



**PLANNING COMMISSION  
STAFF REPORT**

**TO:** Planning Commission  
**FROM:** Daniel Houck, Associate Planner  
**DATE:** October 16, 2025  
**SUBJECT:** Planning and Zoning Permit No. 24-540-02 (Planned Development Permit) and 24-310-03 (Lot Line Adjustment), Property Located at 1425 Mariner Drive and 1100 E. Wooley Road (APNs: 220-0-301-445 and 220-0-301-415).

- 1) Recommendation:** That the Planning Commission (“**Commission**”):
  - a. Find the project Exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 21080.69 (Statutory Exemption); and
  - b. Adopt Resolution 2025-XX approving Planning and Zoning Permit No. 24-540-02 (Planned Development Permit) and 24-310-03 (Lot Line Adjustment), subject to certain findings and conditions.

**2) Project Description and Applicant:** Food Share Ventura County is requesting to develop a new warehousing facility for food receiving, storage, and distribution. This development primarily consists of the construction of a new approximately 85,845 square feet 2-story building. This would be accompanied by an enclosed shipping and receiving yard with loading docks, canopies, a trash enclosure, and a bin washing and storage area. The proposed development includes the following uses: administrative offices, conference/meeting areas, and a commercial kitchen to prepare meals for distribution. The property will have solar shade structures covering 84 of the 178 proposed parking stalls, as well as landscape and hardscape improvements, which include an employee outdoor amenity area and a fruit orchard. Additionally the application requests to move the lot line between the two parcels leaving an vacant 2.07 acre parcel and a 9.70 acre parcel with the full proposed development. For purposes of this Staff Report, the foregoing project description shall be referred to as the “**Project**”. Filed by Tanner Shelton of Sanbell on behalf of property owner Food Share Inc., 4156 Southbank Road, Oxnard, CA 93036 (the “**Applicant**”).

Please see the reduced Project plans (Attachment B) for more details.

**3) Existing & Surrounding Land Uses:** The two lots totaling approximately 11.77 acres are both undeveloped, vacant lots. The project site is generally located east of the five points intersection between Wooley Road and South Oxnard Boulevard. The property is accessed from the corner of Voyager Place and Mariner Drive. The railroad borders the west side of

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the parcel. The following table lists the surrounding zoning, general plan, and land uses immediately adjacent to the project site:

**Table 1: Existing Zoning and Land Uses**

LOCATION	ZONING	GENERAL PLAN	EXISTING LAND USE
Project Site	M-L-PD (Limited Manufacturing - Planned Development)	Industrial Limited (ILM)	Vacant lots
North	M-2 (Heavy Industrial)	Central Industrial Area (CIA)	Heavy Industrial Businesses
South	M-L-PD (Limited Manufacturing - Planned Development)	Industrial Limited (ILM)	Light Industrial Businesses
East	M-L-PD (Limited Manufacturing - Planned Development)	Industrial Limited (ILM)	Light Industrial Businesses
West	ESM-RW (Easement-Right of Way) & M-2 (Heavy Industrial)	ESM (Easement) & CIA (Central Industrial Area)	Railroad & Heavy Industrial Businesses

**4) Background Information:** On October 15, 1985, the City Council approved Tract Map 4065-2, which split an area containing the subject property into numerous parcels sized between 1 and 2 acres. In 1987, a resolution containing development guidelines for an area containing the two subject parcels was adopted by the Planning Commission. This established the Channel Islands Business Center.

The initial map (4065-2) was partially undone by the following Tract Map 4225 on February 24, 1989. This second map removed a large swath of parcel lines and reconfigured street dedications in the area where the subject parcel and its current adjacent parcels are.

On March 18, 2004, the Planning Commission approved Tentative Parcel Map No. 04-300-2 to subdivide this area resulting from the previous Tract map and shift a parcel line for an adjacent parcel to create four parcels, two being the subject parcels for this permit. The parcel map request was considered concurrently with Special Use Permit (SUP) No. 04-500-02, allowing development of three new industrial tilt-up buildings, one on three of the four parcels proposed in the parcel map. Of the two subject properties, the southern one was approved for a 86,740 square foot industrial building (88,740 square feet of floor area), while the northern parcel was left vacant. This 86,740 square foot industrial building was never constructed, ultimately leaving both subject parcels vacant. An MND was conducted for this parcel map and SUP, which resulted in only standard minor mitigations. While the building on the subject parcel was never constructed, the other two buildings of the three from the approved SUP, both located to the east and along Pacific Avenue, were constructed.

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A second entitlement permit was approved in 2011, PZ 10-500-10, for a 90,414 square foot industrial tilt-up building on the parcel at 1425 Mariner Drive. However, this was also never constructed. The current Planned Development permit request is of similar nature to the previous industrial developments entitled. It was submitted on November 20, 2024 and includes the proposed lot line adjustment.

**5) Environmental Determination:** In accordance with § 21080.69 (Statutory Exemption) of the State CEQA Guidelines, “a project that consists exclusively of a nonprofit food bank or food pantry, defined as a nonprofit organization that is exempt from federal income taxation under Section 501(c)(3) of the Internal Revenue Code of 1986, as amended (26 U.S.C. Sec. 501(c)(3)), that solicits, stores, and distributes sufficient food to their defined service area, if the project is located on a site that is zoned exclusively for industrial uses.” may be found to be exempt from the requirements of the California Environmental Quality Act (CEQA). This new CEQA exemption is part of the additions made to the Public Resource Code through SB131, which was passed in 2025. This proposal is on a parcel zoned exclusively for industrial use and includes a non-profit food bank (501(c)(3) # 77-0018162) that solicits, stores, and distributes food, thus it would qualify for exemption under the new CEQA language created in SB131. No environmental sensitive areas are on or adjacent to the property. Therefore, staff has determined that there is no substantial evidence that the project will have a significant effect on the environment and recommends that the Planning Commission accept the Notice of Exemption.

## 6) Analysis:

a) **General Discussion:** The proposed project consists of an industrial tilt-up building with 85,845 square feet of floor area. This building will include the following uses:

- Warehousing with dry and cold storage;
- Administrative offices with meeting/conference rooms;
- Commercial kitchen;
- Distribution with screened loading and unloading area; and
- Outside storage and staging area.

Other development in the proposal includes solar carports, 180 parking stalls, 4,139 square feet of canopies connected to the building, a 16 door trash enclosure, an additional enclosure for bin washing and bin storage, outdoor patio amenity for staff, and landscaping throughout the site.

The associated proposed lot line adjustment (Table 2) would modify the parcel sizes by approximately 2.6 acres. The development will be entirely on the northern parcel of the two vacant parcels.

**Table 2: Lot Line Adjustment**

	Existing Lot Size	Proposed Lot Size	Difference
<b>Northern Parcel</b>	7.10 acres	9.70 acres	2.60 acres
<b>Southern Parcel</b>	4.67 acres	2.07 acres	

The zoning designation includes the Planned Development additive zone. The project site is in the PD additive zone and is processed as a Planned Development Permit, which follows the procedures in the Special Use Permit section of the Oxnard City Code (OCC). A Planned Development Permit can allow numerical zone standards to be modified up to 25%; however, the proposed project meets all base zoning standards and there has not been a request to utilize the PD additive zone to modify standards. Pursuant to the procedure on public hearings, OCC Section 16-540 (Special Use Permit), the Planning Commission is the hearing body for Planned Development Permits.

- b) **General Plan Consistency:** The 2030 General Plan identifies the land use for the subject property to be Industrial Limited, which would be a suitable zone for the placement of a tilt up industrial building hosting a food bank use that primarily entails warehousing, distribution, a commercial kitchen, and administrative support services. The following table demonstrates further consistency with the general plan through specific policies:

The project’s consistency with the 2030 General Plan is classified by three levels:

- I. Direct Applicability to a Proposed Project or Program (full text of the policy and an explanation).
- II. Related or Indirect Applicability to the Proposed Project or Program (policy title and an explanation for each or groups of related or indirectly related policies).
- III. No or Distant Applicability to the Proposed Project or Program (all policies not listed as Level I and II are assumed to be consistent).

**Table 3: General Plan Consistency**

POLICY	LEVEL	POLICY OR TITLE	EXPLANATION
SC-5.5	I	Local Food Partnerships: Foster the development of a local foods program in cooperation with the agricultural industry and food wholesalers and retailers that reduces the “carbon footprint” of harvesting, processing, and delivering food to Oxnard and area residents, especially for schools and other large scale operations.	The industrial use proposed by the applicant is a food bank that has an established role in local food distribution and works with established local connections. The new facility would allow their capacity to dramatically increase to serve more people and further support their connections in the local food industry.

POLICY	LEVEL	POLICY OR TITLE	EXPLANATION
CD-1.2	I	Infill Development: Promote the efficient use of larger vacant parcels and vacant areas of the City by encouraging infill development, with a priority to mixed uses that reduce vehicle trips and GHG emissions and promote sustainable development goals and objectives.	The Project utilizes large vacant parcels within a developed area.
CD-5.1 CD-5.2	I	Industrial Clustering: Encourage the clustering of industrial uses into areas that have common needs and are compatible in order to maximize their efficiency.  Compatible Land Use: Ensure adequate separation between sensitive land uses (residential, educational, open space, healthcare) to minimize land use incompatibility associated with noise, odors, and air pollutant emissions.	The proposed industrial development is located in a compatible industrial area and located away from sensitive receptors, such as residential uses.
CD-9.4	II	View Corridor Preservation	The Project will provide significant screening to shield the loading area from public view. There is also an abundance of trees within a significant landscape buffer along Wooley road, which is a local scenic corridor. The buffer is well beyond the 30 foot minimum in the general plan.
CD-18.1 CD-18.10	II	Attract New Business, Existing Businesses	The proposed development is a local business currently operating just outside the City of Oxnard within the jurisdiction of Ventura County. This would not only bring a new business into the City, but would help maintain an important local business that is clearly compatible with the community.

c) **Conformance with Zoning Development Standards:** The proposed development is located in the Limited Manufacturing - Planned Development (M-L-PD) zone. The proposed development is a proposed tilt up industrial building to be used primarily for warehousing, distribution, administrative support services and a commercial kitchen. This proposed use is compatible with this zoning designation as all four uses are permitted uses in the M-L zone. Outdoor storage is permitted in the M-L zone as an incidental use to the primary use. Therefore, the business will be allowed to use the outdoor staging area and store washed bins in the small enclosure provided as an incidental outdoor storage use, conditioned according to the primary use. The project is currently in compliance with the Channel Islands Business Center design guidelines (Attachment F) as well, which will be further verified during condition compliance throughout the Plan Check (Building Permit) process. Applicable development standards of the Limited Manufacturing zone have been compared with the proposed project, as follows:

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**Table 4: Zoning Consistency**

DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	COMPLIES?
Max. building height (OCC 16-164)	35 feet, except that building heights can increase by one foot for every additional foot of setback distance.	The height for the building is generally at 44'9", with a peak of 49'9". The closest setback is 56 feet.	Yes.
Front yard setback (OCC 16-165)	20 ft.; 30 ft. if adjacent to designated thoroughfares.	The front corner of the building is over 275' from the frontage along Mariner Drive and Voyager Place.	Yes
Side yard setback (OCC 16-165)	Requires the height of the building as the minimum.	The height for the building is generally at 44'9", with a peak of 48'9". The closest Side setback is 56'	Yes
Rear yard setback (OCC 16-165)	Requires the height of the building as the minimum.	The height for the building is generally at 44'9", with a peak of 48'9". The rear property line is 285' from the closest building wall.	Yes
Maximum Lot Coverage (OCC 16-164)	50%	18.99% (75,850 sq ft of main building footprint, 3,604 sq ft of canopy, 767 sq ft of accessory structures)	Yes
Maximum Floor Area Ratio (OCC 16-164)	60%	20.5% (85,845 square feet of main building floor area)	Yes
Off-street parking (16-623)	147 spots based on square footage of uses	178 parking spaces	Yes

- d) **Site Design:** The industrial tilt-up building is located at the proposed northwestern area of the property. The vehicle access is taken off of the corner of Mariner Drive and Voyager Place, which leads to all the parking on the south side of the property and the enclosed loading yard at the center of the eastern side of the property. The north side of the property between the building/loading areas and Wooley Road will contain storm water infrastructure and a significant amount of landscaping, including a small fruit orchard.
- e) **Building Layout:** The has two levels totalling 85,845 square feet of floor area. The footprint of the building is 75,850 square feet and approximately 10,000 square feet for the second floor areas. The building hosts three primary uses in addition to distribution, which are administrative support, warehousing, and commercial kitchen. The offices for administrative support of the food bank operations are mostly located on the south side of the building on both levels. Adjacent to the administrative support areas on the ground level is the commercial kitchen. There is an isolated office and accompanying facilities for delivery drivers within the area primarily used for distribution and storage. This area is the majority of the north side of the building, which is largely dry and cold storage.

