AREA: 0.17 ACRES
 NET AREA: 0.17 ACRES
 TOTAL CONDUMINIUMS: 3
 LEGAL PARCELS: 1
 GROSS DENSITY: 17.65 DU/AC
 NET DENSITY: 17.65 DU/AC
 SETBACKS: FRONT YARD: 15'
 REAR YARD: 25'
 SIDE YARDS: 10'



CONTACT INFORMATION

OWNER
 OCEAN DREAM GROUP, LLC
 CONTACT: OREN CHABRSKI
 5400 SEPULVEDA BLVD., SUITE 102-3
 VAN NUYS, CA 91411
 (818) 404-4887

ARCHITECT
 MURRAY DUNCAN ARCHITECTS
 CONTACT: MURRAY DUNCAN
 150 CASTILIAN DR, SUITE 201
 COLETA, CA 93017
 (805) 562-1270

LANDSCAPE ARCHITECT
 ROBERT ANDREW FOWLER
 LANDSCAPE ARCHITECTURE
 CONTACT: ROB FOWLER
 (805) 730-7555

UTILITY PROVIDER INFORMATION

UTILITY PROVIDER INFORMATION

SEWER
 CITY OF OXNARD
 6001 S PERKINS RD
 OXNARD, CA 93033
 (805) 385-7839

WATER
 CITY OF OXNARD
 251 S HAYES AVE
 OXNARD, CA 93030
 (805) 385-8154

GAS
 SOUTHERN CALIFORNIA GAS
 9400 CANGALL AVE
 CHATSWORTH, CA
 (818) 701-3245

ELECTRIC
 SOUTHERN CALIFORNIA EDISON
 14000 S BENSON AVE
 OXING, CA 91710
 (909) 328-8445

TELECOMMUNICATIONS
 FRONTIER
 201 FLINN ROAD
 CAMARILLO, CA 93012
 (805) 504-0179

EXISTING EASEMENTS/EXCEPTIONS

- ① A 5' WIDE EASEMENT FOR UTILITY PURPOSES.
- ② A VARIABLE WIDTH PUBLIC UTILITY EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON.

LEGEND

EXISTING PARCEL BOUNDARY	---
EXISTING EASEMENT	- - - - -
EXISTING SEWER	S - - - - -
EXISTING WATER	W - - - - -
EXISTING GAS	G - - - - -

LINE	LENGTH	DIRECTION
L1	40.00	S65°15'00"W
L2	105.00	S34°46'30"E
L3	25.00	S65°15'00"W
L4	120.00	N21°43'23"W

CURVE	DELTA	RADIUS	LENGTH
C1	103°33'	1154.00	21.33
C2	90°00'	15.00	23.56
C3	103°33'	1274.00	23.55

LEGAL DESCRIPTION

LOT 22, TRACT NO. 1056, IN THE CITY OF OXNARD, COUNTY OF VENTURA, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 27 PAGE 15 OF MISCELLANEOUS RECORDS (MAPS), IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
 EXCEPT ALL METALS AND MINERALS, OIL, PETROLEUM, GAS, HYDROCARBON SUBSTANCES AND ALL SUBSOL PRODUCTS AND FISSONABLE SUBSTANCES IN OR UNDER SAID PROPERTY AND EVERY PART THEREOF, TOGETHER WITH THE SOLE AND EXCLUSIVE RIGHT, AS HERINAFTER LIMITED, TO DRILL REDRILL, DEFEEN, COMPLETE AND MAINTAIN WELL HOLES UNDER, THROUGH AND BEYOND, AND TO DRILL FOR, PRODUCE, EXTRACT, TAKE AND REMOVE SAID SUBSTANCES, AND WATER NECESSARY THEREFOR, FROM AND THROUGH SAID REAL PROPERTY, TOGETHER WITH RIGHTS OF WAY AND EASEMENTS FOR ANY AND ALL OF THE ABOVE MENTIONED PURPOSES, BUT WITH NO RIGHT OF ENTRY UPON OR THROUGH SAID REAL PROPERTY EXCEPT BENEATH A DEPTH OF 500 FEET BELOW THE SURFACE OF SAID REAL PROPERTY.

SURVEY NOTES

BOUNDARY
 BOUNDARY SHOWN PER CITY RECORDS.
BENCHMARK
 VCPD 424, NO. 100-9
 AT THE SOUTHEASTERLY CORNER OF THE INTERSECTION OF HARBOR BOULEVARD AND WEST FIFTH STREET, 116.0 FEET SOUTHEASTERLY FROM THE CENTER OF WEST FIFTH STREET, 78.0 FEET EASTERLY FROM THE CENTER OF HARBOR BOULEVARD, 6.5 FEET NORTHERLY FROM POWER POLE NUMBER 1327072E, 1.0 FOOT WESTERLY FROM AN IRON GUARD POST.
 CHARACTER: VENTURA COUNTY BRASS DISK
 ELEVATION: 14.30 FEET
 DATUM: NAVD 1988
 DATE: 2003

FLOOD HAZARD INFORMATION

PROJECT SITE IS LOCATED WITHIN A ZONE DESIGNATION X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) DESIGNATED AS HAVING A 0.2% ANNUAL CHANCE FLOOD HAZARD.

SHEET INDEX

SHEET DESCRIPTION	SHEET NO.
VESTING TENTATIVE TRACT MAP	C1
DEVELOPMENT PLAN	C2
PRELIMINARY GRADING AND DRAINAGE PLAN	C3
PRELIMINARY UTILITY PLAN	C4

OWNER'S CERTIFICATE

I HEREBY APPLY FOR THE APPROVAL OF THE DIVISION OF REAL PROPERTY SHOWN ON THIS MAP AND CERTIFY THAT I AM THE LEGAL OWNER AND AUTHORIZED AGENT OF THE LEGAL OWNER AND THAT THE INFORMATION SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SIGNED _____ DATE _____
 PRINTED NAME _____ TITLE _____

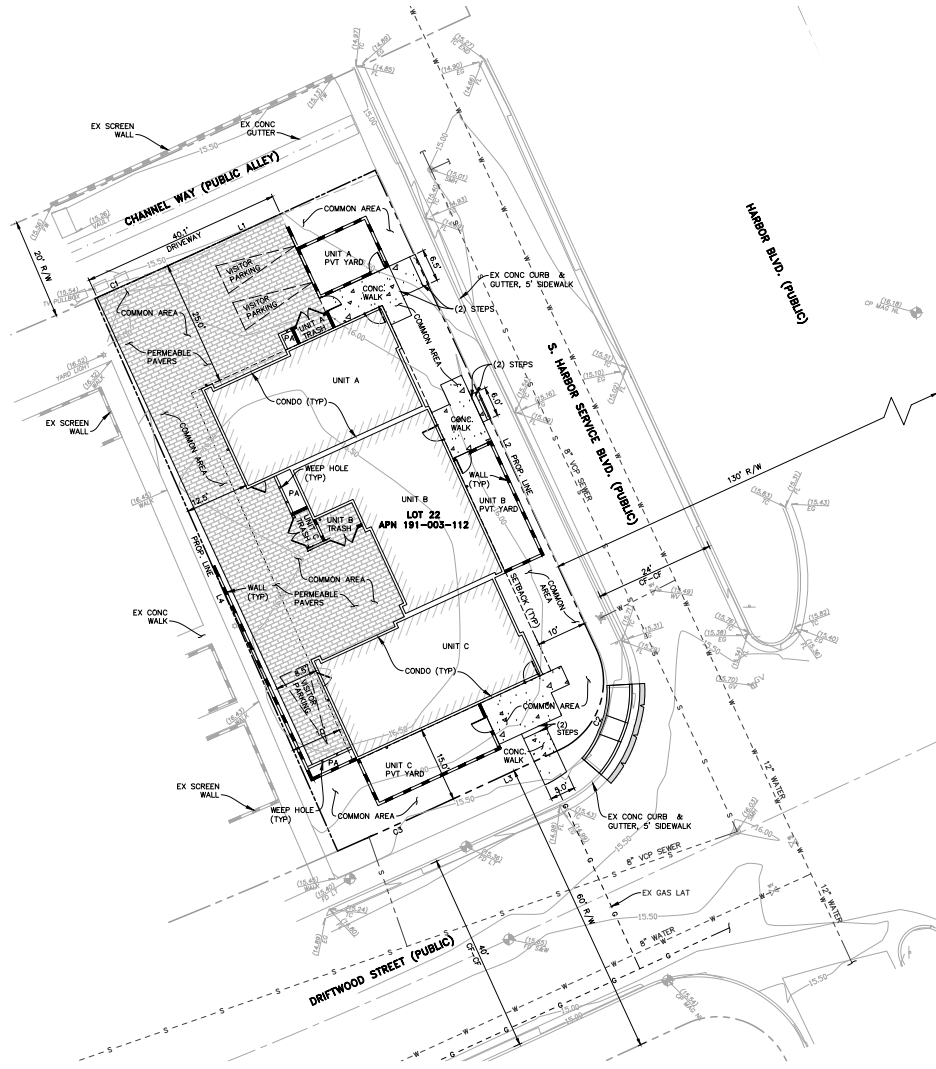


REV.	DATE	DESCRIPTION	APP.

Stantec
 200 East Corliss Street, Santa Barbara, CA 93101
 Phone: (805) 963-9532
 PREPARED BY: PETE SILVA
 JOB No. 2042683700
 SHEET C1 OF C4

VESTING TENTATIVE TRACT MAP
 NO. XX,XXX
 FOR CONDOMINIUM PURPOSES
 COUNTY OF VENTURA, CA

DATE PLOTTED: 12/17/2024 10:58:53 AM
 PLOT BY: STAN, TEE
 PROJECT: 2042683700 - 191-003-112 - 04/18/24
 SHEET: C1 OF C4
 FILE: C:\Users\stee\OneDrive - Stantec\Documents\2042683700 - 191-003-112 - 04/18/24\191-003-112 - 04/18/24 - C1.dwg



ABBREVIATIONS

- AC ASPHALT CONCRETE
- AS ASPHALT SURFACE
- BF BACK OF WALK
- CF CURB FACE
- CL CENTERLINE
- CONC CONCRETE
- CP CONTROL POINT
- EG EXISTING GROUND
- EX EXISTING
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOOR
- FL FIRE HYDRANT
- FL FLOWLINE
- FS FINISHED SURFACE
- GB GRADE BREAK
- GM GAS METER
- GV GAS VALVE
- HP HIGH POINT
- ICV IRRIGATION CONTROL VALVE
- IRV IRRIGATION
- IRI IRRIGATION
- LAT LATERAL
- LP LOW POINT
- MIN MINIMUM
- ORW OVERHEAD WIRE
- PR FULL BOX
- R/W RIGHT OF WAY
- SS SANITARY SEWER
- SMH SEWER MANHOLE
- TO TOP OF CURB
- TM TOP OF WALL
- VCP VITRIFIED CLAY PIPE
- WM WATER METER
- WV WATER VALVE

LEGEND

- EXISTING PARCEL BOUNDARY
- BUILDING SETBACK
- EXISTING SEWER
- EXISTING WATER
- EXISTING GAS
- PROPOSED WALL
- PROPOSED CONCRETE
- PROPOSED PERMEABLE PAVERS

LINE TABLE

LINE	LENGTH	DIRECTION
L1	40.00	S85°15'07"W
L2	108.00	S34°46'56"E
L3	25.00	S85°15'07"W
L4	120.00	N02°43'23"W

CURVE TABLE

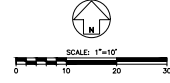
CURVE	DELTA	RADIUS	LENGTH
C1	170.331°	1154.00	21.33
C2	90°00'00"	15.00	23.56
C3	170.331°	1274.00	23.55

PROJECT INFORMATION/STATISTICS

ASSESSOR'S PARCEL NUMBER: 191-003-112
 ADDRESS: 5201 DRIFTWOOD ST
 OXNARD, CA 93035
 EXISTING LAND USE: VACANT LOT
 EXISTING LANDUSE (OFFSITE): NORTH: CHANNEL WAY
 SOUTH: DRIFTWOOD STREET
 WEST: MULTIFAMILY
 EAST: S HARBOR SERVICE BLVD
 EXISTING ZONING: RESIDENTIAL (R3C)
 PROPOSED ZONING: RESIDENTIAL (R3C)
 GROSS AREA: 0.17 ACRES
 NET AREA: 0.17 ACRES
 TOTAL CONDOMINIUMS: 3
 LEGAL PARCELS: 1
 GROSS DENSITY: 17.65 DU/AC
 NET DENSITY: 17.65 DU/AC
 SETBACKS: FRONT YARD: 15'
 REAR YARD: 25'
 SIDE YARDS: 10'

PROJECT INFORMATION/STATISTICS

GENERAL
 ASSESSOR'S PARCEL NUMBER: 191-003-112
 EXISTING ZONING: RESIDENTIAL (R3C)
 PROPOSED ZONING: RESIDENTIAL (R3C)
 CONDOMINIUMS: 3
 LEGAL PARCELS: 1
 SETBACKS: AS SHOWN
 AREA STATISTICS
 TOTAL AREA: 0.17 ACRES
 GROSS DENSITY: 17.65 DU/AC
 NET DENSITY: 17.65 DU/AC
 EXISTING (SF) PROPOSED (SF)
 BUILDING AREA: 0 2,584
 PRIVATE HARDSCAPE: 0 0
 COMMON HARDSCAPE: 0 439
 PREVIOUS PAVEMENT AREA: 0 2,363
 TOTAL IMPERVIOUS: 0 0
 TOTAL AREA: 0 0
 PRIVATE LANDSCAPE: 0 583
 COMMON LANDSCAPE: 7,445 1,476
 TOTAL LANDSCAPE: 7,445 6,059
 TOTAL AREA: 7,445 7,445
 PARKING
 COVERED PARKING: 6 SPACES
 UNCOVERED PARKING: 3 SPACES
 TOTAL PARKING: 9 SPACES



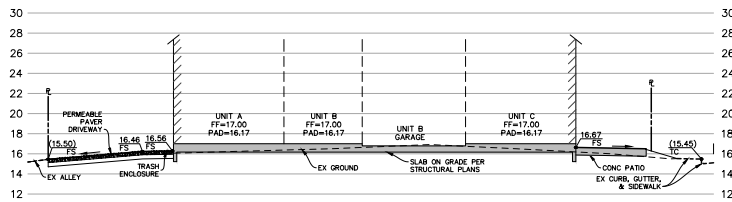
Stantec
 200 East Corolla Street, Santa Barbara, CA 93101
 Phone: (805) 963-9532
 PREPARED BY: PETE SILVA
 JOB No. 2042683700
 DATE: 12/19/2024

DEVELOPMENT PLAN
 VTTM XX,XXX
 FOR CONDOMINIUM PURPOSES
 COUNTY OF VENTURA, CA

REV. DATE DESCRIPTION APP. PETE SILVA

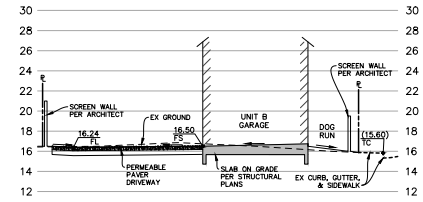
SHEET C2 OF C4

DESIGN: [redacted] CHECKED: [redacted]
 DATE: 12/19/2024 1:48:05 PM
 PROJECT: 2042683700 - 191-003-112 - 5201 DRIFTWOOD ST, OXNARD, CA 93035
 DRAWING: 12/19/2024 1:48:05 PM



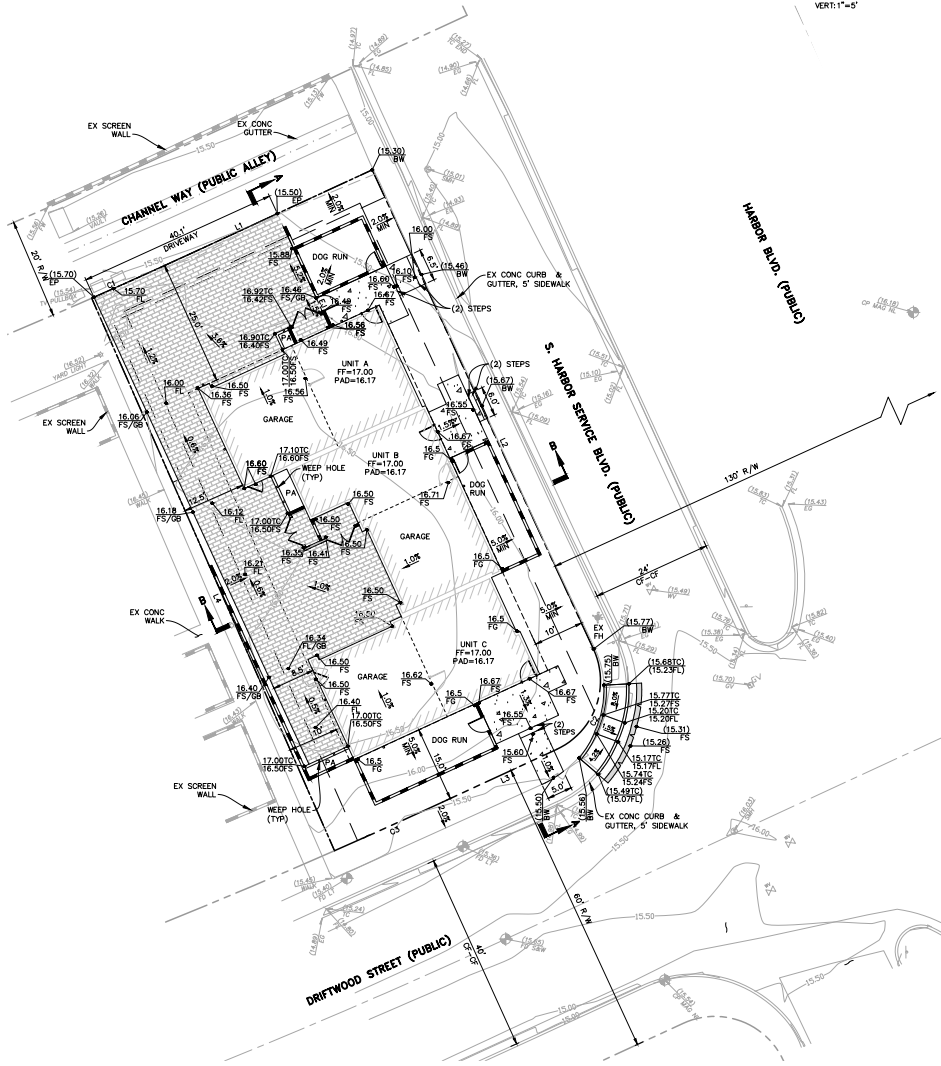
SECTION A-A

SCALE:
HORIZ: 1"=10'
VERT: 1"=5'



SECTION B-B

SCALE:
HORIZ: 1"=10'
VERT: 1"=5'



CAUTION: UNDERGROUND STRUCTURES

ALL UNDERGROUND UTILITIES OR STRUCTURES REPORTED BY THE OWNER OR THOSE SHOWN ON RECORDS EXAMINED ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT. THE DEVELOPER, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO, UNDERSTANDS THAT THEY AGREE TO ASSUME LIABILITY AND AGREE TO HOLD THE UNDERSIGNED HARMLESS FOR ANY LIABILITY FOR DAMAGE RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO OR UNDERSIGNED, NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT VARIANCE WITH THAT REPORTED OR SHOWN ON RECORDS EXAMINED. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING TO WORK.