- f) **Circulation and Parking:** Vehicular and delivery access to the property will be from two driveways where Mariner Drive and Voyager Place meet. Both will have an access gate. Employee and visitor vehicles will access the southern and south eastern parking lot areas from the southwestern gate. Solar car ports cover two double loaded bays of 42 parking stalls each in the center of the southern parking area. The parking lot totals 178 vehicular parking stalls, which is well over the required 148 stalls.

All delivery trucks will use the eastern access driveway and gate to access the loading and unloading area at the east side of the building. There is a second gate within the parking area that allows these trucks specific access to the loading docks and delivery truck parking. While these delivery trucks will circulate around the full building to exit the property, they will still use the same access gate and driveway to leave the property.

- g) **Enclosed Yard Area:** There is a significant enclosed yard area to the east of the proposed building, which has been mentioned previously as a loading area. This enclosed yard includes all loading docks, loading/unloading zones, trash enclosures, and a bin washing area. This area is significant for the project due to the amount of large trucks that will spend time parked here and the requirement that views of this area be screened from all public right-of-way. The enclosure consists almost exclusively of a 12' high site wall to screen loading trucks and all activities happening within the yard. There are two wrought iron gates to this area that limit access to intended personnel. While this area is not outlined for an outdoor storage use specifically, there may be temporary storage as part of the immediate loading and unloading of goods as well as the storage of washed bins in the bin enclosure.
- h) **Height:** The majority of the proposed building is listed at 44'9", however, the maximum height is 49'9". The building is shorter where most of the offices are established, even going down to one level of height in one area. The height of the building increased minimum setbacks, all of which have been met. The building has a 4 feet of parapet wall that begins at 40 feet in height to screen any roof top equipment.
- i) **Landscaping and Open Space:** The property will be thoroughly landscaped through the application as over 124,000 square feet of landscaped area is proposed. The overwhelming majority occurs within the first 200 feet from the property line along Wooley Road. This area includes a meadow, a plethora of trees along the street/property boundary, a bioretention basin, and a fruit orchard. The rest of the landscaping is split between the required landscaping throughout the parking areas and the landscaping along the property boundaries, which is heaviest at the south end of the parcel where there is a landscape buffer containing a second bioretention basin. Trees line the south side of the parcel as well. The south side of the building provides outdoor amenity space for employees, through hardscape and landscaping

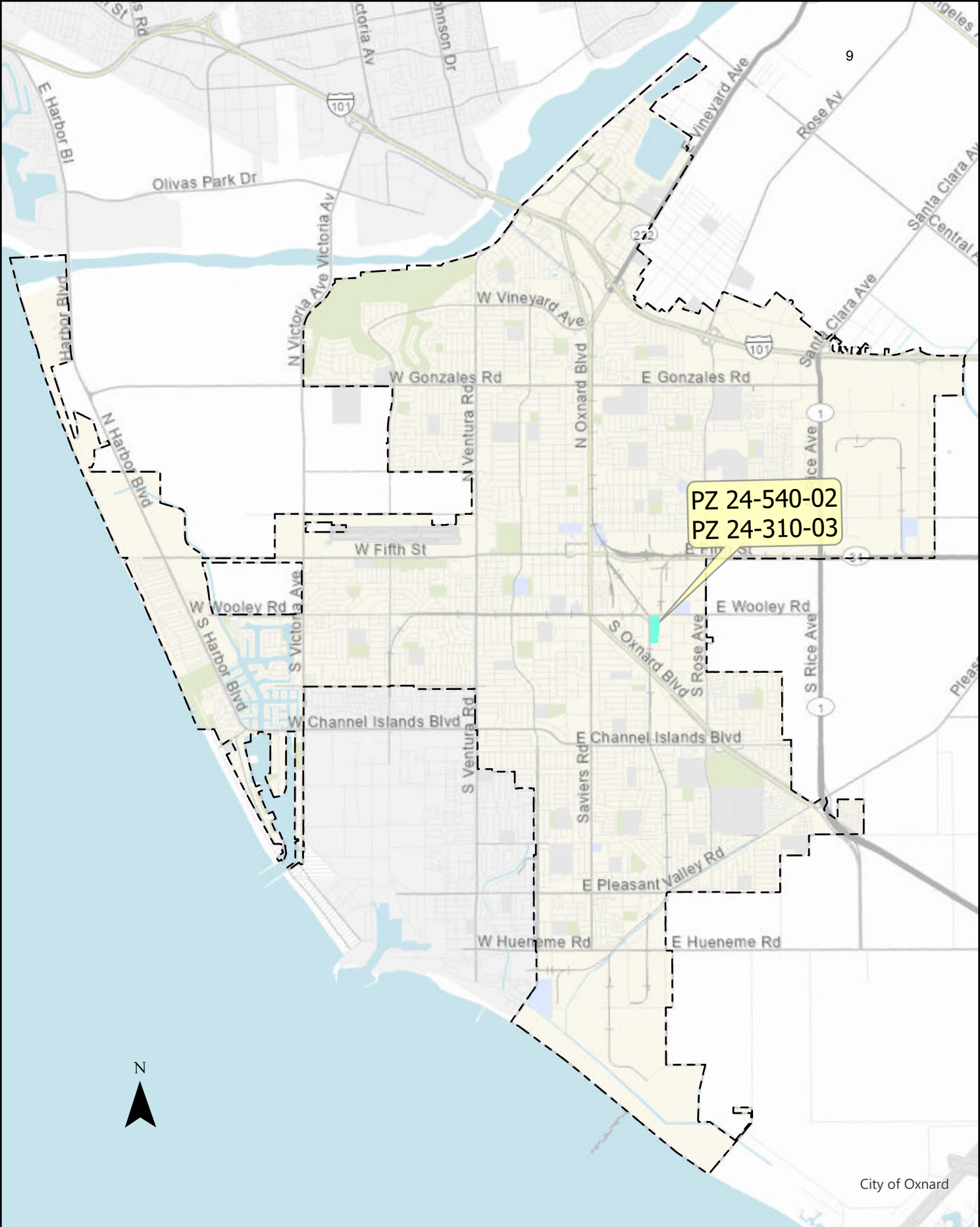
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improvements. This amenity space is mandated by Resolution 7051 as this development is within Channel Islands Business Park.

- j) **Noise:** Sensitive receptors in the area are minimal due to this being an industrial area. The site is adjacent to a railroad and other industrial uses. Noise is not a concern for this location, however, all new condenser units and other equipment proposed for the development will be approved pursuant to City Code §7-185, which regulates noise levels. Thus, the proposed project will not create significant noise impacts.
7. **Development Advisory Committee:** The Project was reviewed by necessary members of the Development Advisory Committee (DAC) including the Traffic Division, Environmental Resources, the Fire Department, the Police Department, and Development Services for conditions. These conditions of approval from DAC are included in the attached resolution (Attachment D). The Development Advisory Committee (DAC) reviewed this project together on the following dates: March 22, 2023 and October 4, 2023. The primary comments worth noting from the DAC process were how the loading area would be adequately screened and how access to the loading area operated in conjunction with the other parking areas for standard vehicles.
8. **Community Workshop:** A Community Workshop was not held for this project as it is not within a neighborhood boundary.
9. **Appeal Procedure:** In accordance with OCC Section 16-545 - Special Use Permit Appeals, the Planning Commission's action may be appealed to the City Council within 18 days after the decision date. Appeal forms may be obtained from the City Clerk and must be submitted with the appropriate fees before the end of the appeal period. If an appeal to the City Council is not filed within 18 days of the Planning Commission's decision, the decision of the Planning Commission shall be considered final.

**Attachments:**

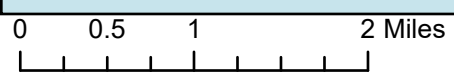
- A. Maps (Vicinity, General Plan, Zoning)
- B. Project Plans
- C. Notice of Exemption
- D. Resolution 2025-XX
- E. Staff Presentation
- F. Resolution 7051 (Channel Island Business Center Guidelines)



PZ 24-540-02  
PZ 24-310-03



City of Oxnard



### Vicinity Map

PZ 24-540-02  
PZ 24-310-03



E WOOLEY RD

10

MERCANTILE ST

VOYAGER PL

MARINER DR

CYPRESS ST

E DATE ST

YARNELL PL

PACIFIC AVE



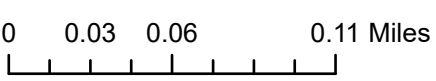
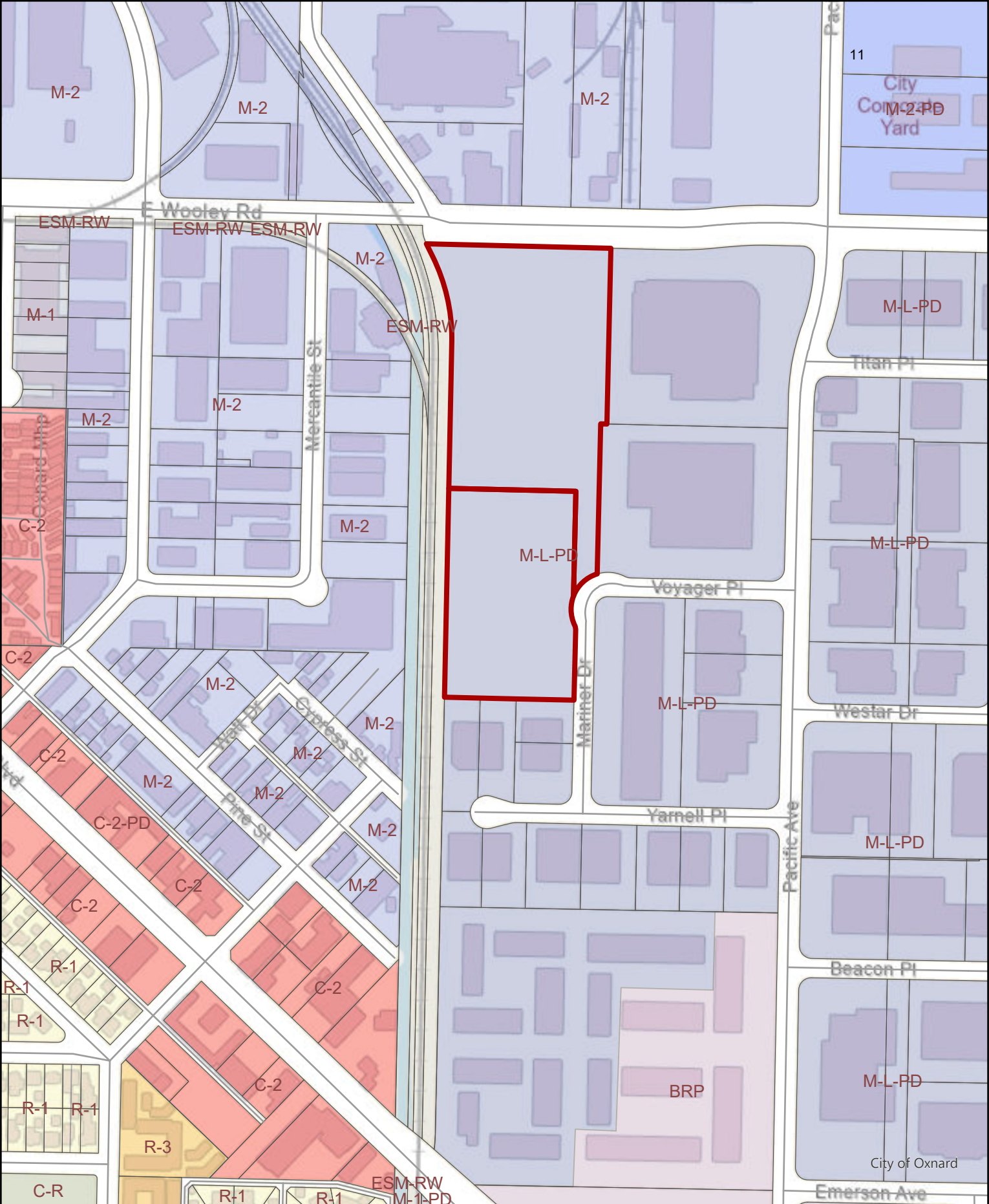
City of Oxnard