EARTHWORK

EARTHWORK ESTIMATES:

CUT: 50 CY
FILL: 30 CY

EARTHWORK NOTES:

THE ABOVE QUANTITIES ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISH GRADE OR SUBGRADE. QUANTITIES HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, SHRINKAGE, CLEAR AND GRUBBING, OVER-EXCAVATION AND RE-COMPACTION, OR CONSTRUCTION METHODS.

ABBREVIATIONS

- AC ASPHALT CONCRETE
- BM BENCH MARK
- CF CURB FACE
- CL CENTERLINE
- CONC CONCRETE
- CP CONTROL POINT
- EG EXISTING GROUND
- EX EXISTING
- FF FINISH FLOOR
- FG FINISH GRADE
- FI FIRE HYDRANT
- FL FLOORLINE
- FS FINISHED SURFACE
- GB GRADE BREAK
- GM GAS METER
- GV GAS VALVE
- HP HIGH POINT
- ICV IRRIGATION CONTROL VALVE
- IRV IRRIGATION
- IRP IRRIGATION
- LAT LATERAL
- LP LOW POINT
- MIN MINIMUM
- OW OVERHEAD WIRE
- PB PULL BOX
- R/W RIGHT OF WAY
- SS SANITARY SEWER
- SMH SEWER MANHOLE
- TC TOP OF CURB
- TM TOP OF WALL
- TYP TYPICAL
- VCP VITRIFIED CLAY PIPE
- WM WATER METER
- WV WATER VALVE

LEGEND

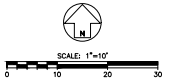
- EXISTING PARCEL BOUNDARY
- BUILDING SETBACK
- PROPOSED WALL
- PROPOSED CONCRETE
- PROPOSED PERMEABLE PAVERS

LINE TABLE

LINE	LENGTH	DIRECTION
L1	40.00	S85°15'07"W
L2	105.00	S24°46'56"E
L3	25.00	S85°15'07"W
L4	120.00	N23°43'23"W

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH
C1	170.333°	1154.00	21.33
C2	90.000°	15.00	23.56
C3	170.333°	1274.00	23.55



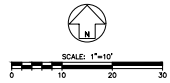
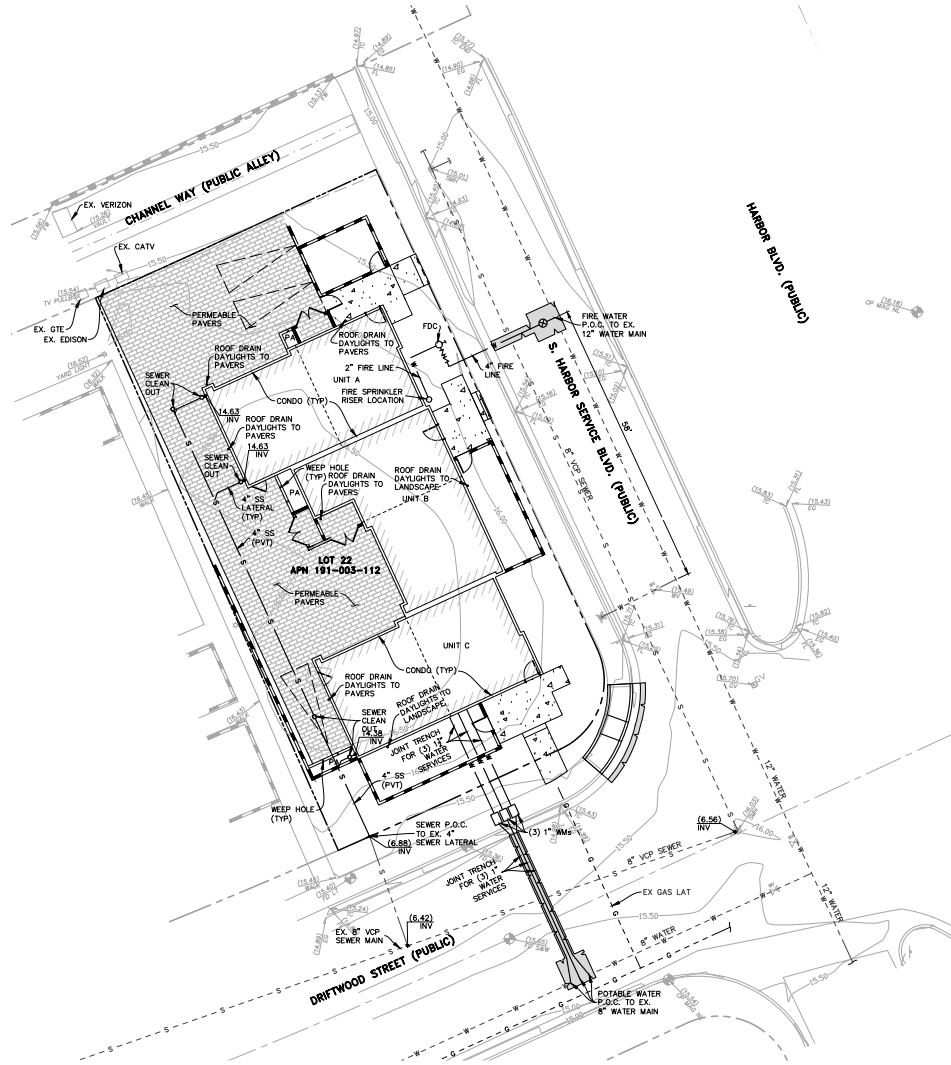
Stantec
200 East Corolla Street, Santa Barbara, CA 93101
Phone: (805) 963-9532
PREPARED BY: PETE SILVA
JOB No. 2042683700

PRELIMINARY GRADING & DRAINAGE
VTM XX,XXX
FOR CONDOMINIUM PURPOSES
COUNTY OF VENTURA, CA

REV.	DATE	DESCRIPTION	APP.	DATE

SHEET: 001 OF 001
 DATE: 12/19/2024
 PROJECT: 2042683700 - VENTURA COUNTY CONDOMINIUM PROJECT
 DRAWING: GRADING & DRAINAGE
 SCALE: 1"=10'
 SHEET: 001 OF 001

SHEET NO. 252
 DATE: 12/19/2024
 PROJECT: 2042683700
 DRAWN BY: [Redacted]
 CHECKED BY: [Redacted]
 DATE: 12/19/2024
 SCALE: 1"=10'
 PROJECT: 2042683700



CAUTION: UNDERGROUND STRUCTURES

ALL UNDERGROUND UTILITIES OR STRUCTURES REPORTED BY THE OWNER OR THOSE SHOWN ON RECORDS EXAMINED ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT. THE DEVELOPER, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO, UNDERSTANDS THAT THEY AGREE TO ASSUME LIABILITY, AND AGREE TO HOLD THE UNDERSIGNED HARMLESS FOR ANY LIABILITY FOR DAMAGE RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED, NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT VARIANCE WITH THAT REPORTED OR SHOWN ON RECORDS EXAMINED. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING TO WORK.

ABBREVIATIONS

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CF CURB FACE
- CL CENTERLINE
- CONC CONCRETE
- CP CONTROL POINT
- EG EXISTING GROUND
- EX EXISTING
- FDC FIRE DEPARTMENT CONNECTION
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FINISH FLOOR
- FLW FINISHED SURFACE
- FS FINISHED SURFACE
- GB GRADE BREAK
- GM GAS METER
- GV GAS VALVE
- HP HIGH POINT
- ICV IRRIGATION CONTROL VALVE
- INV INVERT
- IRE IRRIGATION
- LAT LATERAL
- LP LOW POINT
- MN MINIMUM
- OW OVERHEAD WIRE
- PA PLANTER AREA
- PR PULL BOX
- PVI PRIVATE
- R/W RIGHT OF WAY
- RS SANITARY SEWER
- SE SEWER MANHOLE
- TD TOP OF CURB
- TW TOP OF WALL
- TYP TYPICAL
- VSP VITRIFIED CLAY PIPE
- WM WATER METER
- WV WATER VALVE

LEGEND

- EXISTING PARCEL BOUNDARY
- BUILDING SETBACK
- EXISTING SEWER
- EXISTING WATER
- EXISTING GAS
- PROPOSED SEWER
- PROPOSED WATER
- PROPOSED WALL
- PROPOSED CONCRETE
- PROPOSED PERMEABLE PAVERS



REV.	DATE	DESCRIPTION	APP.

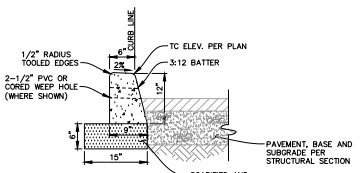
Stantec
 200 East Corolla Street, Suite 200, CA 93101
 Phone: (408) 963-9532
 PREPARED BY: PETE SILVA
 RICE No 70435 DATE

PRELIMINARY UTILITY PLAN
 VTTM XX,XXX
 FOR CONDOMINIUM PURPOSES
 COUNTY OF VENTURA, CA

JOB No: 2042683700 12/19/2024 SHEET C4 OF C4

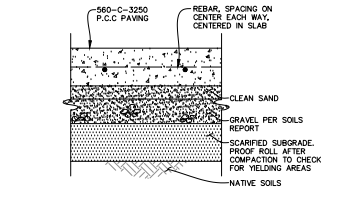


DRAWN	PROJECT MANAGER	CHECKED
PAS	PAS	GGG
JOB NUMBER:		2042683700
REVISIONS	DESCRIPTION	DATE
1	PLAN CHECK REVISIONS	5/28/2019
2	PLAN CHECK REVISIONS	6/28/2019
3	PLAN CHECK REVISIONS	8/21/2019
4	2024 CODE UPDATE	7/1/2024
5	2022 CODE UPDATE	1/8/2024
6	DATE MINUTES	11/21/2024



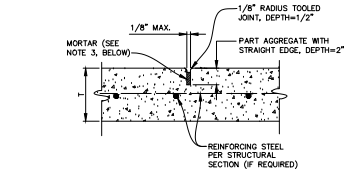
- NOTES:
- CONCRETE SHALL BE CLASS 532-OFW-3250.
 - EXPOSED EDGES SHALL HAVE A 1/2" TOOLED RAUOUS.
 - SUBGRADE SOILS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.

6" CONCRETE CURB DETAIL
SCALE: 1"=1'



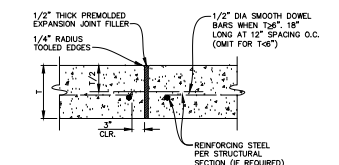
- NOTES:
- AGGREGATE BASE AND SUBGRADE SOILS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.
 - INSTALL WEAKENED PLANE JOINTS PER ARCHITECT'S PLAN AND PER DETAIL "C", THIS SHEET.
 - INSTALL EXPANSION JOINTS PER PLAN AND PER DETAIL "D", THIS SHEET.

TYPICAL SECTION CONCRETE PAVEMENT
SCALE: N.T.S.



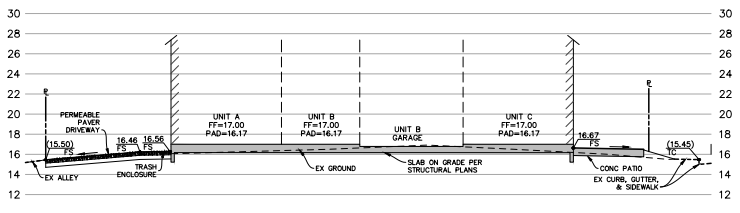
- NOTES:
- SEE STRUCTURAL SECTION FOR THICKNESS, T, AND JOINT LOCATIONS.
 - CONCRETE SHALL BE PARTED TO A DEPTH OF 2" WITH A STRAIGHTEDGE AFTER PRELIMINARY TROWELING.
 - CONCRETE SHALL BE REPLEATED TO FILL JOINT WITH MORTAR PRIOR TO CONSTRUCTION OF FINAL TOOLED JOINT.
 - STEEL REINFORCEMENT SHALL BE CONTINUOUS THROUGH WEAKENED-PLANE JOINTS.

MINOR CONCRETE WEAKENED-PLANE JOINT DETAIL
SCALE: N.T.S.

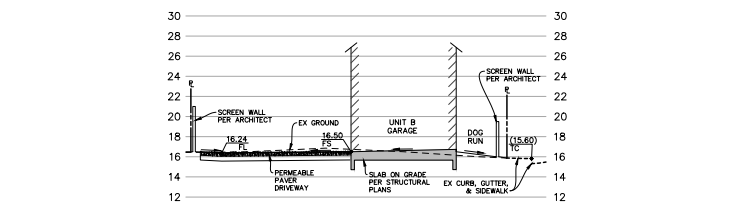


- NOTES:
- SEE STRUCTURAL SECTION FOR THICKNESS ("T") AND JOINT LOCATIONS.
 - USE SMOOTH STAIN FOR DOWELS, GREASE EXPOSED END PRIOR TO SECOND POUR TO PREVENT BOND.
 - PROVIDE ADEQUATE SUPPORT FOR DOWELS TO ENSURE THEY REMAIN LEVEL WITH FINISH SURFACE.
 - EXCESS FILLER MATERIAL SHALL BE TRIMMED OFF IN A WORKMANLIKE MANNER.
 - EXCEPT FOR DOWELS, STEEL REINFORCEMENT SHALL NOT EXTEND THROUGH CONSTRUCTION/EXPANSION JOINTS.

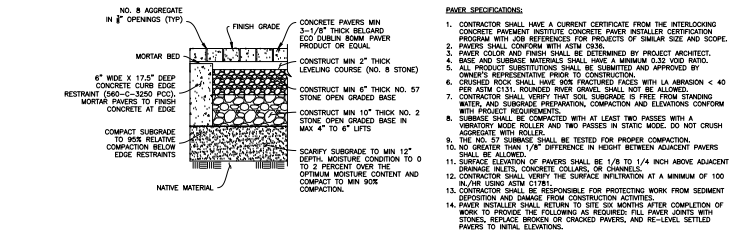
CONSTRUCTION/EXPANSION JOINT DETAIL
SCALE: N.T.S.



SECTION E
SCALE: HORIZ: 1"=10' VERT: 1"=5'



SECTION F
SCALE: HORIZ: 1"=10' VERT: 1"=5'



PERMEABLE PAVER STRUCTURAL SECTION
SCALE: N.T.S.

DETAIL APPLICABILITY: STREETS OLDER THAN 10 YEARS

STD. TRENCH BACKFILL REQUIREMENT
PLATE 602
Department of Public Works

NOTE: SHEET 2 NOT APPLICABLE

DETAIL APPLICABILITY: STREETS OLDER THAN 10 YEARS

STD. TRENCH BACKFILL REQUIREMENT
PLATE 602
Department of Public Works

NOTE: SHEET 2 NOT APPLICABLE

DETAIL APPLICABILITY: STREETS OLDER THAN 10 YEARS

STD. TRENCH BACKFILL REQUIREMENT
PLATE 602
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NOTE: SHEET 2 NOT APPLICABLE

DETAIL APPLICABILITY: STREETS OLDER THAN 10 YEARS

STD. TRENCH BACKFILL REQUIREMENT
PLATE 602
Department of Public Works

NOTE: SHEET 2 NOT APPLICABLE

KEY	QUANTITY	DESCRIPTION
(1)	1	ROMEX STAINLESS STEEL TAPPING DEVICE OR EQUAL (4" MIN.)
(2)	1	TAPPING VALVE (RESILIENT SEAT) WITH FLANGE & MECHANICAL JOINT
(3)	2	80' ELBOW-FLANGED BY PLANGED
(4)	2	80' ELBOW-FLANGED BY MECHANICAL JOINT
(5)	2	THREADED PLANGED SPICE (DUSTED END)
(6)	1	DOUBLE DETECTOR CHECK ASSEMBLY WITH O.S. & V. VALVES (A.I.C. APPROVED)
(7)	2	PIPE SUPPORT (SEE DETAIL)
(8)	1	JENCO PRECAST FIBERGLASS VALVE BOX
(9)	1	3/4" BYPASS METRO-SERVIS OR EQUAL
(10)	1	CONCRETE AND BOX FOR FUTURE ALARM SYSTEM

- NOTES:
- INSTALLATION AND FITTING SHALL HAVE A MIN. OF 12" SEE CLEARANCE.
 - ALL FITTINGS SHALL BE THIRDS OPEN WITH UNCOATED AND P.E. WRAPPED.
 - THE COMPLETE ASSEMBLY ABOVE GROUND SHALL BE PAINTED BY CONTRACTOR (SEE GENERAL).
 - INSTALLATION SHALL BE INSPECTED AND APPROVED BY CROSS-CONNECTION CONTROL PRIOR TO ACTIVATING RESTRICTION SECTION.
 - CONNECTIONS SHALL BE TESTED BY A CERTIFIED TESTER IMMEDIATELY AFTER THEY ARE INSTALLED.
 - BARFLOW PREVENTER SHALL BE TESTED BY A CERTIFIED TESTER IMMEDIATELY AFTER THEY ARE INSTALLED.
 - CLEARANCES SHALL BE MAINTAINED TO THE LOWEST PART OF THE DEVICE INCLUDING ROBEY VALVES.
 - A 1/2" OR 3/4" BACKFLOW DEVICE MUST BE INSTALLED WITH A 4" SERVICE & REDUCING BELOW AS SHOWN.
 - RESTRICTION ARMOR MAY BE SUBSTITUTED BY RESTRICTION BLOCKS. RESTRICTION JOINTS SHALL BE MANUFACTURED BY ROMEX INDUSTRIES, OR APPROVED EQUAL.
 - P.W. INSTALLATIONS SHALL INCLUDE A 12" MINIMUM LOCATING MIN.