0 85 170 340 Feet

**Aerial Map**

PZ 24-500-04

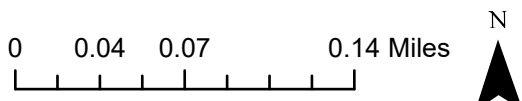
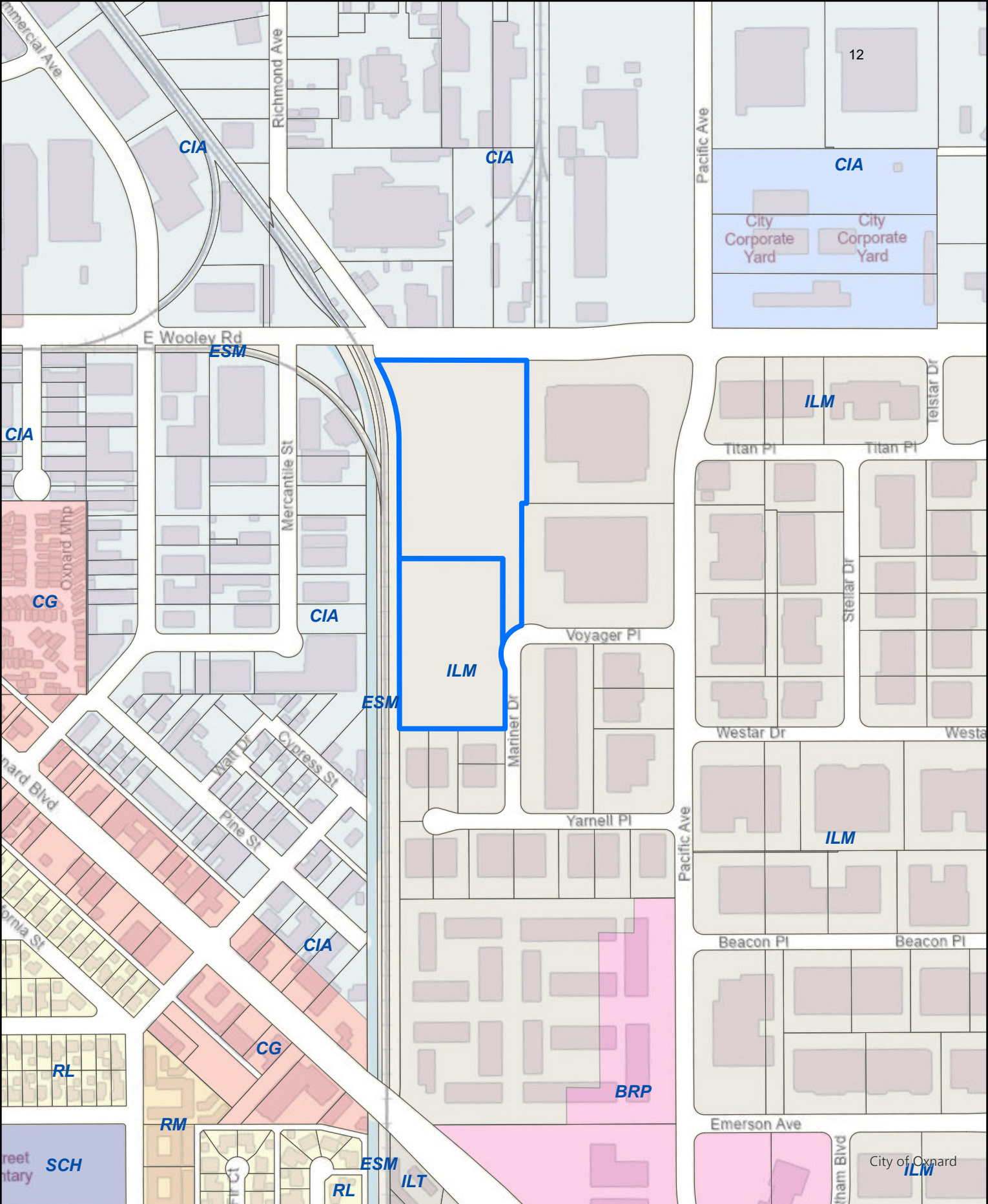
PZ 24-300-02



**Zoning Map**

PZ 24-540-02

PZ 24-310-03



# FOOD SHARE VENTURA COUNTY

## 1425 MARINER DRIVE, OXNARD CA

### CITY OF OXNARD DAC SUBMITTAL

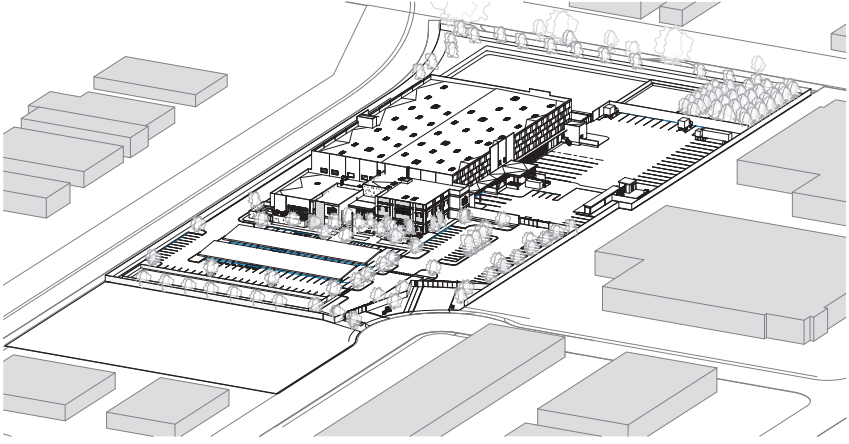


FOOD SHARE  
VENTURA COUNTY  
1425 MARINER DRIVE  
OXNARD, CA 93033

Jackson Liles  
ARCHITECTURE

1225 Third Street #208  
San Francisco, CA 94107  
Tel: 415.521.1799

www.jacksonliles.com



NOTE: FENCE & WALL MATERIALITY IS NOT SHOWN. SEE SITE PLAN FOR SITE FENCE AND WALL INFORMATION.

#### ZONING CODE SUMMARY

EXISTING USE ZONING DISTRICT 156-104	VACANT LAND MUPD (LIMITED MANUFACTURING ZONE)
MAX. BUILDING HEIGHT 156-104	35'. MAY BE INCREASED 1' FOR EACH ADDITIONAL 1' INCREASE TO ALL REQUIRED SETBACKS
YARD SETBACK 156-104	FRONT YARD 30' SIDE/REAR YARDS NOT LESS THAN HEIGHT OF THE BUILDING
MAX. LOT COVERAGE 156-104	50%, 211,223 SF
MAX. FLOOR AREA RATIO 156-104	60%, 253,468 SF
YARD USES 156-104	FRONT YARD PEDESTRIAN WALKS, VEHICULAR ACCESS DRIVES, AND UTILITY MANHOLES SIDE, REAR YARDS: SIGNS, LANDSCAPING, PARKING, LOADING AND RECREATION
FENCE LIMITATIONS 156-011	HEIGHT SHALL NOT EXCEED 8' FROM GRADE SETBACK EQUAL TO BUILDING SETBACK
MIN. OFF STREET PARKING 156-022	LIMITED INDUSTRIAL MANUFACTURING: 1500 SF WAREHOUSING: 10,000 SF OF GFA FOR FIRST 20,000 SF, 10,000 SF FOR NEXT 20,000, 14,000 SF FOR ALL SF ABOVE 40,000 SF OFFICE 1000 SF
MIN. BICYCLE PARKING 156-021	5 SPACES
MIN. MOTORCYCLE PARKING 156-024	FOR USES WITH MORE THAN 100 AUTOMOBILE PARKING SPACES, 3 MOTORCYCLE SPACES FOR FIRST 100 AUTO SPACES, AND 1 MOTORCYCLE SPACE PER 40 AUTO SPACES ABOVE 100 AUTO SPACES

#### PROJECT SQUARE FOOTAGES

SQUARE FOOTAGE BY USE (PER CITY OF OXNARD PLANNING DESIGNATION)	PROPOSED FAR (BASED ON 422,446 SF FOOD SHARE PARCEL)
COLOR STORAGE	FLOOR AREA: 8,846 SF
LIGHT INDUSTRIAL*	(BUILDING TOTAL + ACCESSORY STRUCTURES): 86,812 SF
OFFICE	FAR: 20.5%
WAREHOUSE/DRY STORAGE	
TOTALS	
ACCESSORY STRUCTURES	787 SF
LIGHT INDUSTRIAL INCLUDES COMMERCIAL KITCHEN AND SUPPORT AREAS	LOT COVERAGE SF: 76,817 SF (BUILDING LEVEL 1 + ACCESSORY STRUCTURES)
CANOPY & AWNING SQUARE FOOTAGE	LOT COVERAGE %: 18.14%
AWNING: 535 SF	
CANOPY: 3,664 SF	
TOTALS: 4,199 SF	

#### ISSUANCE RECORD

NO. 11-20-20 PROPOSED SET
11-19-24 DAC SUBMITTAL 1
02-21-25 DAC SUBMITTAL 1
06-25-25 DAC PROPOSED
07-31-25 DAC SUBMITTAL 2

#### REVISION RECORD

REV. 1	11-19-24 DAC SUBMITTAL
REV. 2	02-21-25 DAC SUBMITTAL REV. 1
REV. 3	07-31-25 DAC SUBMITTAL REV. 2

#### PARCEL INFORMATION

PROJECT ADDRESS: 1425 MARINER DRIVE, OXNARD, CA 93033  
 ASSESSOR'S PARCEL NUMBER: PARCEL 3, 220-0-301-445  
 SITE AREA: 97,288 SF (177 AC)  
 PROPOSED SITE CONFIGURATION: FOOD SHARE PARCEL: 422,446 SF (9.76 AC)  
 REMAINDER PARCEL: 96,223 SF (2.17 AC)  
 \*SEE PARCEL CONFIGURATION PLAN AT 20-2-20-01 PROPOSED SITE PLAN

#### VICINITY MAP

#### PROJECT TEAM

**CLIENT:**  
FOOD SHARE VENTURA COUNTY  
4106 SOUTHWALK RD  
OXNARD, CA 93038  
T: 805.962.1700

**LANDSCAPE ARCHITECT:**  
PREFECT CONSULTANT DESIGN, INC.  
491 EAST MAIN STREET  
VENTURA, CA 93001  
T: 805.715.4000

**MEP ENGINEER:**  
INTERSPACE ENGINEERING  
401 S FIGUEROA ST #270  
LOS ANGELES, CA 90017  
T: 213.694.3608

**STRUCTURAL ENGINEER:**  
EUGENE DE SOUZA, PRINCIPAL-IN-CHARGE  
44 FREMONT STREET, 20TH FLOOR  
SAN FRANCISCO, CA 94105  
T: 415.242.1004

**ARCHITECT:**  
JACKSON LILES ARCHITECTURE  
225 THIRD STREET, SUITE 208  
SAN FRANCISCO, CA 94107  
T: 415.421.1799

**SOIL ENGINEER:**  
KINSEY HENKLEY, P.E., GEO. QSP  
1425 MARINER DRIVE, OXNARD, CA

#### PROJECT OVERVIEW

THE PROPOSED PROJECT IS A NEW FOOD BANK FACILITY AT 1425 MARINER DRIVE FOR FOOD SHARE VENTURA COUNTY (FOOD SHARE), REPLACING THE CURRENT LOCATION AT 4106 SOUTH WALK ROAD, OXNARD. FOOD SHARE HAS SEEN A THREEFOLD INCREASE IN THE NEED FOR FOOD ASSISTANCE COMPARED TO THE PANDEMIC LEVEL AND IS LAUNCHING A CAPITAL CAMPAIGN TO FUND THIS EXPANSION TO MEET COMMUNITY NEEDS FOR THE NEXT 30-35 YEARS.