OXNARD 2" & LARGER FIRE LINE INSTALLATION
PLATE 311
Department of Public Works

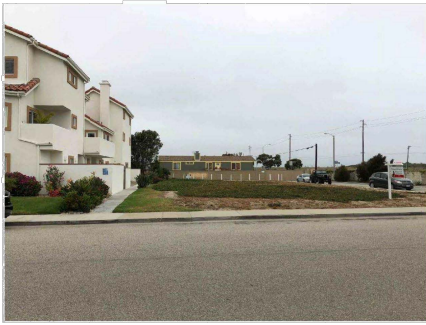


Photo-No.1



Photo-No.2



Photo-No.3



Photo-No.4



Photo-No.5



Photo-No.6



Photo-No.7



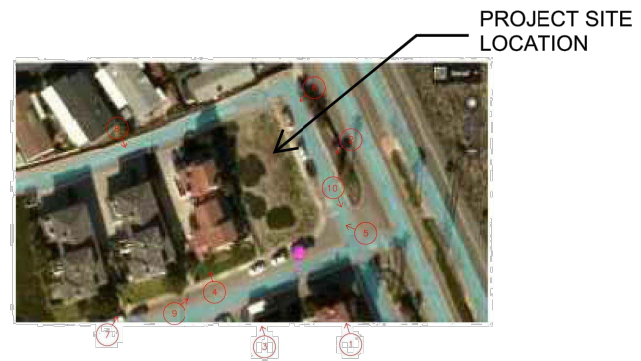
Photo-No.8



Photo-No.9



Photo-No.10



AERIAL VIEW OF EXISTING SITE & KEY MAP

NOT TO SCALE



MDA GROUP



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HENDRICKSON TRI-PLEX
5201 DRIFTWOOD STREET
OXNARD, CALIFORNIA

DRAWN	PROJECT MANAGER	CHECKED
BW	BW	MD

JOB NUMBER: 1812

REVISIONS	DESCRIPTION	DATE
△	PLAN CHECK REVISIONS	5/29/2019
△	PLAN CHECK REVISIONS	8/28/2019
△	2019 CODE UPDATE	7/14/2021
△	2022 CODE UPDATE	1/26/2024
△	LOG MINUTES	11/21/2024

SITE PHOTOGRAPHS

A-01

7/14/2021

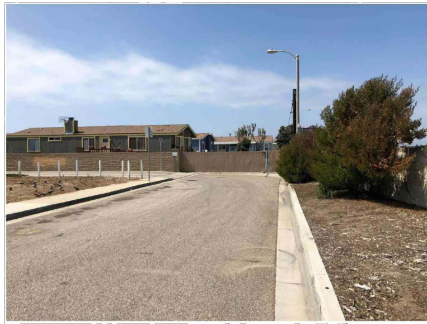


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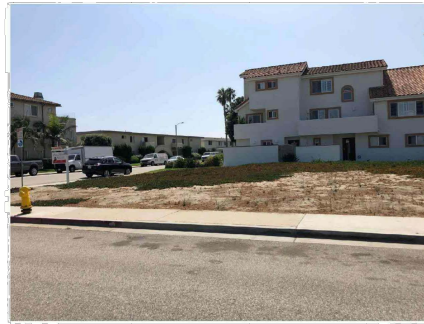


Photo-No.12



Photo-No.13



Photo-No.14



Photo-No.15



Photo-No.16



Photo-No.17



Photo-No.18



PROJECT SITE
LOCATION

AERIAL VIEW OF EXISTING SITE & KEY MAP

NOT TO SCALE



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5201 DRIFTWOOD STREET
OXNARD, CALIFORNIA

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BW	BW	MD

JOB NUMBER: 1812

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▲	2022 CODE UPDATE	10/2024
▲	LOG MINUTES	11/21/2024

SITE PHOTOGRAPHS

A-02

7/14/2021



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UTILITY LEGEND

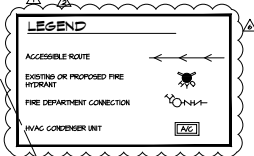
— SAN	SANITARY SEWER MAIN
— H	HATER MAIN
— E	ELECTRICAL UNDERGROUND
— G	GAS LINE (VERIFY WITH GAS UTILITY COMPANY EXACT LOCATION OF GAS LINE AND METER)

- NOTES:**
- ARCHITECTURAL SITE PLAN IS FOR BUILDING IDENTIFICATION AND INFORMATION ONLY.
 - LANDSCAPE ARCHITECT TO REVISE ALL MAINTENANCE AND OPEN SPACE REQUIREMENTS.
 - REFER TO CIVIL ENGINEER'S PRECISE GRADING PLAN FOR BUILDING LOCATIONS
 - CIVIL ENGINEER TO PROVIDE ALL SETBACKS, PROPERTY BOUNDARY, AND GRADING INFORMATION.

- PARKING MANEUVERS:**
- 1 - FULL IN
 - 2 - BACK UP
 - 3 - FULL FORWARD
 - 4 - BACK IN

AREA SIZES OF TRASH ENCLOSURES & GARDEN MALLS

	UNIT A	UNIT B	UNIT C	COMMON
TRASH ENCLOSURE AREA	26 SF	31 SF	40 SF	
TRASH ENCLOSURE MALL AREA	21 SF	20 SF	144 SF	
DOGS RUN AREA	145 SF	190 SF	246 SF	
DOGS RUN MALL AREA	157 SF	146 SF	240 SF	
DOGS RUN MALL SCREEN AREA	90 SF (57%)	24 SF (57%)	105 SF (57%)	22.5 SF
6' PRIVACY MALL AT NEAR PROPERTY LINE				282 SF



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▲	2022 CODE UPDATE	1/26/2024
▲	DWG. MINUTES	11/21/2024

SITE PLAN

A1.0

3-14-2021

SITE PLAN

SCALE 1/8"=1'-0"



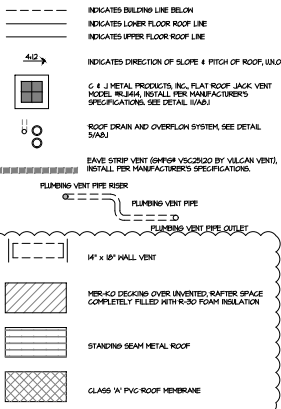
ATTIC VENTILATION

FOR BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE, ATTIC VENTILATION IS TO BE PROVIDED PER CRC SECTION R-803 AND MUST COMPLY WITH THE REQUIREMENTS OF CRC R-803. RAISED VENTS WHEN COVERED BY NONCOMBUSTIBLE WIRE MESH PER CRC R-803.2, MAY BE OF COMBUSTIBLE CONSTRUCTION. ALL OTHER TYPES OF ATTIC VENTS MUST BE OF NON-COMBUSTIBLE CONSTRUCTION AND MUST BE CORROSION RESISTANT. THE OPENING SIZE IN ANY VENTILATION DEVICE OR MATERIAL, SUCH AS WIRE MESH IS TO HAVE A MINIMUM OPENING SIZE OF 1/8".

VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS, OR OTHER DEVICES THAT MEET ONE OF THE FOLLOWING REQUIREMENTS:

- LISTED VENTS COMPLYING WITH ASTM E2106 WITH THE FOLLOWING TEST RESULTS:
 - THE EGRESS INTRODUCTION SHALL HAVE NO FLAMING IGNITION OF THE COTTON MATERIAL.
 - THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRODUCTION TEST.
 - THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 662 DEGREES F.
- VENTS COMPLYING WITH ALL OF THE FOLLOWING:
 - THE EXTENSION OF THE OPENINGS HEREIN SHALL BE A MINIMUM OF 1/8" AND SHALL NOT EXCEED 1/8".
 - THE MATERIALS USED SHALL BE NON-COMBUSTIBLE. EXCEPTION: VENTS LOCATED UNDER THE ROOF COVERING ALONG THE RIDGE OF ROOFS WITH THE EXPOSED SURFACE OF THE VENT COVERED BY NON-COMBUSTIBLE MATERIALS.
 - THE MATERIALS USED SHALL BE CORROSION RESISTANT.
- VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES AND GORGES, EXCEPTION:
 - LISTED VENTS COMPLYING WITH ASTM E2106 WITH THE FOLLOWING TEST RESULTS:
 - THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRODUCTION TEST.
 - THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 662 DEGREES F.
 - THE MATERIALS USED SHALL BE NON-COMBUSTIBLE. EXCEPTION: VENTS LOCATED UNDER THE ROOF COVERING ALONG THE RIDGE OF ROOFS WITH THE EXPOSED SURFACE OF THE VENT COVERED BY NON-COMBUSTIBLE MATERIALS.
 - THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRODUCTION TEST.
 - THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 662 DEGREES F.

LEGEND



GENERAL NOTES

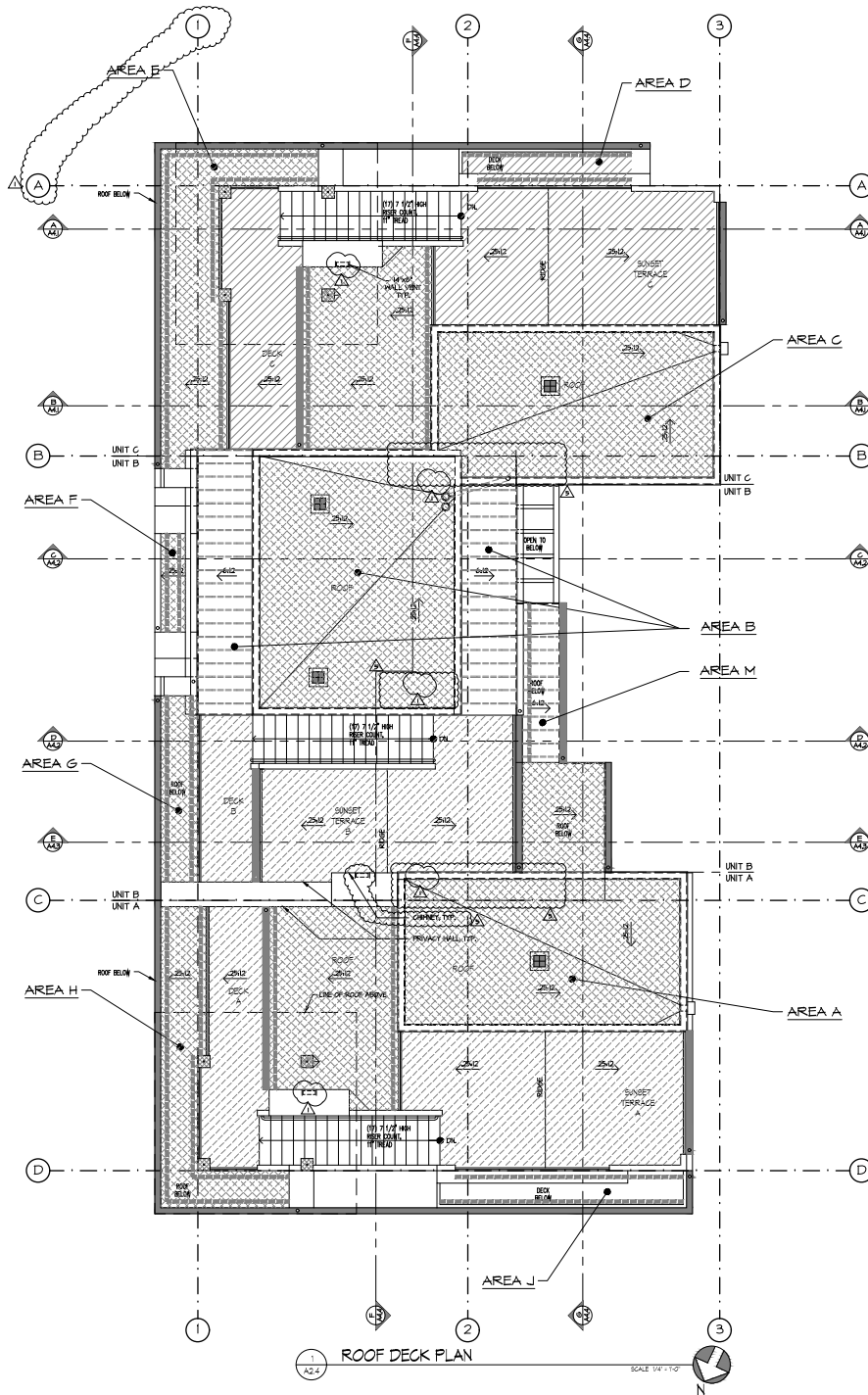
- CONTRACTOR SHALL PROVIDE ALL SHEET METAL FLASHING AT ALL ROOF TRANSITIONS, AS REQUIRED FOR A COMPLETE WATERPROOF SYSTEM AND AS REQUIRED BY ROOFING MANUFACTURER.
- ATTIC VENTILATION (INCLUDING EAVE VENTING) SHALL BE PROVIDED AS PER C.B.C. SECTION R806.
- SEE STRUCTURAL PLANS FOR FRAMING & MEMBER SIZE & SPACING.
- ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE. PROVIDE AND INSTALL FLASHING OF ALL ROOF PENETRATIONS IN ACCORDANCE WITH ROOFING MANUFACTURER'S RECOMMENDATIONS.
- ALL ROOFING AND ACCESSORIES SHALL BE INSTALLED TO PROVIDE A COMPLETE WATERPROOF SYSTEM AND PER MANUFACTURER'S RECOMMENDATIONS.
- ATTIC VENTILATION AND ACCESS PER C.B.C. R805. ANY ATTIC WITH 30" OR MORE OF VERTICAL HEIGHT MUST BE ACCESSIBLE THROUGH AN OPENING NOT LESS THAN 22" x 30" LOCATED ABOVE A PERMANENTLY CLEAR FLOOR AREA SUCH AS A HALLWAY OR THE AREA IMMEDIATELY ADJACENT TO THE VENT. ENCLOSED ATTICS SHALL HAVE CROSS VENTILATION. IT IS RECOMMENDED THAT HIGH EXHAUST AND LOW INTAKE VENTILATION IS USED. SCREEN VENTS MUST BE 1/4" MESH.
- ROOF COVERING FOR STRUCTURES LOCATED WITHIN A STATE OR LOCAL AGENCY VENT-HIGH FIRE HAZARD TO BE AT LEAST RESISTANT TO THE C.B.C. SECTION R803 TO BE AT LEAST CLASS A.

DRAFT STOPS

- DRAFT STOPS REQUIRED WHEN ANY PORTION OF THE ATTIC SPACE EXCEEDS 3000 SQ. FT. OR 40'-0" FEET HORIZONTAL DIMENSION.

ROOF NOTES

- 3/4" OVERLAP TYPICAL. BOX OR ROOF PLAN.
- ALL ROOF MATERIAL TO BE AS NOTED. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- ALL ROOF PITCHES TO BE AS NOTED.
- ALL EAVE OVERLAPS AS DIMENSIONED.
- ALL EAVE AND RAFTER EDGES TO RECEIVE 26 GA. CORROSION RESISTANT GALV. DRIP FLASHING.
- ALL ROOF TO HALL FLASHING TO BE 26 GA. CORROSION RESISTANT GALV.
- ALL VALLEY FLASHING MINIMUM 12" ON EACH ADJACENT ROOF PLAN TO BE 26 GA. CORROSION RESISTANT GALV. PORTIONS OF FLASHING SHALL HAVE AN 8" LAP OF NOT LESS THAN 4".
- CLASS 15 PVC ROOF MEMBRANE, SICA SARMATIL 6540. SEE SHEET A03 FOR SUPPORTING DOCUMENTATION.
- HALL VENT (68R#4 VFS614) AND STRIP VENT (68R#4 VFS230) BY VULCAN VENT. SEE SHEET A03 FOR ADDITIONAL INFORMATION.



ATTIC VENTILATION CALCULATIONS:

AREA	TOTAL SQ. FT. OF ATTIC SPACE	REQUIRED VENTING	TOTAL PROVIDED
AREA A	231 231 / 80 = 2.89 SQ. FT. 18 SQ. FT. x 144 = 2592 SQ. INCHES OF VENTING REQ'D. PROVIDED VENTING: (1) 24"x24" JACK ROOF VENTS @ 335 SQ. IN. EACH = 335 SQ. IN.	2304 SQ. IN.	335 SQ. IN.
AREA B	446 446 / 80 = 5.58 SQ. FT. 33 SQ. FT. x 144 = 4752 SQ. INCHES OF VENTING REQ'D. PROVIDED VENTING: (2) 24"x24" JACK ROOF VENTS @ 335 SQ. IN. EACH = 670 SQ. IN.	4752 SQ. IN.	670 SQ. IN.
AREA C	252 252 / 80 = 3.15 SQ. FT. 17 SQ. FT. x 144 = 2448 SQ. INCHES OF VENTING REQ'D. PROVIDED VENTING: (1) 24"x24" JACK ROOF VENTS @ 335 SQ. IN. EACH = 335 SQ. IN.	2448 SQ. IN.	335 SQ. IN.
AREA D	51 51 / 80 = 0.64 SQ. FT. 24 SQ. FT. x 144 = 3456 SQ. INCHES OF VENTING REQ'D. PROVIDED VENTING: 25 LF. OF EAVE VENTING (VULCAN 68R#4 VFS230) @ 48 SQ. IN. NET FREE / LF = 240 SQ. IN.	3456 SQ. IN.	240 SQ. IN.
AREA E	80 80 / 80 = 1 SQ. FT. 1 SQ. FT. x 144 = 144 SQ. INCHES OF VENTING REQ'D. PROVIDED VENTING: 16 LF. OF EAVE VENTING (VULCAN 68R#4 VFS230) @ 48 SQ. IN. NET FREE / LF = 307.2 SQ. IN.	144 SQ. IN.	307.2 SQ. IN.
AREA F	16 16 / 80 = 0.2 SQ. FT. 01 SQ. FT. x 144 = 144 SQ. INCHES OF VENTING REQ'D. PROVIDED VENTING: 6 LF. OF EAVE VENTING (VULCAN 68R#4 VFS230) @ 48 SQ. IN. NET FREE / LF = 192 SQ. IN.	144 SQ. IN.	192 SQ. IN.
AREA G	45 45 / 80 = 0.56 SQ. FT. 03 SQ. FT. x 144 = 432 SQ. INCHES OF VENTING REQ'D. PROVIDED VENTING: 30 LF. OF EAVE VENTING (VULCAN 68R#4 VFS230) @ 48 SQ. IN. NET FREE / LF = 288 SQ. IN.	432 SQ. IN.	288 SQ. IN.
AREA H	104 104 / 80 = 1.3 SQ. FT. 01 SQ. FT. x 144 = 144 SQ. INCHES OF VENTING REQ'D. PROVIDED VENTING: 66 LF. OF EAVE VENTING (VULCAN 68R#4 VFS230) @ 48 SQ. IN. NET FREE / LF = 1584 SQ. IN.	144 SQ. IN.	1584 SQ. IN.
AREA J	53 53 / 80 = 0.66 SQ. FT. 25 SQ. FT. x 144 = 3600 SQ. INCHES OF VENTING REQ'D. PROVIDED VENTING: (1) 30 LF. OF EAVE VENTING (VULCAN 68R#4 VFS230) @ 48 SQ. IN. NET FREE / LF = 364.8 SQ. IN.	3600 SQ. IN.	364.8 SQ. IN.
AREA M	45 45 / 80 = 0.56 SQ. FT. 20 SQ. FT. x 144 = 2880 SQ. INCHES OF VENTING REQ'D. PROVIDED VENTING: (1) 12 LF. OF EAVE VENTING (VULCAN 68R#4 VFS230) @ 48 SQ. IN. NET FREE / LF = 19.2 SQ. IN.	2880 SQ. IN.	19.2 SQ. IN.



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HENDRICKSON TRI-PLEX
5201 DRIFTWOOD STREET
OXNARD, CALIFORNIA

DRAWN	PROJECT MANAGER	CHECKED
BW	BW	MD

JOB NUMBER: 1512

REVISIONS	DESCRIPTION	DATE
1	PLAN CHECK REVISIONS	5/29/2019
2	PLAN CHECK REVISIONS	6/20/2019
3	2018 CODE UPDATE	7/14/2021
4	2022 CODE UPDATE	1/26/2024
5	DWG. MODIFIES	11/21/2024

ROOF DECK PLAN

A2.4

3-14-2021

ATTIC VENTILATION

FOR BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE, ATTIC VENTILATION IS TO BE PROVIDED PER CRC SECTION R-ROOF AND MUST COMPLY WITH THE REQUIREMENTS OF CRC R-SECTA. RIDGE VENTS, WHEN COVERED BY NONCOMBUSTIBLE WIRE MESH PER CRC SECTION R-ROOF, MAY BE OF COMBUSTIBLE CONSTRUCTION. ALL OTHER TYPES OF ATTIC VENTS MUST BE OF NON-COMBUSTIBLE CONSTRUCTION AND MUST BE CORROSION RESISTANT. THE OPENING SIZE IN ANY VENTILATION DEVICE OR MATERIAL, SUCH AS WIRE MESH, IS TO BE A MINIMUM OPENING SIZE OF 1/8" HIGH AND MAXIMUM OPENING SIZE IS 1/8" WIDE.

VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERLOCK VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH, OTHER MATERIALS, OR OTHER DEVICES THAT MEET ONE OF THE FOLLOWING REQUIREMENTS:

- LISTED VENTS COMPLYING WITH ASTM E2886 WITH THE FOLLOWING TEST RESULTS:
 - THE BREWER INTRUSION TEST SHALL HAVE NO FLAMING IGNITION OF THE GOTTON MATERIAL.
 - THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRUSION TEST.
 - THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 642 DEGREES F.
- VENTS COMPLYING WITH ALL OF THE FOLLOWING:
 - THE DIMENSION OF THE OPENINGS THEREIN SHALL BE A MINIMUM OF 1/8" AND SHALL NOT EXCEED 1/8".
 - THE MATERIALS USED SHALL BE NON-COMBUSTIBLE EXCEPT VENTS LOCATED UNDER THE ROOF COVERINGS ALONG THE RIDGE OF ROOFS WITH THE EXPOSED SURFACE OF THE VENT COVERED BY NON-COMBUSTIBLE MATERIALS.
 - THE MATERIALS USED SHALL BE CORROSION RESISTANT.
- VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES AND CORNICES, EXCEPT:
 - LISTED VENTS COMPLYING WITH ASTM E2886 WITH THE FOLLOWING TEST RESULTS:
 - THE BREWER INTRUSION TEST SHALL HAVE NO FLAMING IGNITION OF THE GOTTON MATERIAL.
 - THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRUSION TEST.
 - THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 642 DEGREES F.

LEGEND

- INDICATES BUILDING LINE BELOW
- INDICATES LOWER FLOOR ROOF LINE
- INDICATES UPPER FLOOR ROOF LINE
- INDICATES DIRECTION OF SLOPE 4 PITCH OF ROOF, U/LD.
- C & J METAL PRODUCTS, INC. FLAT-ROOF JACK VENT MODEL M-104, INSTALL PER MANUFACTURER'S SPECIFICATIONS. (SEE DETAIL U-104)
- ROOF DRAIN AND OVERFLOW SYSTEM SEE DETAIL U-104
- STRIP VENT
- FLUISING VENT PIPE/ROOFER
- FLUISING VENT PIPE
- FLUISING VENT PIPE OUTLET
- 14" x 18" HALL VENT
- MEK-KO DECKING OVER UNVENTED RAFTER SPACE COMPLETELY FILLED WITH R-50 FOAM INSULATION
- STANDING SEAM METAL ROOF
- GLASS 1/4" PVC-ROOF MEMBRANE

GENERAL NOTES

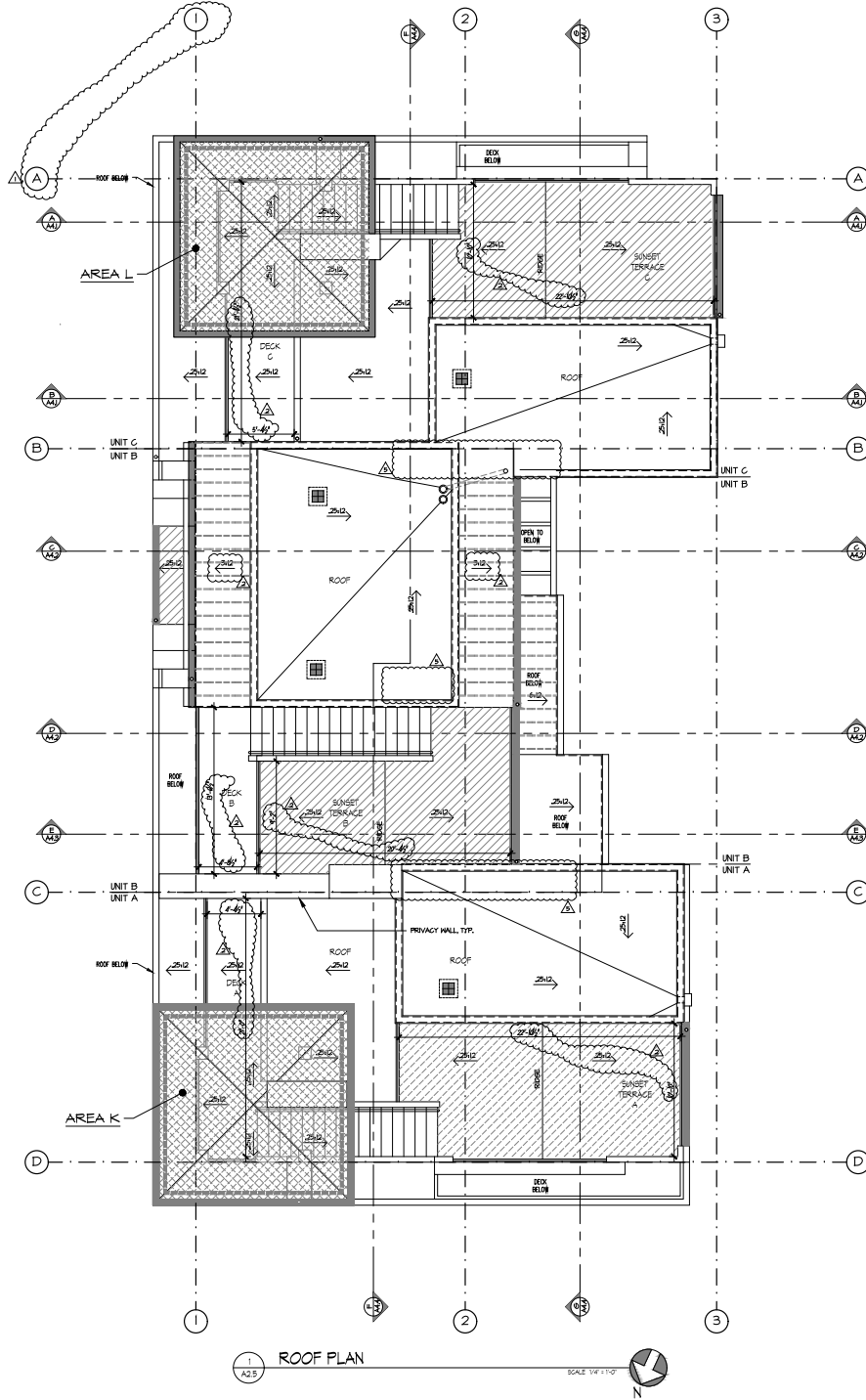
- CONTRACTOR SHALL PROVIDE ALL SHEET METAL FLASHING AT ALL ROOF TRANSITIONS AS REQUIRED FOR A COMPLETE WATERPROOF SYSTEM AND AS REQUIRED BY ROOFING MANUFACTURER.
- ATTIC VENTILATION (INCLUDING EAVE VENTING) SHALL BE PROVIDED AS PER C.B.C. SECTION R-2004.
- SEE STRUCTURAL PLANS FOR FRAMING 4 MEMBER SIZE 4 SPACING.
- ALL FLUISING VENTS SHALL BE COVERED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL LOOK TO THE REAR OF THE MAIN RIDGE. PROVIDE AND INSTALL FLASHING OF ALL ROOF PENETRATIONS IN ACCORDANCE WITH ROOFING MANUFACTURER'S RECOMMENDATIONS.
- ALL ROOFINGS AND ACCESSORIES SHALL BE INSTALLED TO PROVIDE A COMPLETE WATERPROOF SYSTEM AND PER MANUFACTURER'S RECOMMENDATIONS.
- ATTIC VENTILATION AND ACCESS PER C.B.C. R-2004. ANY ATTIC WITH 50' OR MORE OF VERTICAL HEIGHT MUST BE ACCESSIBLE THROUGH AN OPENING NOT LESS THAN 22" x 50" LOCATED ABOVE A PERMANENTLY CLEAR FLOOR AREA SUCH AS A HALLWAY OR THE AREA THROUGH WHICH A DOOR OPENS. ENCLOSED ATTIC SHALL HAVE CROSS VENTILATION. IT IS RECOMMENDED THAT HIGH (EAVES) AND LOW (RIDGE) VENTILATION IS USED. SCREEN VENTS MUST BE 1/4" MESH.
- ROOF COVERING FOR STRUCTURES LOCATED WITHIN A STATE OR LOCAL AGENCY VERY-HIGH FIRE HAZARD SEVERITY ZONE (PUSHOUT THE FIRE SECTOR) MUST BE TO BE A FIRE-RETARDANT ROOF COVERING THAT IS AT LEAST CLASS A.

DRAFT STOPS

- DRAFT STOPS REQUIRED WHEN ANY PORTION OF THE ATTIC SPACE EXCEEDS 5,000 SQ. FT. OR 60'-0" FEET HORIZONTAL DIMENSION.

ROOF NOTES

- 3/4" OVERLAP TYPICAL EAVE OR ROOF PLAN
- ALL ROOF MATERIAL TO BE AS NOTED. INSTALL PER MANUF.'S SPECIFICATIONS
- ALL ROOF PITCHES TO BE AS NOTED
- ALL EAVES OVERHANGS AS DIMENSIONED
- ALL EAVE AND RAISE EDGES TO RECEIVE 26 GA. CORROSION RESISTANT GALV. DRIP FLASHING
- ALL ROOF TO WALL FLASHING TO BE 26 GA. CORROSION RESISTANT GALV.
- ALL VALLEY FLASHING MINIMUM 12" ONTO EACH ADJACENT ROOF PLAN TO BE 26 GA. CORROSION RESISTANT GALV. PORTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4"
- CLASS 1/4" PVC ROOF MEMBRANE SICA SARWALL 640. SEE SHEET A-03 FOR SUPPORTING DOCUMENTATION.
- HALL VENT (68P64 VTS64) AND STRIP VENT (68P64 VSC200) BY VULCAN VENT. SEE SHEET A-03 FOR ADDITIONAL INFORMATION.



1 1/4" = 1'-0" ROOF PLAN

ATTIC VENTILATION CALCULATIONS:

AREA K

236 TOTAL SQ. FT. OF ATTIC SPACE.
 234 / 80 = 1.6 SQ. FT.
 1.6 SQ. FT. x 144 = 230.4 SQ. INCHES OF VENTING REQD.
 PROVIDED VENTING: 310 LF. OF EAVE VENTING (VULCAN 68P64 VSC200) @ 1.6 SQ. IN. NET FREE / LF = 502 SQ. IN.

REQUIRED VENTING: 230.4 SQ. IN.
 TOTAL PROVIDED: 502 SQ. IN.

AREA L

236 TOTAL SQ. FT. OF ATTIC SPACE.
 234 / 80 = 1.6 SQ. FT.
 1.6 SQ. FT. x 144 = 230.4 SQ. INCHES OF VENTING REQD.
 PROVIDED VENTING: 310 LF. OF EAVE VENTING (VULCAN 68P64 VSC200) @ 1.6 SQ. IN. NET FREE / LF = 502 SQ. IN.

REQUIRED VENTING: 230.4 SQ. IN.
 TOTAL PROVIDED: 502 SQ. IN.

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HENDRICKSON TRI-PLEX
 5201 DRIFTWOOD STREET
 OXNARD, CALIFORNIA

DRAWN	PROJECT MANAGER	CHECKED
BW	BW	MD

JOB NUMBER: 1812

REVISIONS	DESCRIPTION	DATE
1	PLAN CHECK REVISIONS	5/29/19
2	PLAN CHECK REVISIONS	6/28/19
3	2019 CODE UPDATE	7/4/2019
4	2022 CODE UPDATE	1/28/24
5	DAC MINUTES	11/21/2024

ROOF PLAN

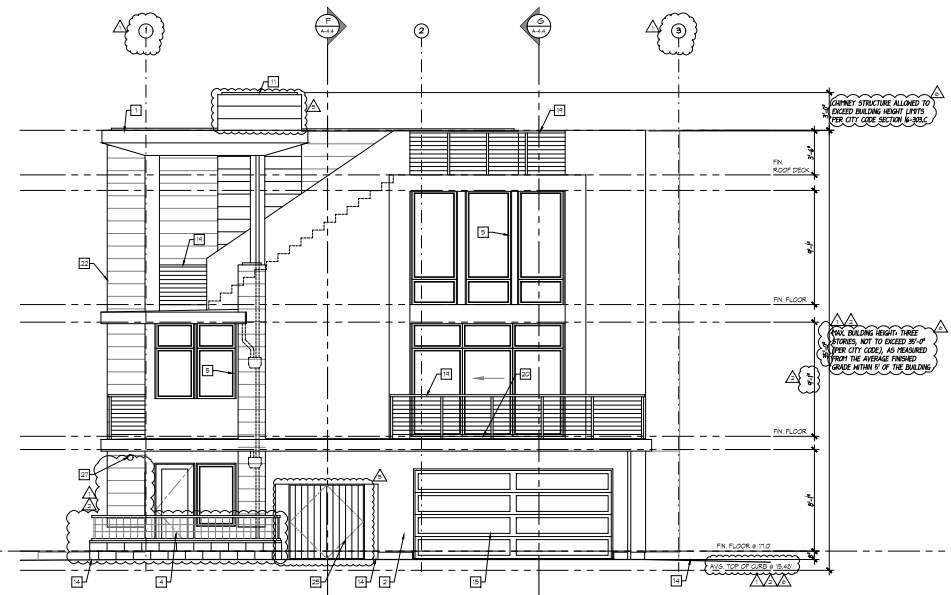
A2.5

7-14-2021



1 EAST ELEVATION

SCALE 1/4" = 1'-0"



2 NORTH ELEVATION

SCALE 1/4" = 1'-0"

- ### KEYNOTES
- 1 PVC ROOFING MEMBRANE O/ DENSDECK. SEE ROOF PLAN FOR ADDITIONAL INFORMATION. SEE DETAILS 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
 - 2 1/2" GYPSUM PLASTER OVER METAL LATH OVER 2 LAYERS 5/8" WIRE MESH OVER SHEATHING PER STRUCTURAL PROVIDER. CONT. 2" GAP. KEEP SCREED 2" MIN ABOVE FINISH 4" MIN ABOVE GRADE. SEE DETAILS 5 & 14, 22.
 - 3 KEEP SCREED PER DETAIL 5, 22.
 - 4 DOOR PER PLAN.
 - 5 FINISHING PER PLAN W/ INSULATED GLAZING. SEE DETAILS 3, 4, 11, 22 & 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
 - 6 INTEGRAL BUTTER AND DOWNSPOUT PER DETAIL 11, 21.
 - 7 STANDING SEAM METAL ROOF.
 - 8 ROOF TO WALL FLASHING PER DETAIL 4, 14, 21.
 - 9 PARAPET WALL CAP PER DETAIL 6 & 11, 21.
 - 10 METAL DOWNSPOUT PER DETAIL 5, 21.
 - 11 CORNER/ PRIVACY WALL.
 - 12 OVERFLOW TERMINATION PER DETAIL 2, 14, 21.
 - 13 ROOF DRAIN AT WALL PENETRATION PER DETAIL 15, 16, 21.
 - 14 PROPOSED GRADE.
 - 15 GARAGE DOOR PER DETAIL 11, 15, 19, 20, 21.
 - 16 STAIRS TO ROOF.
 - 17 METAL LAP SIDING.
 - 18 HVAC UNITS PER MECHANICAL CONTRACTOR.
 - 19 42" HIGH GUARDRAIL.
 - 20 BALCONY OR DECK.
 - 21 PLASTER CORNER PER DETAIL 11, 21.
 - 22 METAL LAP SIDING CORNER.
 - 23 DECORATIVE FLOOD BEAM.
 - 24 CONCRETE SLAB.
 - 25 TRASH ENCLOSURE.
 - 26 ADDRESS NUMBER SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE A MIN. IN HEIGHT - 1/2" MIN. STROKE WIDTH AND CONTRASTING COLOR TO THEIR BACKGROUND (RD 314 GR).
A WATER FLOW SWITCH CONNECTED TO THE FIRE SPRINKLER SYSTEM SHALL ANNUNCIATE AN EXTERIOR MOUNTED BELL.
 - 27 600 MIN SCREEN MALL. SEE DETAIL 12, 21.