THE PROJECT INCLUDES A NEW TWO STORY 85,000 SF (APPROX.) BUILDING AND ASSOCIATED SITE IMPROVEMENTS ON THE 2.17 ACRE SITE. THE BUILDING FEATURES A SINGLE-STORY WAREHOUSE FOR FOOD RECEIVING, STORAGE, AND DISTRIBUTION. WILL FOCUS ON THE PACKING PROCESSES AND THE FOOD ASSISTANCE WITH MEETING ROOMS, A COMMERCIAL KITCHEN, AND SUPPORT SPACES. VOLUNTEER AREAS WILL INCLUDE A COMMERCIAL KITCHEN, AND ADMINISTRATIVE TASKS. THE FACILITY WILL ALSO FEATURE AN AGING SUPPORT AREA FOR FOOD DISTRIBUTION AND A COMMERCIAL KITCHEN FOR MEAL PREPARATION AND NUTRITION EDUCATION. MEETING SPACES INCLUDE CONFERENCE ROOMS FOR 40 PEOPLE AND A COMMUNITY ROOM FOR LARGER EVENTS. THE ENTRY LOBBY WILL CONNECT ALL FACILITY COMPONENTS.

LOCATED IN THE CHANNEL ISLANDS BUSINESS CENTER, THE SITE WILL OFFER EMPLOYER AND VOLUNTEER PARKING WITH SOLAR SHARE STRUCTURES, UNCOVERED PARKING, AND FOOD ASSISTANCE SPACE. AND LANDSCAPING, WAREHOUSE OPERATIONS WILL BE SUPPORTED BY A LOGGED-IN SUPPLY/RECEIVING YARD, LOADING DOCKS, TRASH ENCLOSURE, AND STORAGE AREAS. LANDSCAPING AND A SMALL ORCHARD WILL BE PLANTED NORTH OF THE SITE.

THE BUILDING WILL BE CONSTRUCTED USING TILT-UP CONCRETE PANELS WITH TEXTURED FORM FINISH, CURTAIN WALL AND STOREFRONT GLAZING, AND METAL PANEL ACCENTS THE SOUTH ELEVATION, FACING MARINER DRIVE/VASER PLACE, AND THE NORTH ELEVATION, FACING EAST WISLEY ROAD IN CITY-DESIGNED ZONING (CORPORAL), WILL BE UTILIZED TO PROMOTE FOOD SHARE'S PLACE IN THE COMMUNITY. THE PROJECT INCLUDES A LOT LINE ADJUSTMENT TO CREATE A NEW FOOD SHARE PARCEL, WITH THE REMAINDER PARCEL LEFT UNIMPROVED.

#### SHEET INDEX

GENERAL	ELECTRICAL
A-0.00 COVER SHEET	E-0.2 LUMINAIRE SCHEDULE
A-0.20 CODE SUMMARY	E-1.0 OVERALL SITE PLAN - ELECTRICAL
A-0.44 ABBREVIATIONS, SYMBOLS & ISSUANCE LOG	E-1.01 OVERALL SITE PLAN - ELECTRICAL PHOTOMETRIC CALCULATION
A-0.7 DOOR & GATE SCHEDULE	
A-0.11 SITE SURVEY	LANDSCAPE
A-0.12 EXISTING CONDITIONS-PHOTOS	LC-0.01 LANDSCAPE SCHEDULES & NOTES
	LC-0.01 OVERALL LANDSCAPE PLAN
	LC-1.02 SCHEMATIC DESIGN
	LC-1.03 SCHEMATIC DESIGN
	LC-1.04 SCHEMATIC DESIGN - ENLARGEMENT
	LC-1.05 SCHEMATIC DESIGN - WALL/FENCE PLAN
	LC-1.06 LANDSCAPE VEGETATED SWALE SECTIONS
	LC-1.07 SCHEMATIC IRRIGATION DESIGN
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A-1.00 3-D VIEWS	
A-1.01 EXISTING CONDITIONS/DEMOLITION SITE PLAN	
A-2.00 PROPOSED SITE PLAN	
A-2.01 CIRCULATION PLAN	
A-2.02 PARKING PLAN	
A-2.10 NEW PLAN - LEVEL 1	
A-2.11 LEVEL 1 MATCHLINE PLAN - SOUTH	
A-2.12 LEVEL 1 MATCHLINE PLAN - NORTH	
A-2.20 NEW PLAN - LEVEL 2	
A-2.21 LEVEL 2 MATCHLINE PLAN - SOUTH	
A-2.22 LEVEL 2 MATCHLINE PLAN - NORTH	
A-2.30 ROOF KID PLAN	
A-2.31 ROOF MATCHLINE PLAN - SOUTH	
A-2.32 ROOF MATCHLINE PLAN - NORTH	
A-3.1 BUILDING SECTIONS	
A-3.2 BUILDING SECTIONS	
A-4.10 BUILDING ELEVATIONS	
A-4.11 BUILDING ELEVATIONS-MATERIAL BOARD	
A-4.4 TRASH ENCLOSURE DETAILS	
A-4.6 SITE DETAILS	
A-4.8 BIN WASHING STRUCTURE DETAILS	

NOTE: STRUCTURAL DRAWINGS ARE NOT INCLUDED IN THE DAC SUBMITTAL. DISREGARD REFERENCES TO STRUCTURAL DRAWINGS WITHIN THIS SUBMITTAL.

#### FOOD SHARE VENTURA COUNTY

Date: 7/31/25  
 Scale:  
 Job #: 2302  
 Rev# File: Y:\paw\2302\Rev  
 Approved By: Author

DAC SUBMITTAL

COVER SHEET

A-0.00

### BUILDING CODE SUMMARY

**GENERAL PROJECT INFORMATION**

**BUILDING ADDRESS:** 1425 HARNER DRIVE  
OXNARD, CA 93033

**LOT & BLOCK:** SEE "PARCEL" ON PLANNING CODE SUMMARY

**CODES:** CALIFORNIA BUILDING CODE 2022  
CALIFORNIA ELECTRICAL CODE 2022  
CALIFORNIA MECHANICAL CODE 2022  
CALIFORNIA PLUMBING CODE 2022  
CALIFORNIA FIRE CODE 2022  
CALIFORNIA GREEN BUILDING STANDARDS CODE 2022  
CITY OF OXNARD CODE AMENDMENTS AS APPLICABLE

**TITLE 24:** CALIFORNIA CLIMATE ZONE #4

**SEISMIC ZONE:** SEE STRUCTURAL DRAWINGS

---

**BUILDING CODE SUMMARY**

**CH 1 OCCUPANCY CLASSIFICATION:** ASSEMBLY GROUP A-2 (MEET ROOM)  
ASSEMBLY GROUP A-3 (COMMUNITY ROOM)  
BUSINESS & OFFICE (GENERAL OFFICE)  
MODERATE HAZARD FACTORY INDUSTRIAL F-1 (COMMERCIAL KITCHEN, VOLUNTEER PRODUCTION, SALES/WAREHOUSING)  
MODERATE HAZARD STORAGE S-1 (DRY STORAGE, COLD STORAGE, ARCHIVE STORAGE)

**CH 4 COMBUSTIBLE STORAGE:** 413.10 GENERAL HIGH-PILED STOCK OR BACK STORAGE IN ANY OCCUPANCY GROUP SHALL COMPLY WITH THE CALIFORNIA FIRE CODE.

**CALIFORNIA FIRE CODE CHAPTER 9-2 HIGH-PILED COMBUSTIBLE STORAGE:**

TABLE 308.2	COMMODITY	CLASSIFICATION	MAXIMUM STORAGE HEIGHT
ATMOSPHERIC FIRE-EXTINGUISHING SYSTEM	YES	CLASS I-IV	90,000 SF
FIRE DETECTION SYSTEM	NOT REQUIRED		
FIRE DEPARTMENT ACCESS DOORS	YES		
SMOKE AND HEAT REMOVAL	YES		
MINIMUM CLEARANCE	OF		
MAXIMUM PILE VOLUME	400,000 CUBIC FEET		

308.7.2 WHERE LOCATED, WHERE EXTERIOR WALLS SURROUNDING HIGH-PILED STORAGE SHALL BE DISTRIBUTED SUCH THAT THE LINEAL DISTANCE BETWEEN ADJACENT FIRE DEPARTMENT ACCESS DOORS DOES NOT EXCEED 125 FEET MEASURED CENTER TO CENTER.

308.7.3 NUMBER OF DOORS REQUIRED, THE REQUIRED FIRE DEPARTMENT ACCESS DOORS SHALL BE DISTRIBUTED SUCH THAT THE LINEAL DISTANCE BETWEEN ADJACENT FIRE DEPARTMENT ACCESS DOORS DOES NOT EXCEED 125 FEET MEASURED CENTER TO CENTER.

308.8 SMOKE AND HEAT REMOVAL, WHERE SMOKE AND HEAT REMOVAL IS REQUIRED BY TABLE 308.2 IT SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 9.

**CALIFORNIA FIRE CODE CHAPTER 9-3 FIRE PROTECTION AND LIFE SAFETY SYSTEMS:**

903.2.2 SMOKE AND HEAT VENT LOCATIONS, SMOKE AND HEAT VENTS SHALL BE LOCATED TO PREVENT SMOKE FROM ADJACENT LOT UNITS AND FIRE WALLS AND 10 FEET OR MORE FROM FIRE BARRIERS. VENTS SHALL BE UNIFORMLY LOCATED WITHIN THE ROOF OR IN THE AREA OF THE BUILDING WHERE THE VENTS ARE REQUIRED TO BE INSTALLED BY SECTION 903.2 WITH CONSIDERATION GIVEN TO ROOF PITCH, SPRINKLER LOCATION AND STRUCTURAL MEMBERS.

**SMOKE AND HEAT VENT AREA (903.3):**

A - 1/1600

WAREHOUSE VOLUME = 300' LENGTH x 181' WIDTH x 30' HEIGHT = 1,638,000 CUBIC

A = 2,018,600 / 3,000

A = 224.5 SF SMOKE VENT AREA

---

**CH 5 ALLOWABLE HEIGHTS AND AREAS:**

NOTE ON CONSTRUCTION TYPE AND UNLIMITED AREA BUILDING: THE BUILDING IS A TYPE 5-B CONSTRUCTION BUILDING AND WILL BE CLASSIFIED AS UNLIMITED AREA BUILDING PER SECTION 502.3.1. IN ORDER TO MEET THE DESIGNATION, THE BUILDING IS DR SET FROM THE WESTERN PROPERTY LINE BY AND A MINIMUM DISTANCE OF 10' ON ALL OTHER SIDES. THERE IS ONE EXCEPTION AT THE WESTERN PROPERTY LINE WHERE THE BUILDING ENCRANGES ON THIS 50' SET AND IS LOCATED 24' FROM THE PROPERTY LINE. THE WALLS WITHIN THIS 50' SET SHALL HAVE A 4-HR RATING IN ORDER TO COMPLY WITH THE ALLOWED REDUCED OPEN SPACE PER CBC SECTION 502.1.

**FIRE SPRINKLER:** YES, PER NFPA-13, SEE CHAPTER 9 FIRE PROTECTION SYSTEMS FOR ADDITIONAL INFORMATION.

**ALLOWABLE BUILDING HEIGHT:**

TYPE 5-B	ALLOWED BUILDING HT "WITHOUT AREA INCREASE"
A-3	60'
A-2	60'
B-3	60'
B-2	60'
C-3	60'
C-2	60'

**TABLE 504.3**

TYPE 5-B	NUMBER OF STORIES "WITHOUT AREA INCREASE"
A-3	3
A-2	3
B-3	3
B-2	3
C-3	3
C-2	3

**TABLE 504.4**

**PROPOSED BUILDING HEIGHT:** 2 STORES, 42'-0" TO HIGHEST POINT OF WAREHOUSE ROOF SURFACE

**ALLOWABLE BUILDING AREA:** REFER TO SITE PLAN FOR BUILDING PERIMETER

**UNLIMITED AREA BUILDINGS (507.4):** 507.4 TWO STORY BUILDINGS: THE AREA OF A GROUP B, B, H OR S BUILDING NOT MORE THAN TWO STORES ABOVE GRADE PLAN SHALL NOT BE LIMITED WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.1.1 AND IS SURROUNDED AND ADJACENT BY PUBLIC WAYS OR YARDS NOT LESS THAN 10 FEET IN WIDTH.