EXT. STUCCO BASE COLOR	EXT. STUCCO ACCENT COLOR 1	EXT. STUCCO ACCENT COLOR 2	EXT. METAL SIDING
PAINTED PLASTER COLOR MATCH: BENJAMIN MOORE, 2108-50 "SEVER FOX"	PAINTED PLASTER COLOR MATCH: BENJAMIN MOORE, HC 146 "RENEAL CHARCOAL"	PAINTED PLASTER COLOR MATCH: BENJAMIN MOORE, 2073 "DARK PURPLE"	1/2" METAL LAP SIDING COLOR MATCH: BENJAMIN MOORE, HC 146 "RENEAL CHARCOAL"
EXT. DOORS & WINDOWS	SPLIT FACED GYM	GARAGE DOORS	EXTERIOR LIGHT FIXTURES
ALUMINUM CLAD DOORS & WINDOWS COLOR MATCH: BENJAMIN MOORE, HC 146 "RENEAL CHARCOAL"	BCP BLOCK & BRICK SPURFACE CONCRETE BLOCKS COLOR "LA PA"	SUPERIOR GARAGE DOORS COLOR MATCH: BENJAMIN MOORE, HC 146 "RENEAL CHARCOAL"	1/2" METAL LAP SIDING COLOR MATCH: BENJAMIN MOORE, HC 146 "RENEAL CHARCOAL"

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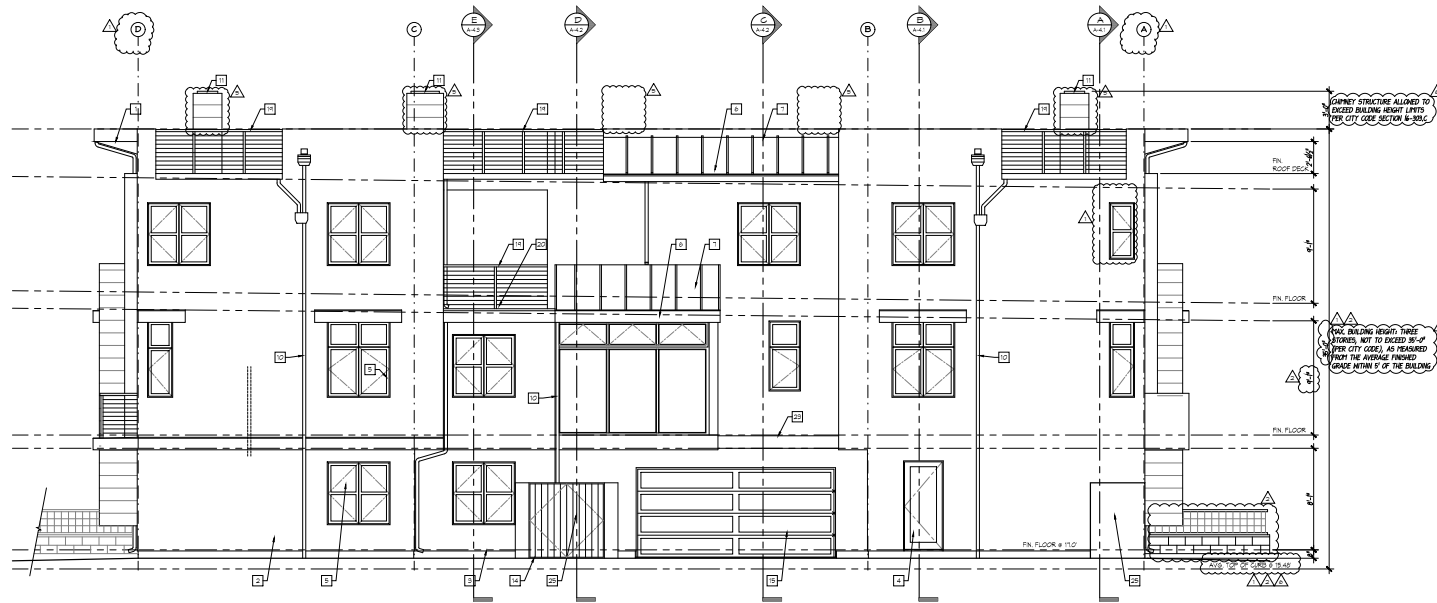
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5201 DRIFTWOOD STREET
OXNARD, CALIFORNIA

DRAWN	PROJECT MANAGER	CHECKED
BW	BW	MD
JOB NUMBER: 1612		
REVISIONS	DESCRIPTION	DATE
▲	PLAN CHECK REVISIONS	5/29/2019
▲	PLAN CHECK REVISIONS	6/28/2019
▲	2019 CODE UPDATE	7/4/2021
▲	2022 CODE UPDATE	1/20/24
▲	DWG MINUTES	11/12/2024

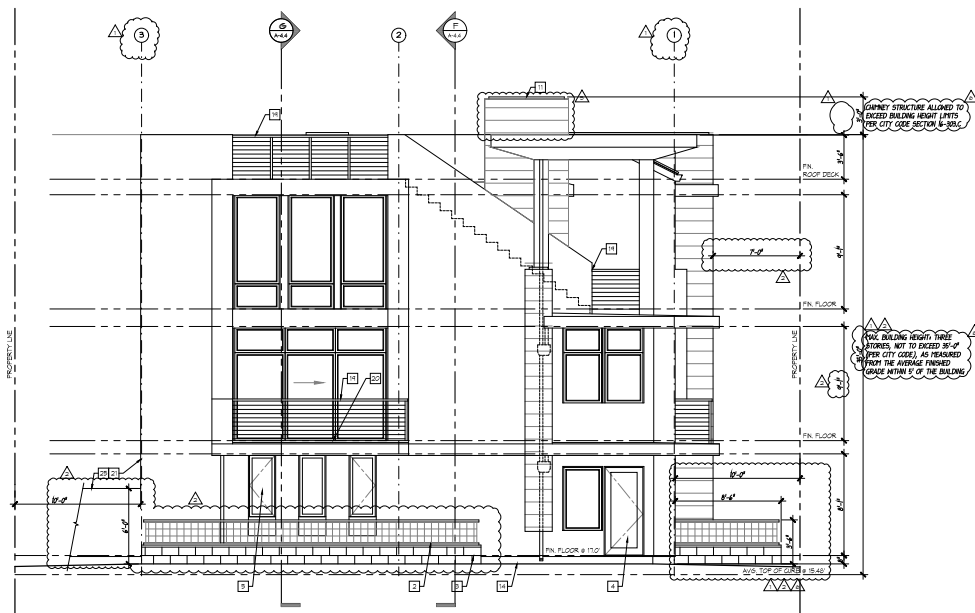
EXTERIOR ELEVATIONS

A31
7/14/2021



1 WEST ELEVATION

SCALE 1/4" = 1'-0"



2 SOUTH ELEVATION

SCALE 1/4" = 1'-0"

KEYNOTES

- 1 PVC ROOFING MEMBRANE O/ DENSOLUX. SEE ROOF PLAN FOR ADDITIONAL INFORMATION. SEE DETAILS 4, 5, 6, 8, 9, 10, 11 (1/4"=1')
- 2 1/2" GYPSUM PLASTER OVER METAL LATH OVER 2 LAYERS 5/8" HDG W/ROF OVER SEATING PER STRUCTURAL PROVIDE CONT. 2" GR. 5/8" W/ROF. KEEP SLOPED 2" MIN ABOVE FINING 4" MIN ABOVE GRADE. SEE DETAILS 9 & 14 (A&2)
- 3 KEEP SLOPED PER DETAIL 9(A&2)
- 4 DOOR PER PLAN
- 5 FINISHING PER PLAN W/ INSULATED GLAZING. SEE DETAILS 3, 4, 14(A&2) & 14(B&1)
- 6 INTEGRAL BUTTER AND DOWNSPOUT PER DETAIL 14(A&1)
- 7 STANDING SEAM METAL ROOF
- 8 ROOF TO WALL FLASHING PER DETAIL 4(A&1)
- 9 PARAPET WALL CAP PER DETAIL 6 & 14(B&1)
- 10 METAL DOWNSPOUT PER DETAIL 9(A&1)
- 11 CHIMNEY/ PRIVACY WALL
- 12 OVERFLOW TERMINATION PER DETAIL 2(A&1)
- 13 ROOF DRAIN AT WALL PENETRATION PER DETAIL 15(A&1)
- 14 PROPOSED GRADE
- 15 GARAGE DOOR PER DETAIL 11, 15, 14(A&3)
- 16 STAIRS TO ROOF
- 17 METAL LAP SIDING
- 18 HVAC UNITS PER MECHANICAL CONTRACTOR
- 19 42" HIGH GUARDRAIL
- 20 BALCONY OR DECK
- 21 PLASTER CORNER PER DETAIL 14(A&2)
- 22 METAL LAP SIDING CORNER
- 23 DECORATIVE HOOD BEAM
- 24 CONCRETE SLAB
- 25 CONCRETE CURB
- 26 ADDRESS NUMBER SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE A MINIMUM HEIGHT 1/2" MIN. STROKE WIDTH AND CONTRASTING COLOR TO THEIR BACKGROUND (RED IN GRAY).
- 27 A WATER FLOW SWITCH CONNECTED TO THE FIRE SPRINKLER SYSTEM SHALL ANNUNCIATE AN EXTERIOR MOUNTED BELL.
- 28 600 MIN SCREEN MALL. SEE DETAIL 12(A&1).

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FRONT ELEVATION

<p>EXT. STUCCO BASE COLOR</p> <p>PAINTED PLASTER COLOR MATCH: BENJAMIN MOORE, 2108-50 "SERVEY TON"</p>	<p>EXT. STUCCO ACCENT COLOR 1</p> <p>PAINTED PLASTER COLOR MATCH: BENJAMIN MOORE, HC-146 "RENEAL CHARCOAL"</p>	<p>EXT. STUCCO ACCENT COLOR 2</p> <p>PAINTED PLASTER COLOR MATCH: BENJAMIN MOORE, 2073-10 "DARK PURPLE"</p>	<p>EXT. METAL SIDING</p> <p>1/2" METAL LAP SIDING COLOR MATCH: BENJAMIN MOORE, HC-146 "RENEAL CHARCOAL"</p>
<p>EXT. DOORS & WINDOWS</p> <p>ALUMINUM CLAD DOORS & WINDOWS COLOR MATCH: BENJAMIN MOORE, HC-146 "RENEAL CHARCOAL"</p>	<p>SPLIT FACED GUM</p> <p>BCP BLOCK & BRICK SPURFACE CONCRETE BLOCKS COLOR "LA PA"</p>	<p>GARAGE DOORS</p> <p>SUPERIOR GARAGE DOORS COLOR MATCH: BENJAMIN MOORE, HC-146 "RENEAL CHARCOAL"</p>	<p>EXTERIOR LIGHT FIXTURES</p> <p>BLACK FINISH LIGHT FIXTURES (SEE DETAIL 12)</p>

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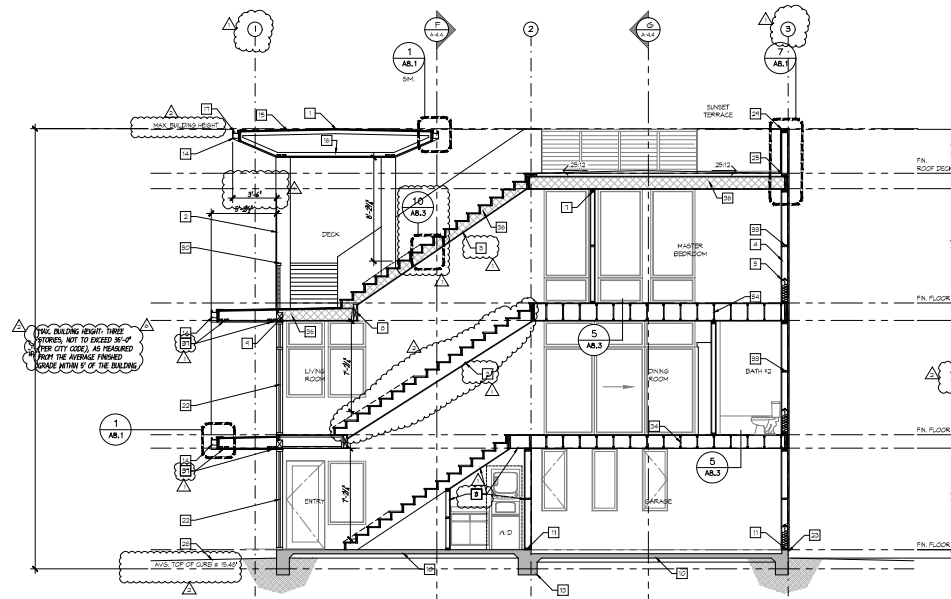
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 5201 DRIFTWOOD STREET
 OXNARD, CALIFORNIA

DRAWN	PROJECT MANAGER	CHECKED
BW	BW	MD
JOB NUMBER:		1512
REVISIONS	DESCRIPTION	DATE
▲	PLAN CHECK REVISIONS	5/29/2019
▲	PLAN CHECK REVISIONS	5/29/2019
▲	2018 CODE UPDATE	7/4/2021
▲	2022 CODE UPDATE	1/20/24
▲	DAC MINUTES	11/10/2024

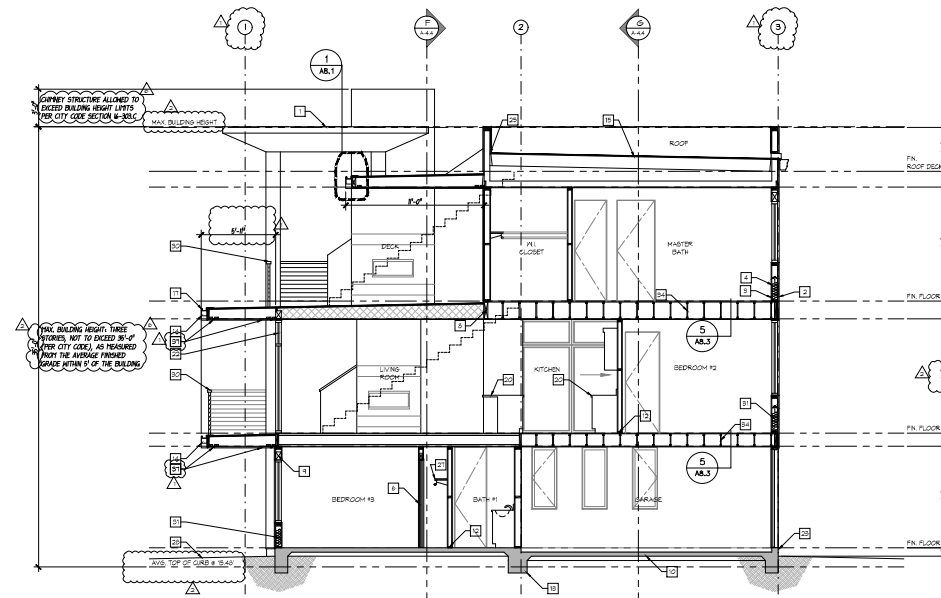
EXTERIOR ELEVATIONS

A3.2

7-14-2021



A BUILDING SECTION A
SCALE 1/4" = 1'-0"



B BUILDING SECTION B
SCALE 1/4" = 1'-0"

KEYNOTES

1. FINISHING MEMBRANE ON DOWNER; SEE ROOF PLAN FOR ADDITIONAL INFORMATION. SEE DETAILS 4.9, 7.5, 12.13 & 16.A&1.
2. 1/2" GYPSUM PLASTER OVER METAL LATH OVER 2 LAYERS OF 5/8" HOME IRON OR DR BRASSING PER STRUCTURAL. PROVIDE 2" OSB OR 5/8" REFR SCREED 2" MIN ABOVE FINISH 1/4" MIN. ABOVE GRADE. SEE DETAILS 1.5 & 2.
3. 5/8" GYPSUM WALL BOARD (TYP. U.O.N.)
4. 2X ADD STUDS @ 16" O.C. PER PLAN
5. 1/2" HORIZONTAL METAL BRASSING OVER 1 LAYER FINISH. MAKE BRASSING ADJUSTMENT OVER BRASSING PER STRUCTURAL DRAWINGS.
6. DOOR / FRAME
7. DOUBLE TOP PLATES (TYP.)
8. BEAM PER STRUCTURAL
9. HEADER PER STRUCTURAL
10. CONCRETE SLAB PER STRUCTURAL
11. 2X 4 P.T. SILL PLATE ANCHORED PER STRUCTURAL
12. INTERIOR SILL PLATE (TYP.)
13. FOUNDATION FOOTING PER STRUCTURAL
14. 2X 6A. BALU, GUTTERS & DOWNSPOUTS (TYP.) SEE ROOF PLAN FOR DOWNSPOUT LOCATIONS
15. 1/2" ALUMINUM BARRIER ROOF BRASSING IN UNDERLAYS
16. MANUFACTURED TRUSS MEMBERS @ 24" O.C.
17. ROOF GABLE @ 6/12 OR FLAT ROOF PER DETAIL 11A&1
18. ROOF DRAIN PER DETAIL 14A&1
19. OUTDOOR BBQ AND CABINETS
20. CASWORK & COUNTERTOPS AS SELECTED BY OWNER (TYP.)
21. APPROVED CHIMNEY @ VENT
22. INSULATED GLAZING PER WINDOW SCHEDULE
23. GYPSUM PLASTER KEEP SCAFFED PER DETAIL 5A&2
24. 1/2" PLYWOOD SUB FLOOR. SEE STRUCTURAL DWS (TYP.)
25. 2X 6A BALU FLASHING AT ROOF TO WALL CONDITIONS (TYP.) PER DETAIL 14A&1
26. THRESHOLD TO MATCH DOOR FRAME FINISH
27. SILL AND ROLE
28. PROPOSED GRADE
29. ROOF PARAPET WALL GAP
30. 2X 1/2" HIGH SUBMERIAL PER DETAIL 11A&1
31. R-20 BATT INSULATION @ WALL PER TITLE 24 CALCULATIONS
32. R-30 BATT INSULATION @ CEILING PER TITLE 24 CALCULATIONS
33. 2X BLOCKING AS REQUIRED
34. FLOOR JOISTS PER STRUCTURAL
35. GARAGE DOOR PER DETAILS 10, 11 & 12A&2
36. UNVENTED ENCLOSED RAFTER ASSEMBLIES TO BE COMPLETELY FILLED WITH FOAM INSULATION
37. GABLE STRIP VENT (6" HIGH VSC23100 BY VULCAN VENT).
38. WINDING DECKING
39. 2X 4 P.T. SILL FOR ROOF 1200

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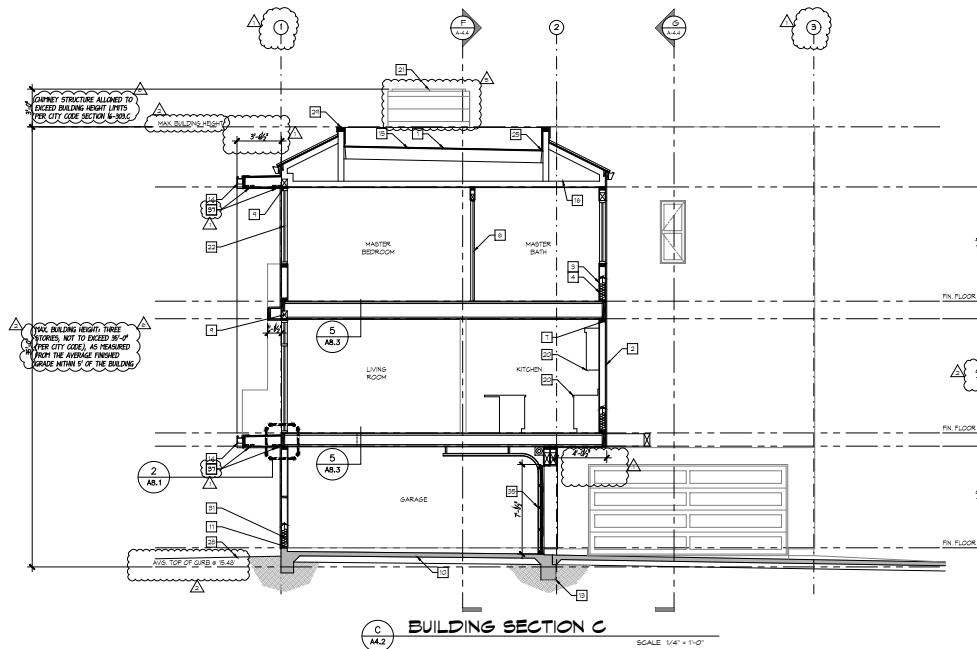
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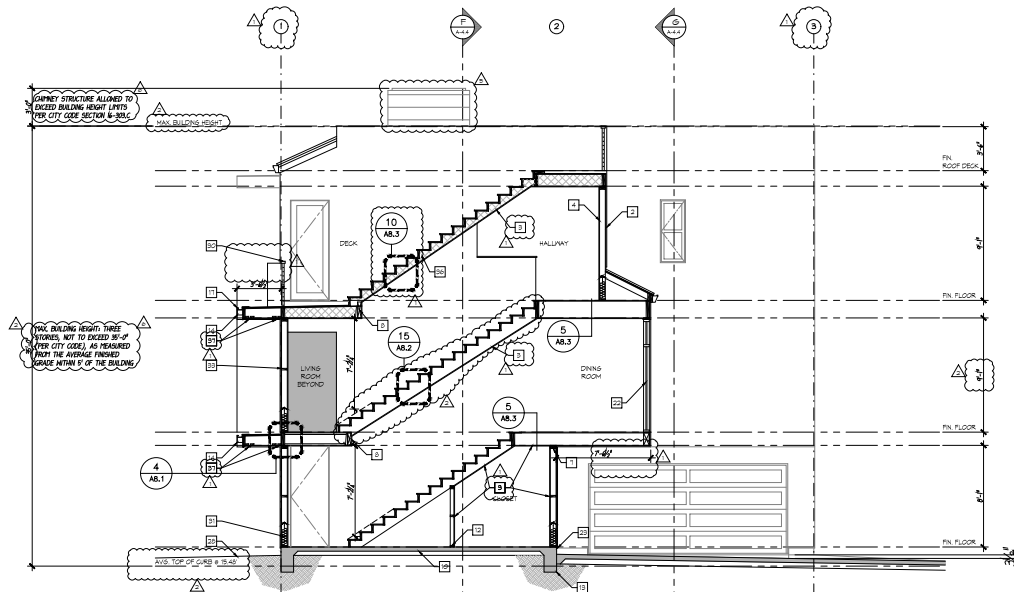
DRAWN	PROJECT MANAGER	CHECKED
BW	BW	MD
JOB NUMBER: 1812		
REVISIONS	DESCRIPTION	DATE
▲	PLAN CHECK REVISIONS	8/29/2019
▲	PLAN CHECK REVISIONS	8/28/2019
▲	2019 CODE UPDATE	7/1/2021
▲	2022 CODE UPDATE	1/8/2024
▲	DWG MINUTES	11/15/2024

SECTIONS

A4.1
7/4/2021



C BUILDING SECTION C
SCALE 1/4" = 1'-0"



D BUILDING SECTION D
SCALE 1/4" = 1'-0"

- KEYNOTES**
- 1 FUG ROOFING MEMBRANE ON DOWNDECK. SEE ROOF PLAN FOR ADDITIONAL INFORMATION. SEE DETAILS A.9, T.1, T.2, T.3 & A.6.1.
 - 2 1/2" GYPSUM PLASTER OVER METAL LATH OVER 2 LAYERS TYVEK HOME WRAP OR DR. SHEATHING PER STRUCTURAL. PROFILES ON 2x6 @ 16" O.C. KEEP SCAFF 2" MIN ABOVE FINISH 4" MIN. ABOVE GRADE. SEE DETAILS 1.1 & A.2.
 - 3 5/8" GYPSUM WALL BOARD (TYP. U.G.N.)
 - 4 2x4 ADDD STUDS @ 16" O.C. PER PLAN
 - 5 1/2" HORIZONTAL METAL SIDING, OVER 1 LAYER TYVEK HOME WRAP ASSEMBLY OVER SHEATHING PER STRUCTURAL DRAWINGS.
 - 6 DOOR / FRAME
 - 7 DOUBLE TOP PLATES (TYP.)
 - 8 BEAM PER STRUCTURAL
 - 9 HEADER PER STRUCTURAL
 - 10 CONCRETE SLAB PER STRUCTURAL
 - 11 2x4 P.T. SILL PLATE ANCHORED PER STRUCTURAL
 - 12 INTERIOR SILL PLATE (TYP.)
 - 13 FOUNDATION FOOTINGS PER STRUCTURAL
 - 14 22 GA. GALV. GUTTERS & DOWNSPOUTS (TYP.) SEE ROOF PLAN FOR DOWNSPOUT LOCATIONS
 - 15 RADIANT BARRIER ROOF SHEATHING IN UNCELRATED
 - 16 MANUFACTURED TRUSS MEMBERS @ 24" O.C.
 - 17 ROOF DRAVE & GUTTER FLAT ROOF PER DETAIL 1/A.1
 - 18 ROOF DRAIN PER DETAIL 1/A.1
 - 19 OUTDOOR BBQ AND CABINETS
 - 20 CASEWORK & COUNTERTOPS AS SELECTED BY OWNER (TYP.)
 - 21 APPROVED CHIMNEY S-I-VENT
 - 22 INSULATED GLAZING PER WINDOW SCHEDULE
 - 23 GYPSUM PLASTER KEEP SCAFFED PER DETAIL 5/A.2
 - 24 3/4" PLYWOOD SUB FLOOR. SEE STRUCTURAL DING 5 (TYP.)
 - 25 28 GA. GALV. FLASHING AT ROOF TO WALL CONDITIONS (TYP.) PER DETAIL 1/A.1
 - 26 THRESHOLD TO MATCH DOOR FRAME FINISH
 - 27 SHELF AND ROLE
 - 28 PROPOSED GRADE
 - 29 ROOF PARAPET WALL CAP
 - 30 42" HIGH GUARDRAIL PER DETAIL 1/A.1 (1/4" MIN)
 - 31 R-21 BATT INSULATION @ WALL PER TITLE 24 CALCULATIONS
 - 32 R-30 BATT INSULATION @ CEILING PER TITLE 24 CALCULATIONS IN BLOCKING AS REQUIRED
 - 33 FLOOR JOISTS PER STRUCTURAL
 - 34 GARAGE DOOR PER DETAILS 10, 11 & 12/A.2
 - 35 UNVENTED ENCLOSED RAFTER ASSEMBLIES TO BE COMPLETELY FILLED WITH FOAM INSULATION
 - 36 EAVE STRIP VENT (5/8" FISH VSC28120 BY VULCAN VENT).
 - 37 MERINO DECKING
 - 38 2x4 P.T. WALL FOR ROOF DECK



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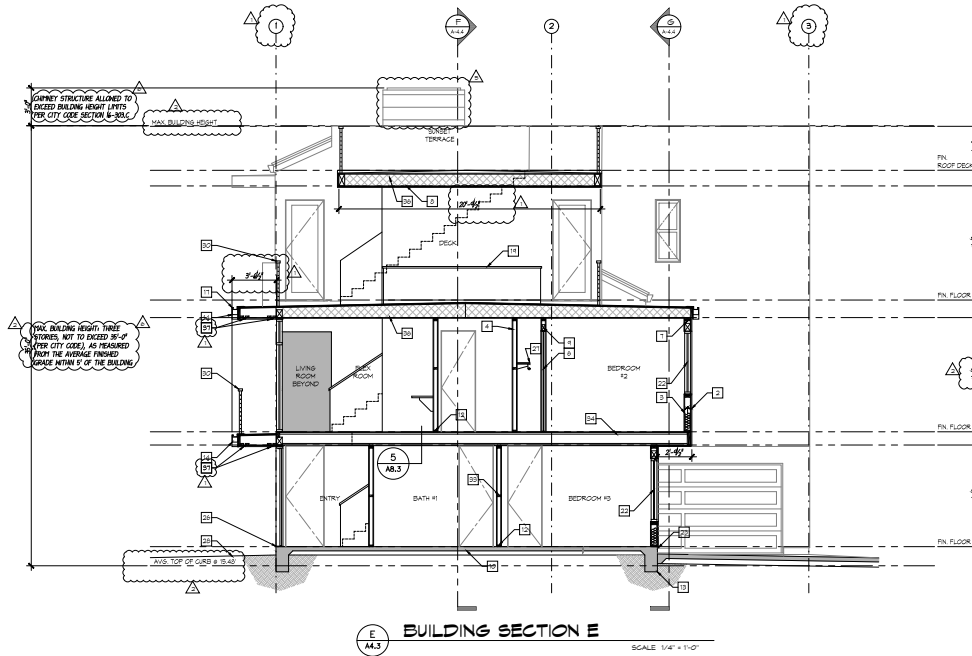
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5201 DRIFTWOOD STREET
OXNARD, CALIFORNIA

DRAWN	PROJECT	CHECKED
BW	BW	MD
JOB NUMBER: 1812		
REVISIONS	DESCRIPTION	DATE
▲	PLAN CHECK REVISIONS	8/29/23
▲	PLAN CHECK REVISIONS	8/29/23
▲	REV. CODE UPDATE	11/15/24
▲	REV. CODE UPDATE	11/20/24
▲	DWG. MINUTES	11/20/24

SECTIONS

A4.2



BUILDING SECTION E
SCALE: 1/4" = 1'-0"

KEYNOTES

- 1 FUG ROOFING MEMBRANE ON DOWNDECK. SEE ROOF PLAN FOR ADDITIONAL INFORMATION. SEE DETAILS 4.5, 7.15, 12.1 & 16.46.1.
- 2 1/2" GHEMT PLASTER OVER METAL LATH OVER 2 LAYERS TYVEX HOME WRAP OR DR. SHEATHING PER STRUCTURAL. PROVIDE 20# GA. 18" X 18" REEF SCREED 2" MIN ABOVE FINISH 4" MIN. ABOVE GRADE. SEE DETAILS 1.1 & 8.A.2.
- 3 5/8" GYPSUM WALL BOARD (TYP. U.G.N.)
- 4 2x4 ROOF STUDS @ 16" O.C. PER PLAN
- 5 1/2" HORIZONTAL METAL SIDING, OVER 1 LAYER TYVEX HOME WRAP ASSEMBLY OVER SHEATHING PER STRUCTURAL DRAWINGS.
- 6 DOOR / FRAME
- 7 DOUBLE TOP PLATES (TYP.)
- 8 BEAM PER STRUCTURAL
- 9 HEADER PER STRUCTURAL
- 10 CONCRETE SLAB PER STRUCTURAL
- 11 2x4 P.T. SILL PLATE ANCHORED PER STRUCTURAL
- 12 INTERIOR SILL PLATE (TYP.)
- 13 FOUNDATION FOOTING PER STRUCTURAL
- 14 22 GA. GALV. GUTTERS & DOWNSPOUTS (TYP.) SEE ROOF PLAN FOR DOWNSPOUT LOCATIONS
- 15 RADIANT BARRIER ROOF SHEATHING W/ 3/8" CERAMIC INSULATION
- 16 MANUFACTURED TRUSS MEMBERS @ 24" O.C.
- 17 ROOF EAVE @ 6" OVER 4" FLAT ROOF PER DETAIL 14.A.1
- 18 ROOF DRAIN PER DETAIL 14.A.1
- 19 OUTDOOR BBQ AND CABINETS
- 20 CASEWORK & COUNTERTOPS AS SELECTED BY OWNER (TYP.)
- 21 APPROVED CHIMNEY BI-VENT
- 22 INSULATED GLAZING PER WINDOW SCHEDULE
- 23 CEMENT PLASTER KEPP SCREED PER DETAIL 8.A.2
- 24 3/4" PLYWOOD SUB FLOOR. SEE STRUCTURAL DING 9 (TYP.)
- 25 28 GA. GALV. FLASHING AT ROOF TO WALL CONDITIONS (TYP.) PER DETAIL 14.A.1
- 26 THRESHOLD TO MATCH DOOR FRAME FINISH
- 27 SHELF AND ROLE
- 28 PROPOSED GRADE
- 29 ROOF PARAPET WALL GAP
- 30 42" HIGH GUARDRAIL PER DETAIL 17.A.1 (1.1)
- 31 R-20 BATT INSULATION @ WALL PER TITLE 24 CALCULATIONS
- 32 R-30 BATT INSULATION @ CEILING PER TITLE 24 CALCULATIONS IN BLOCKING AS REQUIRED
- 33 FLOOR JOISTS PER STRUCTURAL
- 34 GARAGE DOOR PER DETAILS 10.1 & 12.A.2
- 35 UNVENTED ENCLOSED RAFTER ASSEMBLIES TO BE COMPLETELY FILLED WITH FOAM INSULATION
- 36 EAVE STRIP VENT (5/8" X 5/8" VSC28120 BY VULCAN VENT).
- 37 MERINO DECKING
- 38 2x4 PLY WALL FOR ROOF DECK



MDA GROUP
ARCHITECTURE
PLANNING
INTERIORS



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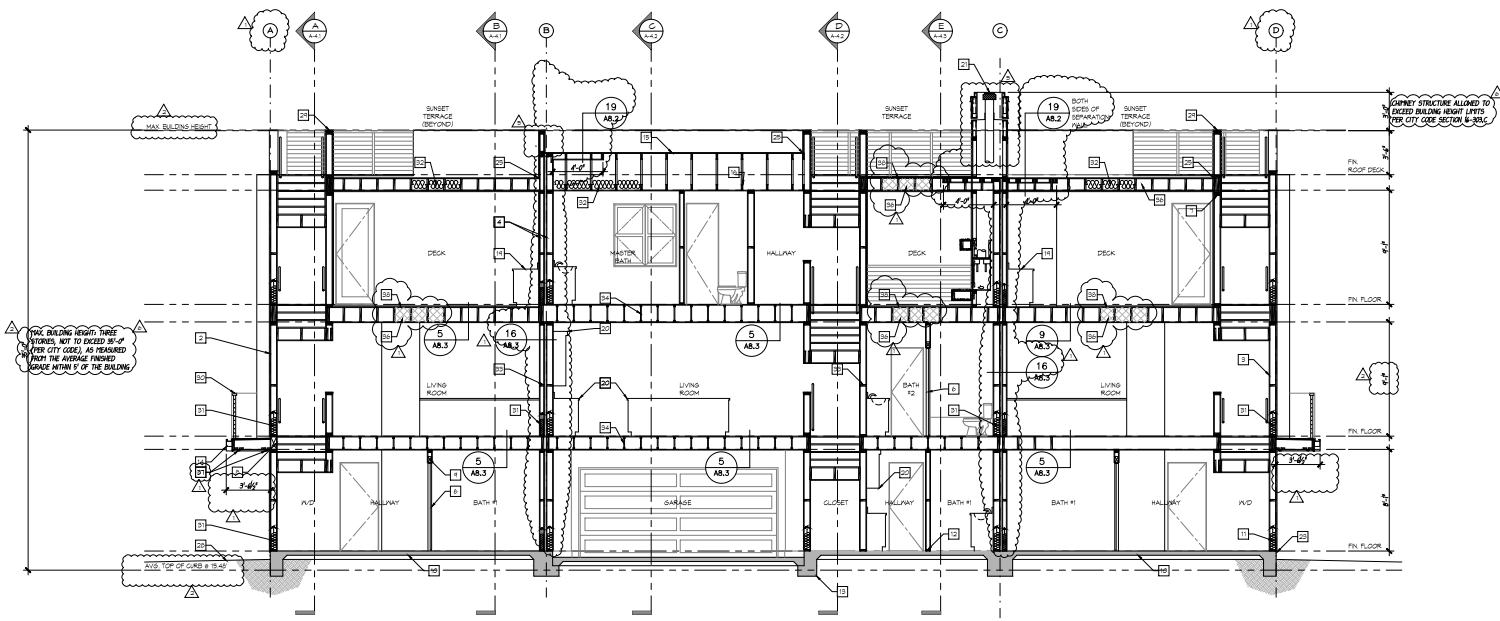
HENDRICKSON TRI-PLEX
5201 DRIFTWOOD STREET
OXNARD, CALIFORNIA