**REDUCED OPEN SPACE PER SECTION 502.1:** THE PUBLIC WAYS OR YARDS 80 FEET IN WIDTH REQUIRED IN SECTIONS 507.3, 507.4, 507.5, 507.6 AND 507.12 SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN 40 FEET IN WIDTH, PROVIDED THAT THE FOLLOWING REQUIREMENTS ARE MET:

- THE REDUCED WIDTH SHALL NOT BE ALLOWED FOR MORE THAN 75 PERCENT OF THE PERIMETER OF THE BUILDING.
- THE EXTERIOR WALLS FACING THE REDUCED WIDTH SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR.
- OPENINGS IN THE EXTERIOR WALLS FACING THE REDUCED WIDTH SHALL HAVE OPENING PROTECTIVES WITH A FIRE PROTECTION RATING OF NOT LESS THAN 1 HOUR.

**REQUIRED OCCUPANCY SEPARATIONS PER CBC TABLE 504.4:**

01R OCCUPANCY SEPARATION REQUIRED BETWEEN B (F-1) & S-1  
1R OCCUPANCY SEPARATION REQUIRED BETWEEN A-2 / A-3 & B (F-1) & S-1

**CH 6 TYPES OF CONSTRUCTION:**

TYPE 5-B

**FIRE RESISTANCE RATING REQUIREMENTS PER CBC TABLE 601.5:**

PRIMARY STRUCTURAL FRAME	TYPE 5-B
BEARING WALLS	2
EXTERIOR	2
INTERIOR	2
NON-BEARING WALLS	2
EXTERIOR	SEE TABLE 705.9
INTERIOR	2
FLOOR CONSTRUCTION	2
ROOF CONSTRUCTION	2

**CH 7 FIRE RESISTIVE CONSTRUCTION:**

**FIRE RESISTANCE RATING REQUIREMENTS AT EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE PER CBC TABLE 705.9:**

GROUP A-1, A-2, A-3	TYPE 5-B
A-1	2
A-2	2
A-3	2

**MAX AREA OF EXTERIOR WALL OPENING PER CBC TABLE 705.9:**

FIRE SEPARATION DIST (F) PROTECTION	DEGREE OF OPENING	ALLOWABLE AREA
0' TO LESS THAN 5'	SPRINKLERED	NOT PERMITTED
5' TO LESS THAN 9'	SPRINKLERED	15%
9' TO LESS THAN 12'	SPRINKLERED	25%
12' TO LESS THAN 15'	SPRINKLERED	45%
15' TO LESS THAN 20'	SPRINKLERED	75%
20' TO LESS THAN 25'	SPRINKLERED	NO LIMIT
25' TO LESS THAN 30'	SPRINKLERED	NO LIMIT
30' OR GREATER	SPRINKLERED	NO LIMIT

**SHAFT ENCLOSURES:**

713.2 CONSTRUCTION, SHAFT ENCLOSURES SHALL BE CONSTRUCTED AS FIRE BARRIERS IN ACCORDANCE WITH SECTION 707 OR HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711, OR BOTH.

713.4 FIRE RESISTANCE RATING, SHAFT ENCLOSURES SHALL HAVE A FIRE RESISTANCE RATING OF: NOT LESS THAN 1 HOUR WHERE CONNECTING LESS THAN FOUR STORES.

---

**CH 8 INTERIOR FINISHES:**

TABLE 803.11 - INTERIOR WALL AND CEILING FINISHES	INT EXIT STAIRWAYS, INT EXIT RAMP AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMPS	ROOMS AND ENCLOSED SPACES
OCCUPANCY GROUP	INT EXIT STAIRWAYS, INT EXIT RAMP AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMPS	ROOMS AND ENCLOSED SPACES
A-3	B	B	C
B-3	C	C	C
B-2	C	C	C
C-3	D	D	D
C-2	D	D	D

---

**CH 9 FIRE PROTECTION SYSTEMS:**

**FIRE SPRINKLER:** FULLY SPRINKLERED (NFPA-13)  
SEE CROSS SQUARE FOOTAGE SCHEDULE ON FOLLOWING SHEETS

---

**CH 10 MEANS OF EGRESS:**

**OCCUPANT LOAD (TABLE 1004.5):**

FUNCTION	OCCUPANT LOAD FACTOR
NECESSARY STORAGE	100 PERSONS PER 100 SQ FT
MUSIC REHEARSAL EQUIPMENT ROOM	100 PERSONS PER 100 SQ FT
SEATING - WITHOUT FIXED SEATS - CHAIRS ONLY, NOT FOLDING	5 SEATS PER 100 SQ FT
SEATING - WITH FIXED SEATS - STANDING SEATING	1 SEAT PER 100 SQ FT
SEATING - WITH FIXED SEATS - SEATING WITH TABLES AND CHAIRS	2 SEATS PER 100 SQ FT
INDUSTRIAL AREAS	100 PERSONS PER 100 SQ FT
RESEARCH LABORATORIES	100 PERSONS PER 100 SQ FT
STORAGE	100 PERSONS PER 100 SQ FT

**TABLE 1006.1.1, MAXIMUM OCCUPANT LOAD PER STORY:**

OCCUPANCY	MAX OCCUPANT LOAD PER STORY
A	49
B	75
C	100
D	100

---

**TABLE 1006.1.3, NUMBER OF EXITS:**

OCCUPANT LOAD PER STORY	MIN NUMBER OF EXITS OR ACCESS TO EXITS PER STORY
0-50	2
51-100	3
MORE THAN 100	4

**EXIT AND EXIT ACCESS DOORWAYS (PER CBC SEC 1007):**

1007.1.1 WHERE TWO EXITS, EXIT ACCESS DOORWAYS, EXIT ACCESS STAIRWAYS OR RAMPS, OR ANY COMBINATION THEREOF, ARE REQUIRED FROM ANY PORTION OF THE EXIT ACCESS, THEY SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURED AS A STRAIGHT LINE BETWEEN EXITS OR EXIT ACCESS DOORWAYS, EXCEPT FOR: 2. WHERE A BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH 903.1.1 OR 903.1.2, THE SEPARATION DISTANCE SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAX OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.

1007.1.3 - WHERE ACCESS TO THREE OR MORE EXITS IS REQUIRED, NOT LESS THAN TWO EXIT OR EXIT ACCESS DOORWAYS SHALL BE ARRANGED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 1007.1.1. ADDITIONAL REQUIRED EXIT OR EXIT ACCESS DOORWAYS SHALL BE ARRANGED A REASONABLE DISTANCE APART SO THAT IF ONE BECOMES BLOCKED, THE OTHERS WILL BE AVAILABLE.

**EXIT ACCESS TRAVEL DISTANCE (PER CBC SEC 1012):**

EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED THE VALUES GIVEN IN TABLE 1012.2

OCCUPANCY	WITH SPRINKLER SYSTEM (IN FEET)
A-F, I, S-1	250
B	300

---

**SEC 1019 EXIT ACCESS STAIRWAY:**

1019.3, IN OTHER THAN GROUP I-2, I-2.1, AND R-2 OCCUPANCIES, FLOOR OPENINGS CONTAINING EXIT ACCESS STAIRWAYS OR RAMPS SHALL BE ENCLOSED WITH A SHaft ENCLOSURE CONSTRUCTED IN ACCORDANCE WITH SECTION 713.

EXCEPTION 1: EXIT ACCESS STAIRWAYS AND RAMPS THAT SERVE OR ATTEMPT TO SERVE COMMERCIAL OR INDUSTRIAL OCCUPANCIES, SUCH AS INTERCONNECTED STORES SHALL NOT BE OPEN TO OTHER STORES.

---

**CH 11 ACCESSIBILITY:** FULLY ACCESSIBLE TO COMPLY WITH CBC 2022, CH 11B

**ISSUANCE RECORD:**

NO. 11.26 (20) PRELIM. SET
NO. 11.24 (24) SUBMITTAL 1
NO. 21.25 (24) SUBMITTAL 1
NO. 25.25 (25) PRELIM. SET
NO. 31.25 (24) SUBMITTAL 2

---

**REVISION RECORD:**

REV 1	11.15.24 (24) SUBMITTAL
REV 2	03.15.25 (24) SUBMITTAL REV. 1
REV 3	07.31.25 (24) SUBMITTAL REV. 2

---

**FOOD SHARE VENTURA COUNTY**

1425 HARNER DRIVE  
OXNARD, CA 93033

© 2025 Food Share 4008  
San Marcos, CA 91078  
Tel: 415.521.1799

www.jacksonliles.com

---

**DAC SUBMITTAL**

Code: 70325  
Scale: 1/8" = 1'-0"  
Rev# File: 1/25pm/2302Rev  
Approved By: Author

---

**CODE SUMMARY**

**A-0.2a**









10 MARINER DR LOOKING NORTHEAST 1  
3" = 1'-0"



6 E WOOLEY RD LOOKING AT ADJACENT BUILDING  
3" = 1'-0"



3 E WOOLEY RD LOOKING SOUTH  
3" = 1'-0"



8 E WOOLEY RD LOOKING AT ORMOND LAGOON WATERWAY  
3" = 1'-0"



5 MARINER DR LOOKING AT ADJACENT BUILDING  
3" = 1'-0"



2 E WOOLEY RD LOOKING SOUTHWEST  
3" = 1'-0"



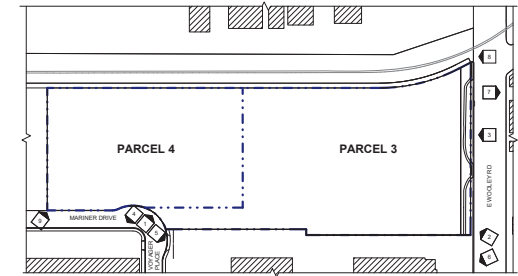
7 E WOOLEY RD LOOKING ACROSS THE STREET  
3" = 1'-0"



4 MARINER DR LOOKING ACROSS THE STREET  
3" = 1'-0"



1 MARINER DR LOOKING NORTHWEST  
3" = 1'-0"



9 KEY PLAN 1  
1" = 100'-0"



FOOD SHARE  
VENTURA COUNTY  
1425 MARINER DRIVE  
OXNARD, CA 93033

Jackson Liles  
ARCHITECTURE

4225 Third Street #208  
San Francisco, CA 94107  
Tel: 415.521.1199

www.jacksonliles.com

ISSUANCE RECORD

10/24/24 PRE-DAC SUBMITTAL
11/11/24 PRE-DAC SUBMITTAL
11/18/24 DAC SUBMITTAL 1
02/21/25 DAC RESUBMITTAL 1
05/22/25 PRE-DAC SUBMITTAL
07/31/25 DAC RESUBMITTAL 2

REVISION RECORD

PG 1	11/18/24	DAC SUBMITTAL
PG 2	05/22/25	DAC SUBMITTAL REV. 1
PG 3	07/31/25	DAC SUBMITTAL REV. 2

FOOD SHARE VENTURA COUNTY

Date: 7/31/25  
Scale: As Indicated  
JOB #: 2302  
Rev'd File: V:\plan\2302\Rev'd  
Approved By: Author

DAC SUBMITTAL

EXISTING  
CONDITIONS-PHOTOS

A-0.12





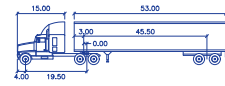
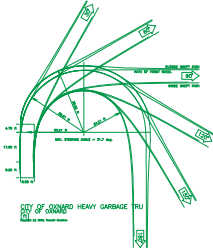




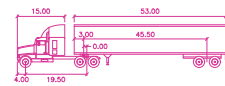




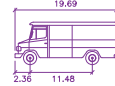
**CITY OF OXNARD HEAVY GARBAGE TRUCK**  
 Width : 31.50  
 Track : 17.50  
 Lock to Lock Time : 6.0  
 Steering Angle : 31.80



**WB-67**  
 Tractor Width : 15.00  
 Trailer Width : 8.00  
 Tractor Track : 8.50  
 Trailer Track : 8.50  
 Lock to Lock Time : 6.0  
 Steering Angle : 28.4  
 Articulating Angle : 75.0



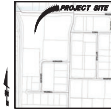
**WB-67**  
 Tractor Width : 15.00  
 Trailer Width : 8.00  
 Tractor Track : 8.50  
 Trailer Track : 8.50  
 Lock to Lock Time : 6.0  
 Steering Angle : 28.4  
 Articulating Angle : 75.0



**Delivery Van**  
 Width : 19.69  
 Track : 11.48  
 Lock to Lock Time : 6.0  
 Steering Angle : 46.2

Curve Table (This sheet only)

Curve #	Δ	P	T
C1	80.17°	10.00'	48.00'
C2	81.20°	10.00'	48.00'
C3	15.70°	10.00'	48.00'
C4	244.30°	10.00'	48.00'