DRAWN	PROJECT	CHECKED
BW	BW	MD
JOB NUMBER: 1812		
REVISIONS	DESCRIPTION	DATE
▲	PLAN CHECK REVISIONS	8/29/23
▲	PLAN CHECK REVISIONS	8/29/23
▲	REV. CODE UPDATE	7/14/2021
▲	REV. CODE UPDATE	10/20/24
▲	DWG. MINUTES	11/21/2024

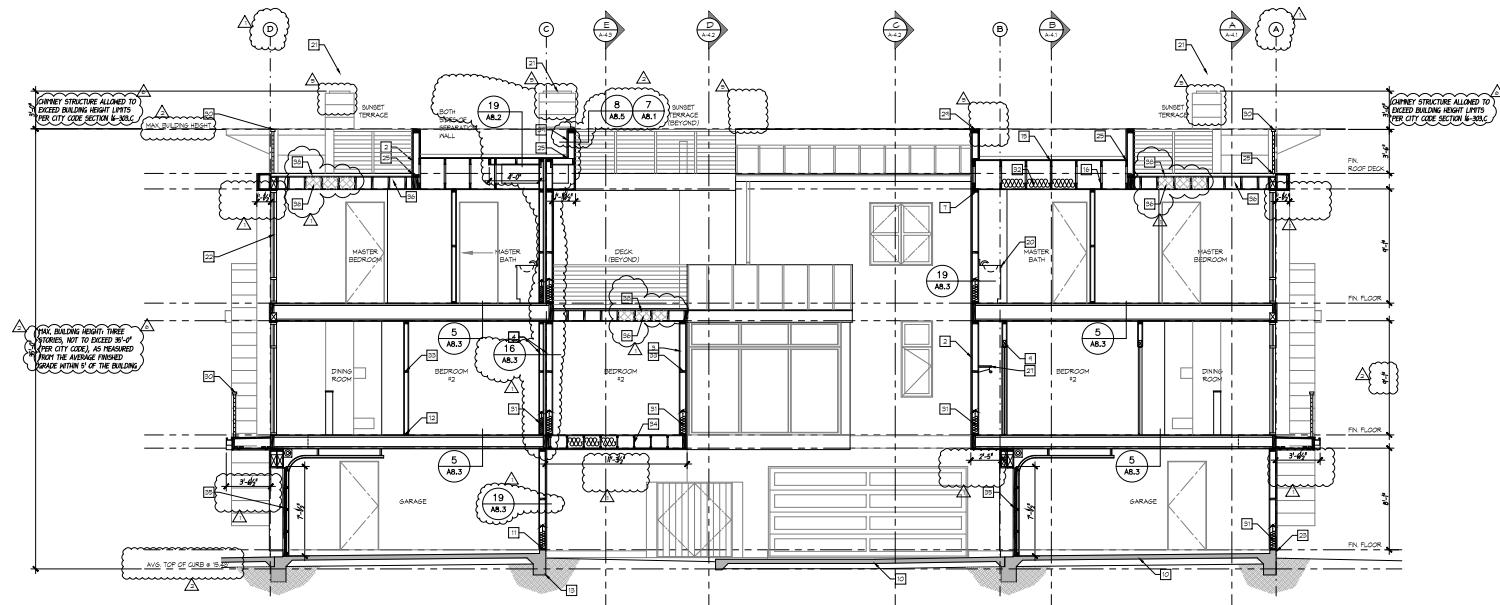
SECTIONS

A4.3

T-4-2021



F
A4.4 **BUILDING SECTION F**
SCALE 1/4" = 1'-0"



G
A4.4 **BUILDING SECTION G**
SCALE 1/4" = 1'-0"

- KEYNOTES**
- 1) FUG ROOFING MEMBRANE ON DOWNSCAPE. SEE ROOF PLAN FOR ADDITIONAL INFORMATION. SEE DETAILS A.9, T.1, D.13 & 14 AND 1.
 - 2) 1/2" CEMENT PLASTER OVER METAL LATH OVER 2 LAYERS 5/8" THICK HOME BRAM OR BR SHEATHING PER STRUCTURAL. PROFILES: 20 GA. 19.5" H. KEYS SPACED 24" MAX. ABOVE FINISH 1/4" MIN. ABOVE GRADE. SEE DETAILS 1 & 8 A&2.
 - 3) 5/8" GYPSUM WALL BOARD (TYP. U.G.N.)
 - 4) 2x4 ADD'D STUDS @ 16" O.C. PER PLAN
 - 5) 1/2" HORIZONTAL METAL SIDING, OVER 1 LAYER 5/8" THICK HOME BRAM ASSEMBLY OVER SHEATHING PER STRUCTURAL DRAWINGS.
 - 6) DOOR / FRAME
 - 7) DOUBLE TOP PLATES (TYP.)
 - 8) BEAM PER STRUCTURAL
 - 9) HEADER PER STRUCTURAL
 - 10) CONCRETE SLAB PER STRUCTURAL
 - 11) 2x4 P.T. SILL PLATE ANCHORED PER STRUCTURAL
 - 12) INTERIOR SILL PLATE (TYP.)
 - 13) FOUNDATION FOOTING PER STRUCTURAL
 - 14) 22 GA. GALV. GUTTERS & DOWNSPOUTS (TYP.) SEE ROOF PLAN FOR DOWNSPOUT LOCATIONS
 - 15) EXISTANT BARBER ROOF SHEATHING IN UNCLAMORED CONDITION
 - 16) MANUFACTURED TRUSS MEMBERS @ 24" O.C.
 - 17) ROOF GAVE @ BUTTER FLAT ROOF PER DETAIL 14A&1
 - 18) ROOF DRAIN PER DETAIL 14A&1
 - 19) OUTDOOR BBQ AND CABINETS
 - 20) CASEWORK & COUNTERTOPS AS SELECTED BY OWNER (TYP.)
 - 21) APPROVED CHIMNEY S-B-VENT
 - 22) INSULATED GLAZING PER WINDOW SCHEDULE
 - 23) CEMENT PLASTER KEEP SCHEDULE PER DETAIL 5 A&2
 - 24) 3/4" PLYWOOD SUB FLOOR. SEE STRUCTURAL DWG'S (TYP.)
 - 25) 28 GA. GALV. FLASHING AT ROOF TO WALL CONDITIONS (TYP. PER DETAIL 14A&1)
 - 26) THRESHOLD TO MATCH DOOR FRAME FINISH
 - 27) SHELF AND ROLL
 - 28) PROPOSED GRADE
 - 29) ROOF PARAPET WALL GAP
 - 30) 4" HIGH SUBMERAL PER DETAIL 17A&1 (MINI)
 - 31) R-20 BATT INSULATION @ WALL PER TITLE 24 CALCULATIONS
 - 32) R-30 BATT INSULATION @ CEILING PER TITLE 24 CALCULATIONS IN BLDG AS REQUIRED
 - 33) FLOOR JOISTS PER STRUCTURAL
 - 34) GARAGE DOOR PER DETAILS 10, 11 & 12 A&2
 - 35) UNVENTED ENCLOSED RAFTER ASSEMBLIES TO BE COMPLETELY FILLED WITH FOAM INSULATION
 - 36) EAVE STRIP VENT (5/8" FISH VSC28120 BY VULCAN VENT)
 - 37) MERINO DECKING
 - 38) FINY HALL FOR ROOF DECK



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HENDRICKSON TRI-PLEX
5201 DRIFTWOOD STREET
OXNARD, CALIFORNIA

REVISIONS	DESCRIPTION	DATE
▲	PLAN CHECK REVISIONS	02/20/19
▲	PLAN CHECK REVISIONS	02/20/19
▲	REV. CODE UPDATE	01/20/21
▲	REV. CODE UPDATE	10/20/21
▲	DWG. MINUTES	11/21/2024

SECTIONS

A4.4

T4.4-021

FRONT ELEVATION

POLICE DEPARTMENT GUIDELINES

PLANTING NOTES

PLANT LIST

INTENT OF OUTDOOR LIGHTING REQUIREMENTS IS TO FOSTER A SAFE ENVIRONMENT BY REQUIRING DEFINED MINIMUM LEVEL OF LIGHTING IN ORDER TO FACILITATE REASONABLY WELL LIT PROPERTIES WITH A LEVEL OF ILLUMINANCE THAT CAN BE READILY MONITORED BY OFFICERS OPERATING IN THEIR PATROL CARS.

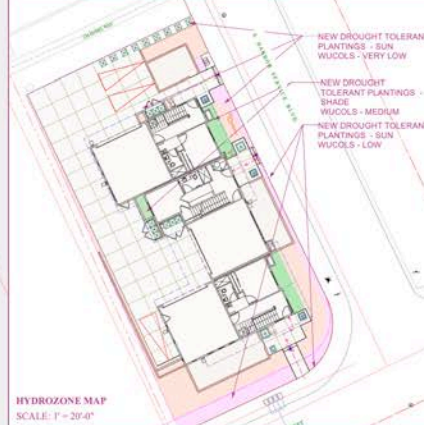
2. An integrated landscape/lighting photometric plan is required to ensure that tree canopies do not interfere with lighting instruments. Tree canopies shall be illustrated with 20-year maturity. Callouts shall state the top and bottom of canopy heights if trees are in close or overlapping pole lighting installations. Trees and pole lighting shall not share finger planters in parking areas. Light poles with an extended arm are recommended for placement between required finger planters that are occupied with a tree.

- Prior to planting prepare existing on-site soil by rototilling to a depth of 12" with a 3" layer of Nitrogen fortified decomposed redwood, cedar or fir compost and 50 lbs. of Gro-Power Plus per 1,000 Square Feet. Amend planting holes with a mixture of two parts on-site soil with one part amendment (Nitrogen fortified redwood shavings and 10 lbs. of Gro-Power Plus per cubic yard of backfill). Land Contractor must provide the Landscape Architect with Proof of Purchase of soil amendments prior to Landscape Architect's approval for 50% progress payment.
- All shrub and groundcover planting areas to be topped with a 3" depth of "Sequoia" Walk-on "Gorilla Hair" Redwood Bark. (Allow: Five Thousand Square Feet of 3" Depth Coverage)
- Symbol indicates those trees to be installed with a root control barrier or root control panels by the Deep Root Corporation @ 1-714-898-0563 (or equal) per manufacturer's specifications and installation guidelines. TOTAL NUMBER OF PLANT LIST - FINAL NUMBER OF TREES THAT REQUIRE ROOT BARRIERS & INSTALLATION METHODOLOGY TO BE DETERMINED WITH LAND ARCHITECT.
- On all fill slopes with a gradient 4:1 or steeper and on all slopes with a gradient 3:1 or steeper, the Landscape Contractor shall install an acceptable erosion control device (e.g. jute netting, etc.).
- Final appearance of rough and finish grades as they pertain to the landscaping to be approved by the Landscape Architect. Landscape Contractor is to inspect the project site and notify the Landscape Architect and/or Owner in writing if water does not appear to drain from the trunk of each existing tree to remain and/or if all shrub planting areas appear not to have positive drainage or appear to have potential erosion and/or ponding water problems or potential.
- (Alt.) Refers to alternate choices of plant materials listed for the benefit of the Owner to provide flexibility with suggested alternatives and as possible future container plants. Landscape Contractor shall not order nor plant alternates without Landscape Architect's approval.
- The Plant List is provided for the convenience of the Landscape Contractor. In the event of a discrepancy between the Plan and the Plant List, the Plan shall supersede. Likewise, Groundcover quantities when indicated are also provided for the convenience of the Land Contractor. The Land Contractor is responsible for complete coverage of the groundcover at the indicated required spacings.
- Failure to notify or involve Robert Andrew Fowler, Landscape Architect with final plant locations by either the Owner or the Landscape Contractor shall absolve Robert Andrew Fowler, Landscape Architect of any liability for any problems due to improper plant selection or placement.
- All plant material and patented plant material will not be accepted without nursery tags nor will any plant substitutions or alternates be accepted without the written permission of the Land Arch.
- Stepping Stones (WHERE SHOWN PER PLAN) to be Cherokee Creek Pavingstones (12" x 24" x 2" Min. Thickness) Set each Pavingstone on individual concrete pads for strength and for ease of leveling. Provide 4" planting space between stones.
- Approximate Groundcover Square Foot Take-offs are provided as a convenience to the Landscape Contractor. It is their responsibility to provide the minimum plant amounts needed (in the size as indicated) in order to completely cover the dirt areas at the spacings as indicated per plan.
- Maintenance period shall not begin until the Landscape Architect has inspected and approved installation of irrigation and planting. After approval, the maintenance and establishment period shall be 90 days. The Land Contractor shall notify the Landscape Architect one week prior to the end of the 90 day maintenance period to arrange for a final inspection.
- Owner's Option to Mix in listed Alternates / Install In-field as Coordinated with Landscape Architect. Some varieties as indicated per Plant List are patented and only available thru 'Monrovia Nurseries'. Substitutes will not be accepted without approval by Land Architect.
- Refer to Architects & Civil Engineer's Plans for additional Construction detailing of Hardscape.

SYMBOL	(BOTANICAL NAME / COMMON NAME)	QUANTITY-SIZE	WELD
	Tree Top Spread - 20' Diameter Tree Bottom Spread - 8' Diameter Tree Height @ 20 Years - 16' Tall		
	Aloe bainesii (Tree Aloe - Multi) (Upright Multi-Trunk Sculptural Form) Alt. Malacuca nepholia (Pink Malacuca)	1 - 1	L
	Arbutus Arbutus 'Marina' (Upright / Spreading Multi-Trunk Form) Alt: Metrosideros tomentosa (New Zealand Christmas Tree) Alt: Arbutus unedo (Strawberry Tree)	1 - 1	L
	Prunus Prunus caroliniana (Upright Standard Trunk Form) Alt: Stenocarpus sinuatus (Fireshed Tree) Alt: Photinia 'Silver Sheen' (Fireshed Tree)	1 - 3	L

Install Deep Root Planters as per Note #2 & Detail 'K' - Sheet L-4
Double Stake as per Detail 'K' - Sheet L-4
Deep Root Watering, Tree Planting Detail 'L' - Sheet L-4

HYDROZONES PLAN



IRRIGATION ~ WATER USE CALCULATIONS:

WELD ~ WATER EFFICIENT LANDSCAPE WORKSHEET

EST. CONSIDER	PLANTING DESIGNATION (HYDROZONE)	PLANT FACTOR	IRRIGATION METHOD	EFFICIENCY	ETAF (LPI)	LANDSCAPE AREA	ETAF X AREA	ESTIMATED TOTAL W.U. USE
	ORNAMENTALS - T.O.T.S.	0.4	DRIP	0.81	0.49	490.00	245.00	6,423.75
	GRASSES - (T.O.T.S.)	0.6	DRIP	0.81	0.74	200.00	148.00	3,866.00
	GRASSES - (MEDIUM)	0.6	DRIP	0.81	0.74	200.00	148.00	3,866.00
	TOTALS	0.43		0.81	0.53	1,800.00	777.00	10,000.00
	ETAF CALCULATIONS							
	TOTAL W.U. USE	777.00						23,578.50
	TOTAL W.U. USE	1,400.00						36,000.00
	ADJUSTED ETAF							THIS PLAN COMPLIES WITH AS 181
	WATER USE PLANTS (SQ FT)							1,400.00
	WATER USE PLANTS (SQ FT)							288.00
	WATER USE PLANTS (SQ FT)							47.00
	WATER USE PLANTS (SQ FT)							1,000.00
	WATER USE PLANTS (SQ FT)							23,078.50
	WATER USE PLANTS (SQ FT)							1,000.00

LANDSCAPE DOCUMENTATION PACKAGE
DATE: 02/15/2019
PROJECT APPLICANT: OPEN CHAMPION - Ocean View Group LLC 6900 Sepulveda Blvd - Suite 100-3, Van Nuys, CA
PROJECT ADDRESS: 5201 DRIFTWOOD STREET - OXNARD, CALIFORNIA 93026
TOTAL LANDSCAPE AREA: 1,800.00
PROJECT TYPE: NEW MULTIFAMILY RESIDENTIAL
WATER SUPPLY TYPE: POTABLE - CITY OF OXNARD WATER DEPARTMENT

SYMBOL	(BOTANICAL NAME / COMMON NAME)	QUANTITY-SIZE	WELD
	Cordyline australis 'Torbay Dazzler' Alt: Cordyline indivisa (Blue Decasia)	2 - Specimens @ 6" O.H. (24" Box)	L
	Yucca rostrata (Specimen - Yucca)	3 - Specimens @ 4" O.H. (24" Box)	L
	Cordyline australis 'Electric Pink' (Red-Striped Grass Palm) Alt: Yucca rostrata (Specimen - Yucca)	1 - Specimens @ 6" O.H. (24" Box)	L
	Aloe thurkalli (Tree Aloe - Single) Alt: Cordyline indivisa (Blue Decasia)	1 - Specimen @ 6" O.H. (24" Box)	L
	Aloe bainesii (Tree Aloe - Multi) (36" Box)	1 - Specimens @ 6" O.H. (36" Box)	L
	Phoenix roebelenii (Pymy Date Palm)	1 - Double Trunks @ 2.5" x 3" B.T.H. / Single Trunks @ 2" x 1" B.T.H. (B.T.H. - Branch Trunk Height)	L