GENERAL NOTES

SHEET NOTES

1425 MARINER DRIVE  
 OXNARD, CA 93003



ISSUANCE RECORD

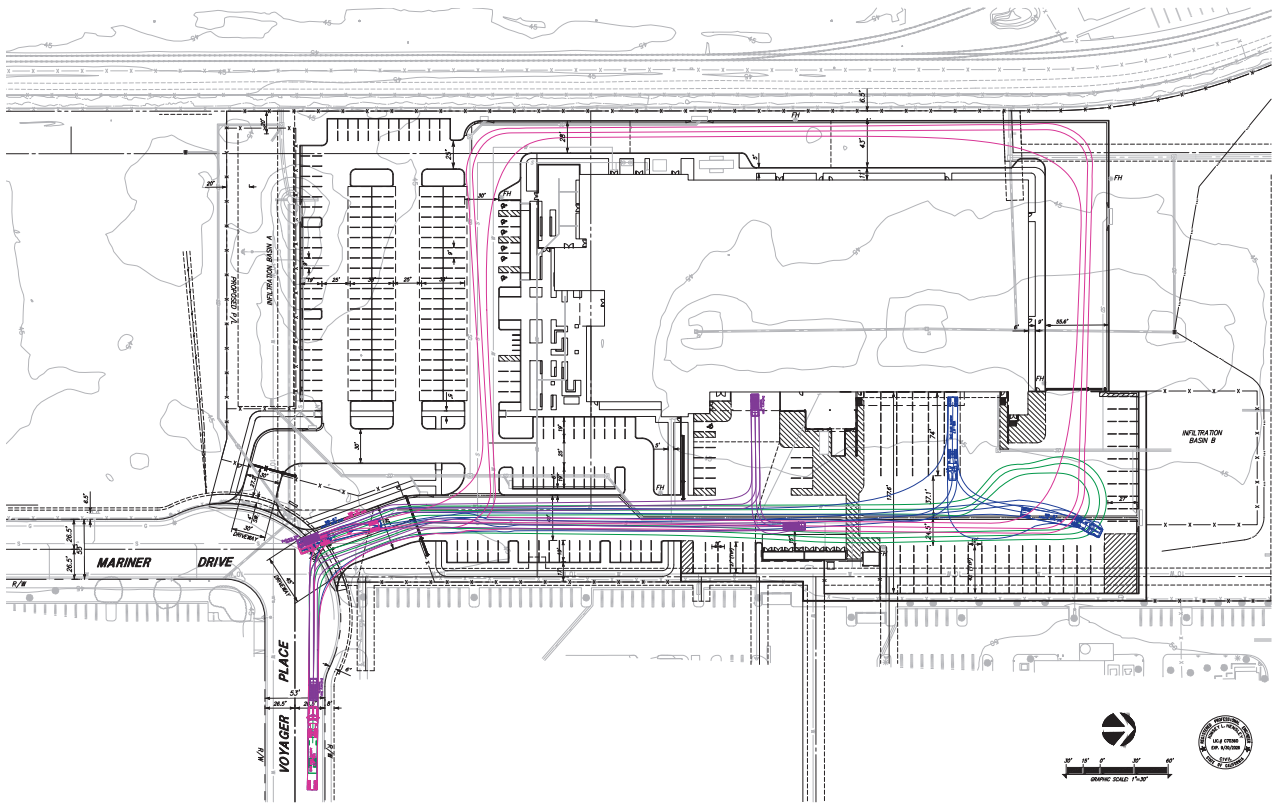
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Date: 10/1/24  
 Scale: 1" = 300'  
 Job #: 2302  
 Sheet #: 3.4 of 3.4  
 Author: [Name]

PRE-DC SUBMITTAL

CIRCULATION PLAN

3.4



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FOOD SHARE  
VENTURA COUNTY  
1425 MARINER DRIVE  
OXNARD, CA 93033

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1225 Third Street #205  
San Francisco, CA 94107  
Tel: 415.521.1199

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ISSUANCE RECORD

10.11.20	DD	PROPOSED	001
11.19.20	DAC	SUBMITTAL	1
02.21.21	DAC	RESUBMITTAL	1
06.22.21	PLN	001	PROPOSED
07.31.21	DAC	RESUBMITTAL	2

REVISION RECORD

PL1	11.19.20	DAC	SUBMITTAL
PL2	02.21.21	DAC	SUBMITTAL REV. 1
PL3	07.31.21	DAC	SUBMITTAL REV. 2

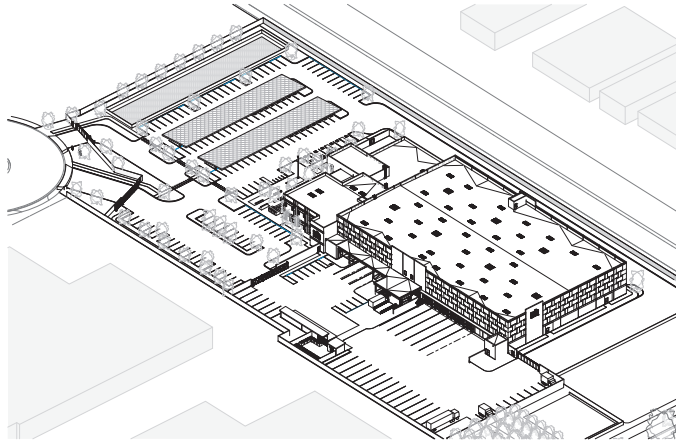
FOOD SHARE VENTURA COUNTY

Date:	10/20/20
Scale:	
Sheet:	2002
Revised By:	Vjames@jll.com
Approved By:	Autler

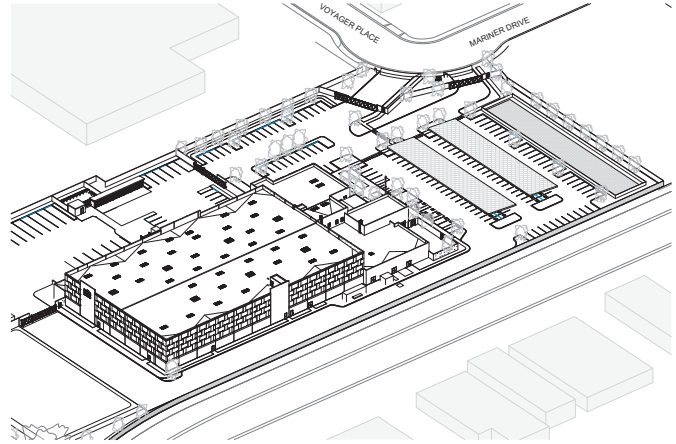
DAC SUBMITTAL

3-D VIEWS

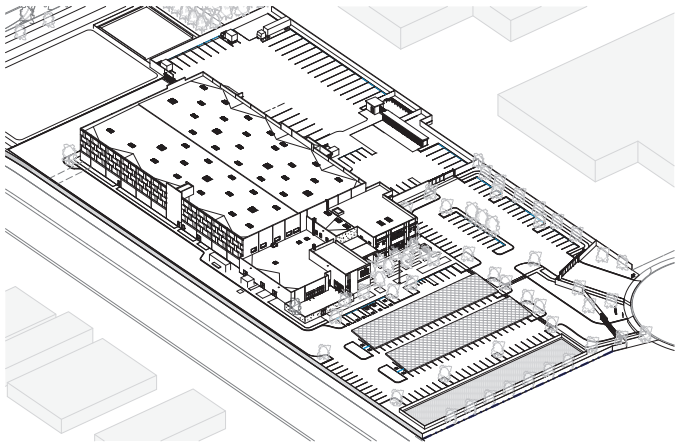
A-1.00



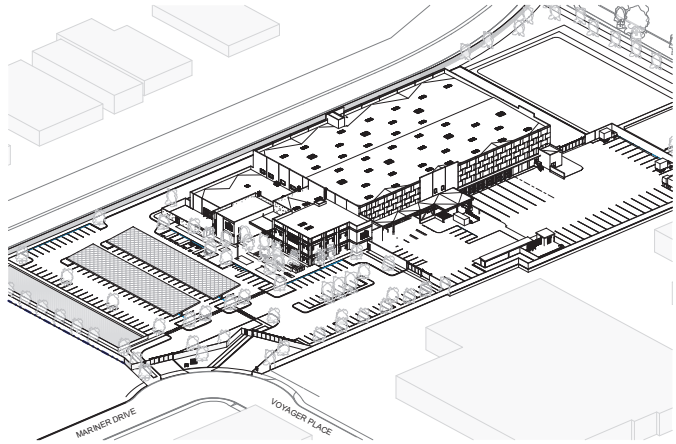
1 NORTHEAST AXONOMETRIC



2 NORTHWEST AXONOMETRIC



3 SOUTHEAST AXONOMETRIC



4 SOUTHWEST AXONOMETRIC



ISSUANCE RECORD

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11.10.24	DAC SUBMITTAL 1
02.21.25	DAC SUBMITTAL 1
05.22.25	FOR PERFORMING
07.31.25	DAC SUBMITTAL 2

REVISION RECORD

PL1	11.10.24	DAC SUBMITTAL
PL2	02.21.25	DAC SUBMITTAL REV. 1
PL3	07.31.25	DAC SUBMITTAL REV. 2

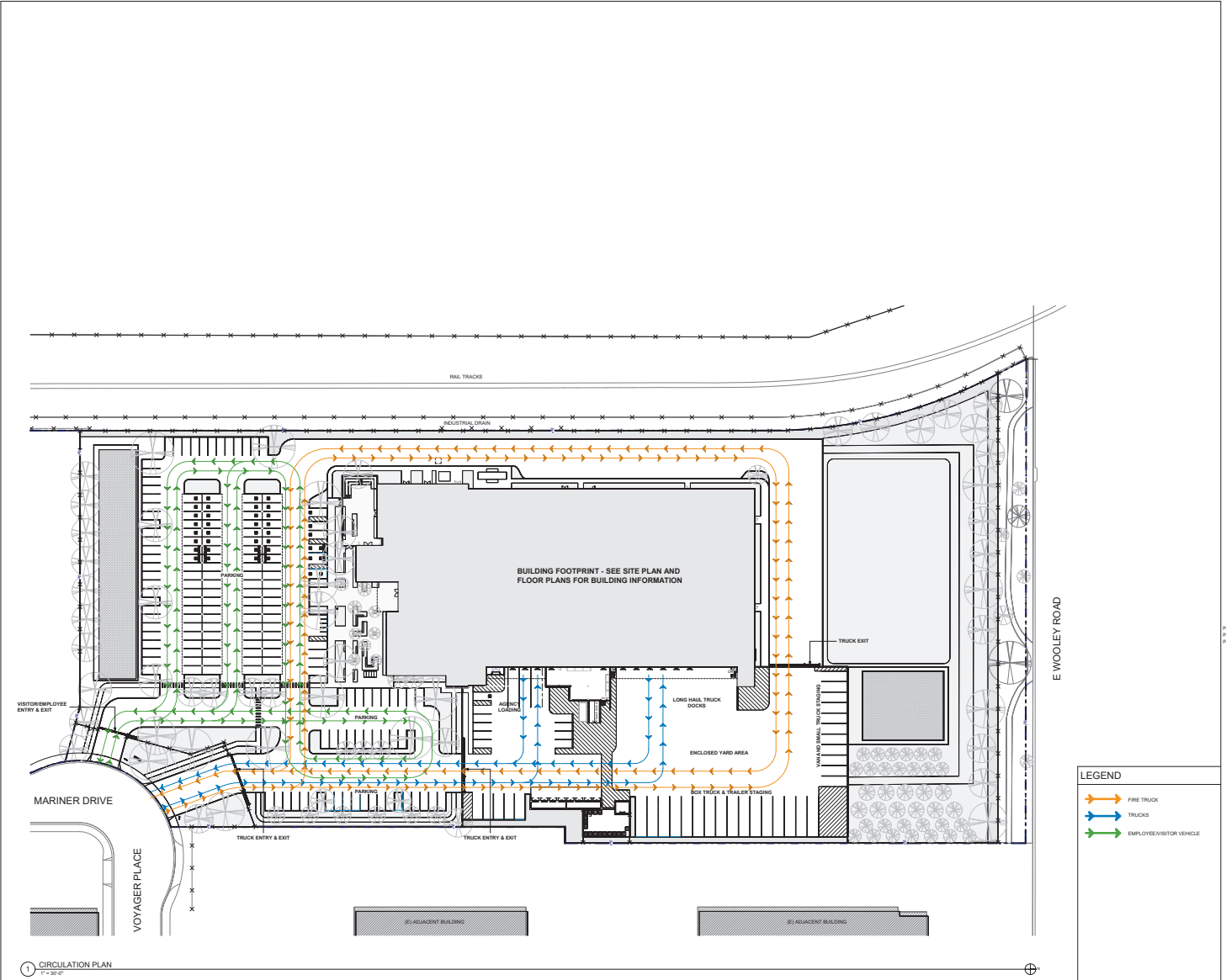
FOOD SHARE VENTURA COUNTY

Date:	7/31/25
Scale:	As Indicated
Job #:	2302
Rev# / File:	Vjplm/0232Rev#
Approved By:	Author

DAC SUBMITTAL

CIRCULATION PLAN

A-2.01



1 CIRCULATION PLAN

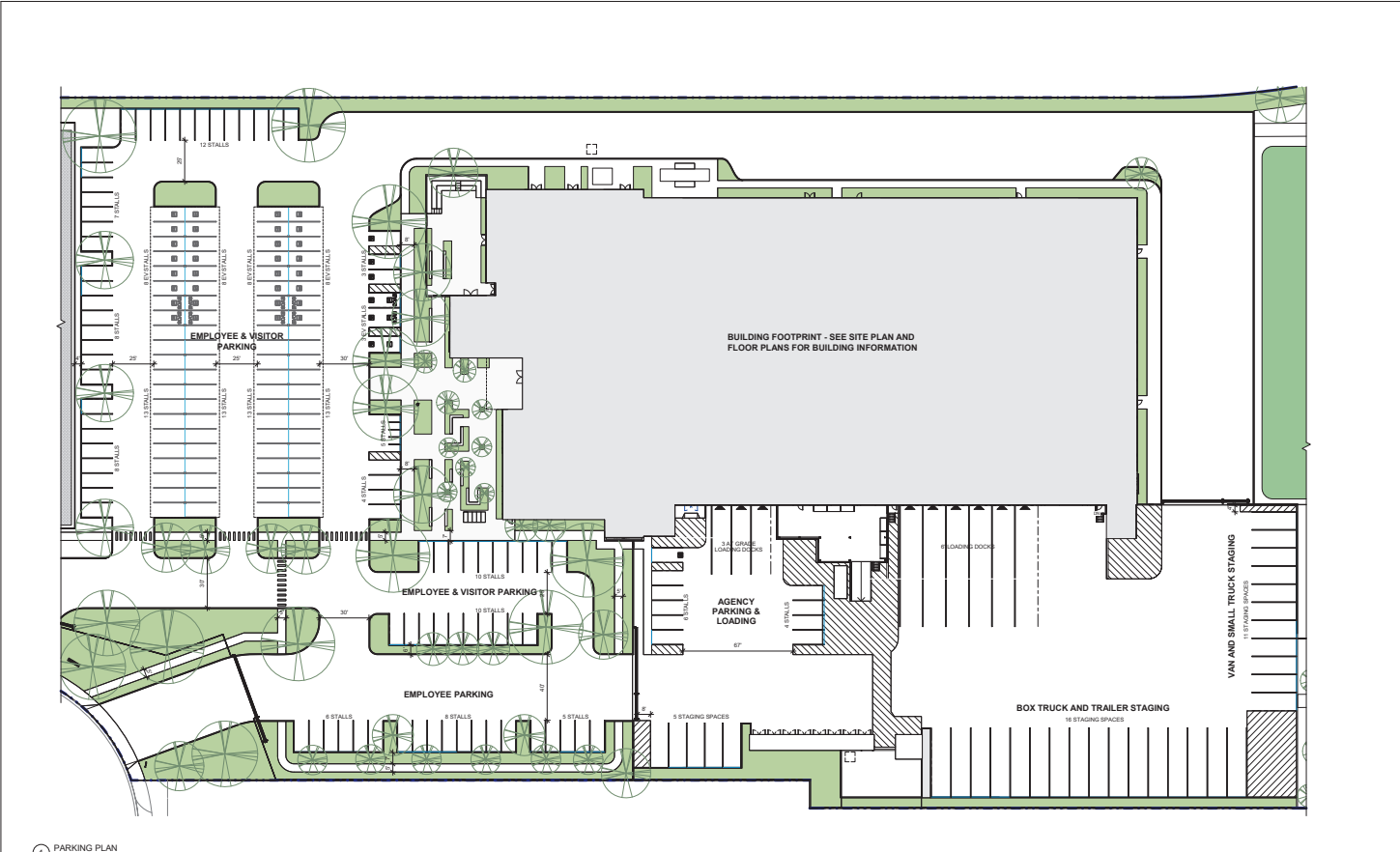
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**ISSUANCE RECORD**

10.11.20	00	PINNING SET
11.19.24	DAC	SUBMITTAL 1
02.21.25	DAC	RESUBMITTAL 1
05.22.25	PLD	000 PINNING
07.31.25	DAC	RESUBMITTAL 2

**REVISION RECORD**

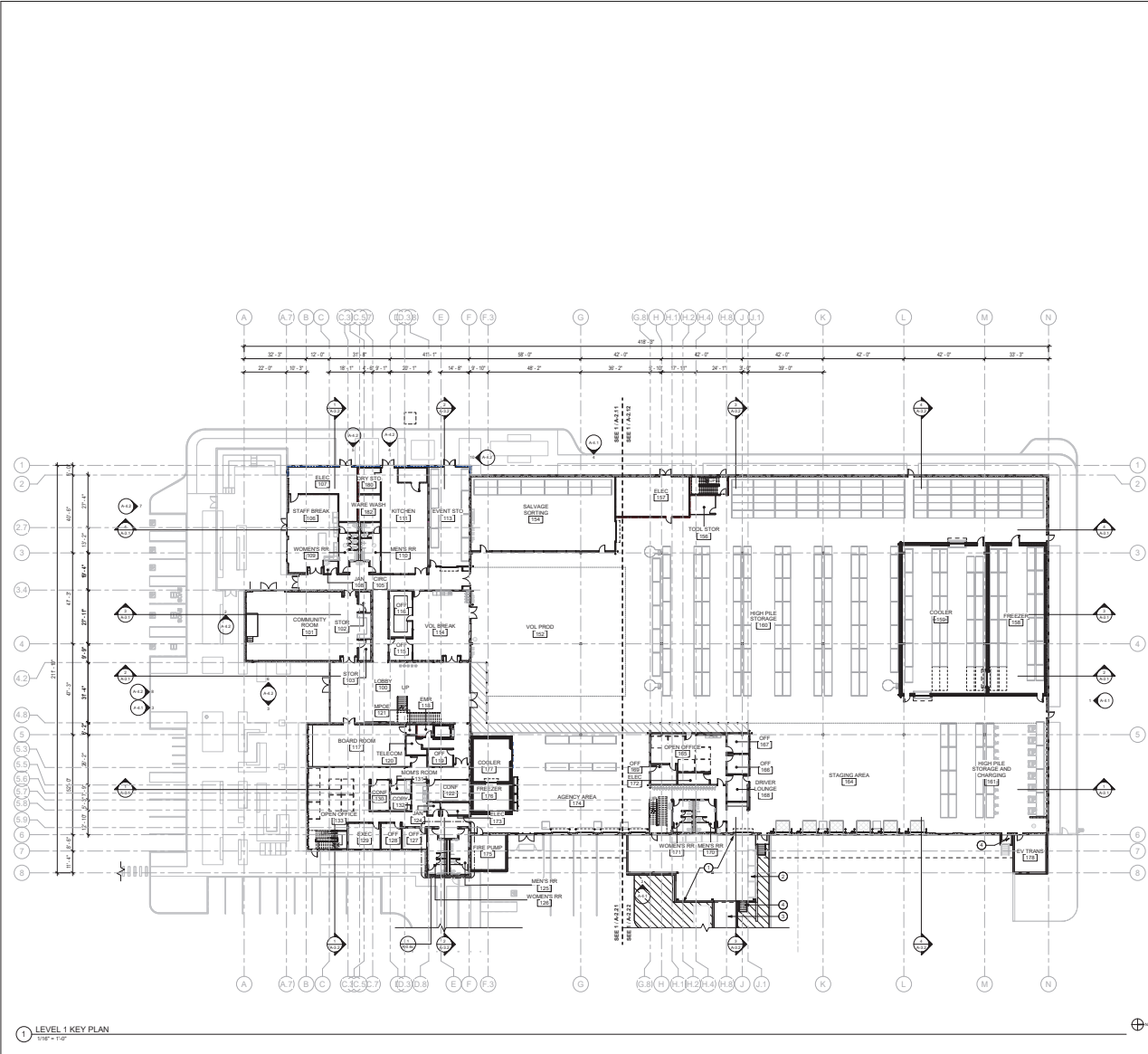
PL1	11.19.24	DAC	SUBMITTAL
PL2	02.21.25	DAC	SUBMITTAL REV. 1
PL3	07.31.25	DAC	SUBMITTAL REV. 2



1 PARKING PLAN  
1" = 20'

REQUIRED PARKING	PARKING SCHEDULE	LOADING & STAGING SCHEDULE	LEGEND																																										
<p><b>REQUIRED OFF-STREET PARKING PER CITY OF OXNARD:</b></p> <table border="1"> <tr><td>WAREHOUSE (8,313 SF TOTAL, INCL. COLD STORAGE)</td><td></td></tr> <tr><td>12,000</td><td>20</td></tr> <tr><td>14,000</td><td>20</td></tr> <tr><td>18,313 SF</td><td>30</td></tr> </table> <p><b>LIGHT INDUSTRIAL (COMMERCIAL KITCHEN &amp; SUPPORT AREAS)</b></p> <table border="1"> <tr><td>1500</td><td>9</td></tr> </table> <p><b>OFFICE</b></p> <table border="1"> <tr><td>1000</td><td>94</td></tr> </table> <p><b>TOTAL REQUIRED PARKING</b> 147</p>	WAREHOUSE (8,313 SF TOTAL, INCL. COLD STORAGE)		12,000	20	14,000	20	18,313 SF	30	1500	9	1000	94	<table border="1"> <thead> <tr><th>REQUIRED</th><th>PROVIDED</th></tr> </thead> <tbody> <tr><td>AUTOMOBILE PARKING</td><td>147</td></tr> <tr><td>MOTORCYCLE PARKING</td><td>5</td></tr> <tr><td>BIKE PARKING</td><td>5</td></tr> <tr><td>STANDARD ACCESSIBLE PARKING</td><td>5</td></tr> <tr><td>VAN ACCESSIBLE PARKING</td><td>1</td></tr> <tr><td>EV CAPABLE</td><td>35</td></tr> <tr><td>EV READY (EVCS PROVIDED)</td><td>9</td></tr> <tr><td>EVCS - STANDARD ACCESSIBLE</td><td>1</td></tr> <tr><td>EVCS - VAN ACCESSIBLE</td><td>1</td></tr> <tr><td>EVCS - AMBULATORY</td><td>1</td></tr> </tbody> </table>	REQUIRED	PROVIDED	AUTOMOBILE PARKING	147	MOTORCYCLE PARKING	5	BIKE PARKING	5	STANDARD ACCESSIBLE PARKING	5	VAN ACCESSIBLE PARKING	1	EV CAPABLE	35	EV READY (EVCS PROVIDED)	9	EVCS - STANDARD ACCESSIBLE	1	EVCS - VAN ACCESSIBLE	1	EVCS - AMBULATORY	1	<table border="1"> <thead> <tr><th>LOADING DOCK - 4' HIGH</th><th>STALLS</th></tr> </thead> <tbody> <tr><td>LOADING DOCK - GRADE LEVEL</td><td>2</td></tr> <tr><td>BOX TRUCK/TRAILER STAGING</td><td>16</td></tr> <tr><td>VAN/SMALL TRUCK STAGING</td><td>16</td></tr> </tbody> </table>	LOADING DOCK - 4' HIGH	STALLS	LOADING DOCK - GRADE LEVEL	2	BOX TRUCK/TRAILER STAGING	16	VAN/SMALL TRUCK STAGING	16	
WAREHOUSE (8,313 SF TOTAL, INCL. COLD STORAGE)																																													
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**DAC SUBMITTAL**



1 LEVEL 1 KEY PLAN  
1/8" = 1'-0"

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**GENERAL NOTES**

- A. PROJECT MUST MEET CALIFORNIA AND CANADIAN GREEN BUILDING REQUIREMENTS.
- B. CONTRACTOR RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- C. SEE OVER DRAWINGS (SD) FOR LOCATION AND SIZE OF UTILITY CONNECTIONS.
- D. PROJECT TO BE FULLY SPRINKLERED TO MEET IBC/ASD REQUIREMENTS, INCLUDING REQUIREMENTS FOR HIGH PILE STORAGE.
- E. SEE STRUCTURAL DRAWINGS (SDS) FOR STRUCTURAL SIZES.
- F. SEE MEP BASIS OF DESIGN (BOD) FOR GENERAL SCHEMATIC MEP SCOPE OF WORK.
- G. SEE PRICING MANUAL FOR GENERAL SCHEMATIC OUTLINE SPECIFICATIONS.