ACCENT SPECIMEN PLANTINGS

QUANTITY-SIZE	BOTANICAL / COMMON NAME	SYMBOL	WELD
Approx. 135	Festuca 'Beyond Blue' or 'Ella Blue' (Blue Fescue Cultivar) For Treatment Block & Control Line (Install as per Grounding Note #2)		L
Approx. 100	Fragaria 'Lipsick' (Ornamental Strawberry) For Grounding Block & Control Line (Install as per Grounding Note #2)		M
Approx. 120	Ceanothus 'Coral Beasts' (Prostrate Ceanothus) (Shrub Size 2' x 1' x 1')		L
Approx. 125	Sarcocolla malandracea (Blue Chalksticks) (Shrub Size 2' x 1' x 1')		L
Approx. 305	Rosa 'Garden Carpet-Pink' (Groundcover Rose-Pink Flowers) (Shrub Size 2' x 1' x 1')		L
Approx. 215	Carpas mesocarpa 'Green Carpet' (Prostrate Nand Palm) (Shrub Size 2' x 1' x 1')		L
Approx. 1,600	'Senece' 'Walk on Bark' - FLAT AREAS - 3" DEPTH For Treatment Block & Control Line (Install as per Grounding Note #2)		SLA
Approx. 500	'Gorilla Hair' 'Walk on Bark' - SLOPES - 3" DEPTH For Grounding Block & Control Line (Install as per Grounding Note #2)		SLA
Approx. 900	Deep Run Areas - Densative Gravel - 3" DEPTH ALT. CHOICE: Permaloc Decomposed Gravel - (Install in 6" Lift)		SLA

GROUNDCOVER

DECORATIVE GRAVEL TYPE:
• DEL RIO TAN & BLACK ANGLED GRAVEL
• ALU. FALCONING ANGLED GRAVEL
• 1/2" x 3/4" x 3/8" SIZE RANGE - 3" MIN. DEPTH
• ENHANCING PERMEABLE GEOTEXTILE FABRIC - SECURE
• PERMALOC ALUMINUM EDGING, TYP.
• 12" x 4" - As Needed to Contain Gravel
• SEE SPECIFICATION (DETAIL - SHEET L-4)



SITE LIGHTING / TREE PLACEMENT STUDY

(See Electrical Engineer's & Photometric Plans for Final Choices)

- (N) Bollard - 42" Ht.** (OPTIONAL BUT RECOMMENDED)
1st Choice: (LUMINUS LQ413)
2nd Choice: (LUMINUS LQ427) (w/ Decorative GRP Shroud)
- (N) Wall Sconce** (LUMINUS SP400 PRO - 4" DIAMETER)
(WALL MOUNT VERSION - PLEASE VERIFY PRODUCT CALLOUT SPEC)
- Pole Light (Metal Pole Mount)** (LUMINUS SYP303) (4" DIAMETER)
(Install on (16" Tall) Metal Pole - Set in Con. Pit.)
(Suggest Tall Lights on One Pole Versus Two Lights in Close Proximity)
- Pole Light (Pole Mount on Top of Masonry Wall)** (LUMINUS SYP303) (4" DIAMETER)
(Set Light on Pole & Integrate w/ CMU that Holds Light Adjacent)
(Pole Height - Verify As Per Electrical Engineer's Photometric Plans)
- Pole Light (Pedestal Pole Mount - Traffic Rated)** (LUMINUS SYP303) (4" DIAMETER)
(Install on (16" Tall) Metal Pole - Set in Con. Pit.)
(Suggest Tall Lights on One Pole Versus Two Lights in Close Proximity)
(Pole Height - Verify As Per Electrical Engineer's Photometric Plans)

1ST CHOICE: ALL LIGHT HOUSINGS POWERED COATED - GUN METAL GRAY FINISH
2ND CHOICE: ALL LIGHT HOUSINGS POWERED COATED - TITANIAN SILVER FINISH

COLOR CODED HYDROZONES - IRRIGATION / PLANTINGS

- DROUGHT TOLERANT - ORNAMENTALS - DRIP IRRIGATED - (WUCOLS - VERY LOW - 904 S.F.)**
- NATIVE / ORNAMENTALS MIX - DRIP IRRIGATED - (WUCOLS - LOW - 200 S.F.)**
- MEDIUM WATER USE - ORNAMENTALS - DRIP IRRIGATED - (WUCOLS - MEDIUM - 496 S.F.)**
- 1,600 S.F.**

Robert Andrew Fowler
LANDSCAPE ARCHITECT
CALIFORNIA LICENSE #2088
1125 S. LA BARRA, #2 - SUITE 100
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PHONE: 805.834.1111
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REGISTERED ARCHITECT
SANTA BARRA - SUITE 200
150 CASTILLAN SUITE C4.1
SANTA BARRA, CALIF. 93110
PHONE: 805.834.1111
WWW.MURRAYDUNCAN.COM

PLANTING PLAN
TREES & GROUND COVERS
SITE LIGHTING TREE PLACEMENT STUDY
FINAL LANDSCAPE PLANS

REVISIONS: DATE: 04-18-25
STAMP: 04-18-25
5TH Submitted

HENDRICKSON TRI-PLEX
5201 DRIFTWOOD STREET
OXNARD, CALIFORNIA

PROJECT / OWNER:
DATE: June 28, 2019
DRAWN BY: R.A. Fowler
SHEET L-1A OF 5

POLICE DEPARTMENT GUIDELINES

INTENT OF REQUIRING MOST PLANTINGS TO BE 2' OR LESS IS TO FOSTER A SAFE ENVIRONMENT BY REQUIRING CLEAR LINES OF SIGHT IN AND OUT OF A GIVEN PROPERTY THAT CAN BE READILY MONITORED BY OFFICERS OPERATING IN THEIR PATROL CARS. SEE SHRUBS PLANT LIST FOR MORE SPECIFIC PLANT SELECTION LOGIC.

- Landscaping elements shall provide clear sightlines throughout the project areas. Defensive plant species are recommended for areas under first-floor windows and adjacent to perimeter walls - as per OCC 16-362(H)(1)(b). Perimeter landscaping shall create a barrier to pedestrian traffic without impacting sight-lines. Most plantings, other than trees, should be 24-inches tall or less. Provide data supporting species selection, positioning, and clear views into & out of the property.

ADDITIONAL NOTES: PLANTING & IRRIGATION

- AS IT PERTAINS TO EXISTING VEGETATION AND UNLESS INDICATED TO REMAIN, LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL EXISTING TREES AND CLEAR ALL GRASS/NOODPOVERS & SHRUBS, AS WELL AS COMPLETELY REMOVE ALL EXISTING UTILITYPIES. IF EXISTING VEGETATION REMAINS, IT IS NOT SPECIFICALLY INDICATED ON THE CIVIL ENGINEERING SITE IMPROVEMENT DRAWINGS, THEN THE SCOPE OF WORK IS ASSUMED TO BE INCLUDED AS PART OF THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY. A SEPARATE LINE ITEM PRICE, LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THIS SCOPE OF WORK OR SPECIFICALLY RELIEVED OF RESPONSIBILITY BY WRITING OR THIS WIFE TO PURCHASE LANDSCAPE CONTRACTOR'S BOLLER PLATE CONTRACT EXCLUSION CLAUSES.
- Maintenance period shall not begin until the Landscape Architect has inspected and approved installation of Irrigation and Planting. After approval, the Maintenance and Establishment period shall be 90 (NINETY) days. The Landscape Contractor shall notify the Landsc. Architect one week prior to the end of the 90 Day Maintenance Period for final inspection.
- REDWOOD or "VINYL" Headboard to be 2" x 4" on uninterupted straight runs, for a combination of curves and straight runs header to be a continuous run of 2" x 4" x 4" laminated and finished as necessary on corners, entry cut and flush with intersecting hardware and shall be installed wherever a lawn area is shown adjacent to a shrub or groundcover planting area.
- Braun House Hubs where they occur shall be mounted 18" above finish grade with U-steps to a 4" x 4" x 36" P.T. Dwg. Fin or Redwood post. Saw-off to 47" or above entry operation. Hubs & fittings shall be 3" Galvanized.
- Owner's Option to Mix in Inland Arboreal / Inland to Field as Coordinated with Landscape Architect. Many varieties as indicated per Plant List are patented and only available thru "Monrovia Nurseries". Substitutes will not be accepted without approval by Landscape Architect.
- Appropriate Groundcover Square Foot Take-offs are provided as a convenience to the Landsc. Contractor. It is their responsibility to provide the minimum plant amounts needed (in the size or indicated) in order to completely cover the dirt areas in the drawings as indicated per plan.

PLANT LIST

QUANTITY / SIZE	BOTANICAL / COMMON NAME	SYMBOL	W/CO
15 - 15' x 15' x 15'	Asparagus densiflorus 'Meyer' (Asparagus Fern)	[Symbol]	L
11 - 11' x 12' x 12'	ALT. Elymus x Caninus 'Prize' (Folias Grass)	[Symbol]	L
4 - 4' x 28' x 18'	Phormium t. 'Jack Spratt' (N. Z. Flax-Small-Red-Striped)	[Symbol]	L
9 - 9' x 28' x 18'	ALT. Pennisetum x Taron 'Canyon' (Dwarf-Red Fountain Grass)	[Symbol]	L
4 - 4' x 28' x 18'	Agave 'Blue Flame' (Blue Spiked Fossil Agave)	[Symbol]	L
9 - 9' x 28' x 18'	ALT. Heliconia suspensa (Blue Out Grass)	[Symbol]	L
4 - 4' x 28' x 18'	Rosa 'Barbada Iceberg' (Shrub Rose-White Fls. w/ Thorns)	[Symbol]	L
4 - 4' x 28' x 18'	*Backrow Shrub & Gndcvr. w/ Thorns - Dwarf Yellow Fls. w/ Thorns	[Symbol]	L
4 - 4' x 28' x 18'	Rosa 'Barbada Sun Flame' (Shrub Rose-Yellow Fls. w/ Thorns)	[Symbol]	M
65 - 65' x 15' x 15'	*Backrow Shrub & Gndcvr. w/ Thorns - Dwarf Yellow Hiding Behind	[Symbol]	M
6 - 6' x 12' x 12'	Dianella 'Baby Blue' (Dwarf Lily - Blue Foliage)	[Symbol]	L
6 - 6' x 12' x 12'	ALT. Dianella 'Little Rev' (Dwarf Lily - Blue Foliage)	[Symbol]	L
9 - 9' x 32' x 12'	Lomandra 'Platinum Beauty' (Mat Rush - Variegated Foliage)	[Symbol]	L
5 - 5' x 32' x 12'	ALT. Agave 'Arbuda Blue' (Blue Fossil Agave)	[Symbol]	L
11 - 11' x 16' x 24'	Colomena p. 'Sunset Gold' (Dwarf Bread of Heaven)	[Symbol]	L
45 - 45' x 12' x 12'	ALT. Agave attenuata 'Kara Stripes' (Variegated Fossil Agave)	[Symbol]	L
20 - 20' x 28' x 18'	Aloe 'Safari Orange' (Orange Flowers - Solitary Growth)	[Symbol]	M
10 - 10' x 36' x 18'	Agapanthus n. 'Queen-of-the-Nile' (Variegated Lily-of-the-Nile)	[Symbol]	L
10 - 10' x 36' x 18'	ALT. Carex 'Glass' (Blue Sedge)	[Symbol]	L
10 - 10' x 36' x 18'	Mahonia 'Soft Carex' (Soft Carex Mahonia)	[Symbol]	M
10 - 10' x 36' x 18'	Phormium t. 'Amazing Reef' (N. Z. Flax-Med-Red-Striped)	[Symbol]	L
10 - 10' x 36' x 18'	ALT. Phormium t. 'Yellow Reef' (New Zealand Flax-Yellow)	[Symbol]	L
10 - 10' x 36' x 18'	Lomandra 'Breeze' (Mat Rush - True Green)	[Symbol]	L
10 - 10' x 36' x 18'	ALT. Lomandra t. 'Lime Mac' (Mat Rush - Lime-Green Foliage)	[Symbol]	L

* - Backrow Shrub & Gndcvr. w/ Thorns - Plant Thorns Do not Allow the Ability to Hide Behind
 ^ - Shrub in Container - Physical Size of Container Does not Allow the Ability to Hide Behind
 E - Backrow Shrub & Gndcvr. w/ Thorns - Plant Thorns Do not Allow the Ability to Hide Behind

QUANTITY / SIZE	BOTANICAL / COMMON NAME	SYMBOL	W/CO
Approx. 135 Square Feet	Festuca n. 'Beyond Blue' or 'Elja Blue' (Blue Fescue Cultivar)	[Symbol]	L
Approx. 700 Square Feet	ALT. Pyrostachys argentea (Dymaloid) (SP 16, 1/2" x 1/2" x 1/2" - Blue-Green-Gold-Foliage)	[Symbol]	M
Approx. 120 Square Feet	Eragrostis c. 'Lipsick' (Ornamental Strobilus)	[Symbol]	L
Approx. 120 Square Feet	ALT. Carex 'Glass' (Blue Sedge)	[Symbol]	L
Approx. 120 Square Feet	ALT. Carex 'Glass' (Blue Sedge)	[Symbol]	L
Approx. 120 Square Feet	Synedra malandrinica (Blue Chalksticks)	[Symbol]	L
Approx. 900 Square Feet	Rosa 'Garden Carpet-Pink' (Groundcover Rose-Pink Flowers)	[Symbol]	L
Approx. 135 Square Feet	Carex macrospora 'Green Carpet' (Prostrate Sand Plant)	[Symbol]	L
Approx. 135 Square Feet	ALT. Carex macrospora 'Green Carpet' (Prostrate Sand Plant)	[Symbol]	L
Approx. 1,600 Square Feet	*Sodas* - "Walk on Park" - FLAT AREAS - 3" DEPTH	[Symbol]	SLA
Approx. 500 Square Feet	*Sodas* - "Walk on Park" - FLAT AREAS - 3" DEPTH	[Symbol]	SLA
Approx. 600 Square Feet	*Sodas* - "Walk on Park" - FLAT AREAS - 3" DEPTH	[Symbol]	SLA

** All Groundcover Square Footage includes entire planting area. Land Contractor should consider other alternative plantings in order to minimize the area covered by sodas during and after the season of groundcover that will be required to cover bare ground.

HYDROZONES PLAN



IRRIGATION ~ WATER USE CALCULATIONS: W/CO - WATER EFFICIENT LANDSCAPE WORKSHEET

ITEM	QTY	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (P/10)	LANDSCAPE AREA	ETAF X AREA	ESTIMATED TOTAL W/CO USE
ETAF - GRASS	8.0	DRIP	0.80	0.57	604.00	344.81	6,790.00
ETAF - DROUGHT TOLERANT PLANTINGS (SUN/SHADE)	1.0	DRIP	0.80	0.48	496.00	238.08	4,423.75
ETAF - MEDIUM WATER USE PLANTINGS (SUN/SHADE)	0.8	DRIP	0.81	0.74	200.00	148.15	3,884.33
TOTALS	9.8	Average	Average	Average	1,300.00	731.04	15,098.08
ETAF CALCULATIONS	727.50						
TOTAL W/CO	1,400.00						
ADJUSTED ETAF	8.0						
WATER USE PLANTS (SUN/SHADE)	1,400.00						1,400.00
WATER USE PLANTS (SUN/SHADE)	1,400.00						208.00
WATER USE PLANTS (SUN/SHADE)	23,378.00						47.00
WATER USE PLANTS (SUN/SHADE)	1,400.00						1,400.00
TOTALS	35,578.00						35,578.00

COLOR CODED HYDROZONES - IRRIGATION / PLANTINGS	
• DROUGHT TOLERANT - ORNAMENTALS	[Orange Box]
• DRIP IRRIGATED	[Orange Box]
• (WUCOLS - VERY LOW - 904 S.F.)	[Orange Box]
• NATIVE / ORNAMENTALS MIX	[Purple Box]
• DRIP IRRIGATED	[Purple Box]
• (WUCOLS - LOW - 200 S.F.)	[Purple Box]
• MEDIUM WATER USE - ORNAMENTALS	[Green Box]
• DRIP IRRIGATED	[Green Box]
• (WUCOLS - MEDIUM - 496 S.F.)	[Green Box]
	1,600 S.F.

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PLANTING PLAN
 SHRUBS & HERBACEOUS
 FINAL LANDSCAPE PLANS

REVISIONS: DATE: APPROVED BY: CHECKED BY: DESIGNED BY: DRAWN BY: DATE: SCALE: SHEET: 5TH Submitted

STAMP
 HENDRICKSON TRI-PLEX
 5201 DRIFTWOOD STREET
 OXNARD, CALIFORNIA

PROJECT / OWNER:
HENDRICKSON TRI-PLEX
 5201 DRIFTWOOD STREET
 OXNARD, CALIFORNIA

DATE: 04-18-25
 DRAWN BY: R.A. Fowler
 DATE: June 28, 2019

SHEET
 L-2
 OF
 5

UNIT ENTRY ACCENT PLANTINGS

CORTEN STEEL PLANTER

1) Landscape Architect Suggested Locations & Guidelines for Optional Future Garden Potted Plantings. Installations of these Planting Containers is the Owner's Option.
 2) Landscape Contractor to Provide Kellogg's Premium Potting Soil.
 3) Landscape Contractor to Provide Watering Bladders & Watering Tubes as per Detail

Corten Steel Cube Planter

(No reviews yet) (0) Write a Review

\$149.99 - \$449.99 Free Shipping Over \$199

Select Size: (In stock)

Small (W 27" L 17" H 18") Medium (W 27" L 27" H 22")
 Large (W 27" L 27" H 28")

Size: Small: 17" L x 17" W x 18" H Medium: 27" L x 27" W x 22" H Large: 27" L x 27" W x 28" H

Product Dimensions: 18" H x 22" H x 27" W

Water Capacity: 2658 oz 5120 oz 10880 oz

Planter Weight: 15 lb 25 lb 40 lb

AA L-3

(N) POTTED PLANTING CONTAINERS - (Secure in Place) - WATER (or Equal) - CORTEN STEEL CUBE PLANTER

A - (34" x 34" x 32" Tall)
 B - (27" x 27" x 28" Tall)
 C - (21" x 21" x 22" Tall)

- Total: 5 - A's / 3 - B's / 2 - C's
 - SEE IMAGE - SHEET L-2