**SHEET NOTES**

- 1 COVERED YARD STORAGE AREA TO INCLUDE LEVEL SLAB ON GRADE, LOW HEIGHT BALLBEARING WALKS, AND STRUCTURED ROOF CANOPY.
- 2 OWNER PROVIDED OWNER RETALLED RACKING SYSTEMS, N.C.
- 3 CAST-IN-PLACE CONC HAMP DOWN TO YARD DRAINING, SEE SITE PLAN FOR EXTENT.
- 4 CAST-IN-PLACE CONC STAIR DOWN TO YARD DRAINING.

**LEGEND**

XXX XXXX	ROOM TAG
[Symbol]	ROOM TAG
[Symbol]	RAMP / STAIR / SLOPED WALKWAY TAG
[Symbol]	FLOOR TAG
[Symbol]	ROOF TAG
[Symbol]	WINDOW TAG NOT INCLUDED IN SD PRICING
[Symbol]	WALL TAG: SEE WALL TYPES ON SHEETS A.1 & A.2
[Symbol]	DOOR TAG: SEE DOOR SCHEDULE ON SHEET A.0.7
[Symbol]	1-HOUR RATED WALL
[Symbol]	3-HOUR RATED WALL
[Symbol]	COLD STORAGE INSULATED PANEL, N.C.



**FOOD SHARE**  
VENTURA COUNTY  
1425 WARNER DRIVE  
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**ISSUANCE RECORD**

NO.	DATE	DESCRIPTION
11	11.24.20	DAC SUBMITTAL 1
12	12.21.20	DAC SUBMITTAL 1
13	01.28.21	DAC SUBMITTAL 1
14	02.23.21	DAC SUBMITTAL 2

**REVISION RECORD**

NO.	DATE	DESCRIPTION
1	11.19.20	DAC SUBMITTAL
2	02.17.21	DAC SUBMITTAL REV. 1
3	07.31.21	DAC SUBMITTAL REV. 2

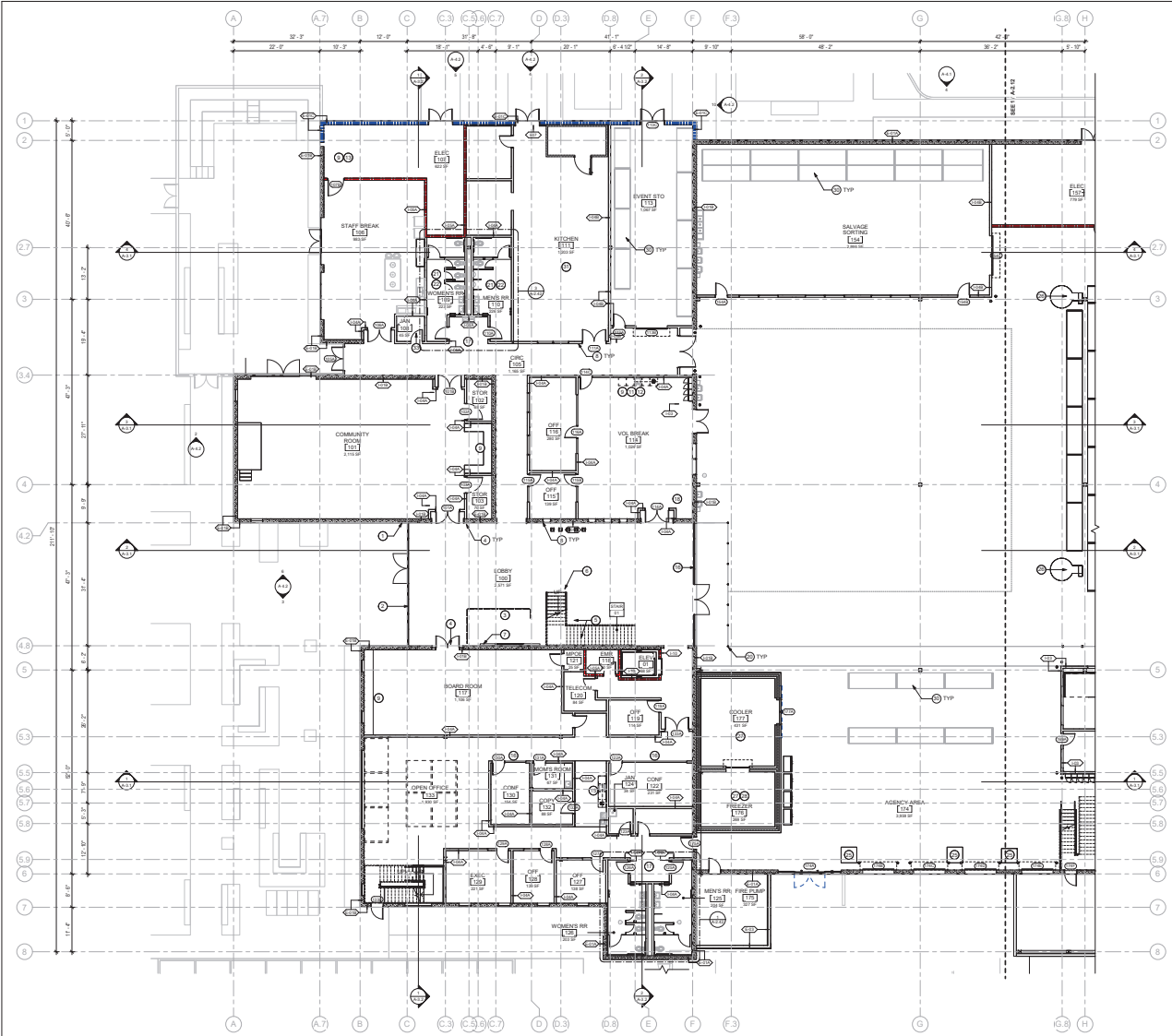
FOOD SHARE VENTURA COUNTY

Date: 7/31/21  
Scale: As Indicated  
Job #: 2302  
Rev# File: Y:\paw\2302Rev  
Author: J. Zuber

**DAC SUBMITTAL**

**KEY PLAN - LEVEL 1**

**A-2.10**



1 LEVEL 1 MATCHLINE PLANS - SOUTH  
1/8" = 1'-0"

**GENERAL NOTES**

- PROJECT MUST MEET CALIFORNIA AND OSNARD GREEN BUILDING REQUIREMENTS.
- CONTRACTOR RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- SEE CIVIL DRAWINGS (SD) FOR LOCATION AND SIZE OF UTILITY CONNECTIONS.
- PROJECT TO BE FULLY SPRINKLERED TO MEET NFPA 13 REQUIREMENTS, INCLUDING REQUIREMENTS FOR HIGH PILED STORAGE.
- SEE STRUCTURAL DRAWINGS (SD) FOR STRUCTURAL SIZES.
- SEE MEP BASIS OF DESIGN (BOD) FOR GENERAL SCHEMATIC TO MEP SCOPE OF WORK.
- SEE PRICING MANUAL FOR GENERAL SCHEMATIC OUTLINE SPECIFICATIONS.

**SHEET NOTES**

- KNICK BOX AT ENTRY
- INTERIOR ENTRY SYSTEM
- DESCRIPTION DECK: WOOD FRONT AND BEDE, SOLID SURFACE TOP
- WOOD PANEL FEATURE WALL
- WOOD BENCH SEATING AT STAIR W/ PTD STL BRACKET
- CONCRETE STAIRS PLINTH
- FOOD SHARE LOGO WALL
- INTERIOR ALUM STOREFRONT WINDOW, 3" FL FIXED
- WOOD VENEER CABINETS W/ SOLID SURFACE
- UPPER AND LOWER P LAM CABINETS W/ SOLID SURFACE TOP
- ADA COMPLIANT SINK W/ FILTERED HOT/ COLD WATER
- PROVIDE & INSTALL APPLIANCES AT VOLUNTEER BREAK ROOM: FULL SIZE REFRIGERATOR (REFRIG), MICROWAVE, (2) COFFEE MAKERS
- PROVIDE & INSTALL STANDARD KITCHEN SINK W/ GARBAGE DISPOSAL, FILTERED HOT/ COLD WATER, STANDARD DRAINAGE, ADA COMPLIANT KITCHEN SINK AND ADA COMPLIANT APPLIANCES
- PROVIDE & INSTALL 144" LAMINATE 4" STAFF BREAK ROOM (2) FULL SIZE CORNERBACK REFRIGERATORS W/ FREEZER, ELECTRIC RANGE, W/ DOMESTIC HOOD, (2) MICROWAVES, (4) COFFEE STATIONS W/ LAM UPPER AND LOWER CABINETS W/ SOLID SURFACE W/ BARE SINK W/ PTD TRIMMED HOT/ COLD WATER, WHITLINE CONNECTION PROVIDED FOR COFFEE MAKER, REFRIGERATOR
- INTERIOR ALUM STOREFRONT WINDOW, 3" FL FIXED
- LOW DRINKING FOUNTAIN W/ BOTTLE FILLER
- FINISH LOCKERS: POWDER COATED FINISH
- HIGH LOCKERS: POWDER COATED FINISH
- 3" DIA BOLLARDS, EMBEDDED IN CONC
- MENHOLIC TOILET PARTITIONS W/ INTEGRAL ST KIT, W/ DISPENSER, QUARTARY MARBLE RECEPTACLE & PAPER SEAT DISPENSER PROVIDE WALL MOUNTED SEAT ACCESSIBLE DISPENSER TRASH RECEPTACLE, FRAMED VANITY SHELF AND WALL MOUNT COAT HOOKS
- WALL HANGING TOILETS & URINALS (SHOWER COCKETS), WALL HANG LAVATORIES W/ SENSOR FAUCET & SOAP DISPENSER
- HYDRAULIC DOCK LEVELER & RT. SEE PROJECT MANUAL FOR BASE AND ALTERNATE OPTIONS
- EXTERIOR ELECTRICAL RECEPTACLES FOR SERVICE TRUCK PLUGS AT DOORS AND AT KNOCK OUT PANELS FUTURE DOORS AND FLUSH W/ CONC SLAB. PROVIDE UNDER SLAB & BULK CONNECTION
- 3" DIA FLOOR WRAPPING MACHINE, PROVIDE POWER & DATA
- COLD STORAGE UNIT, INC. PROVIDE POWER, CONDENSATE DRAINING, FIRE SPRINKLERS, STROBES AND EXT BONES. COORDINATE COLD STORAGE VENDOR THROUGHOUT INSTALLATION.
- PROVIDE RECESSED SLAB AT EACH FREEZER & COOLER FOR COLD STORAGE VENDOR INSULATION OR INSULATOR UNDER FLOOR HEATING SYSTEM. PROVIDE STRUCTURAL SLAB AND 1" CURBS AT EACH SIDE ALL INSUL PANEL WALLS
- PROVIDE DOOR PROTECTION AT ALL COLD STORAGE FOR LIFT ACCESS DOORS, 4" PTD STEEL LIPS FRAME AT SIDE AND TOP OF DOOR, RECESSED CONCRETE
- OWNER PROVIDED OWNER INSTALLED RACKING CONTRACTOR THROUGHOUT EQUIPMENT LIST
- KNICK OUT PANEL FOR FUTURE DOOR OPENING
- WASHER AND DRYER LOCATION, PROVIDE WATER AND ELECTRICAL SERVICE
- WALL PROTECTION RAIL 3/8" THICK PLATE STL, MIN 4" HORIZONTAL, 1/2" VERTICAL, 3/8" AND EPXY TO SLAB PANEL

**LEGEND**

XXX XXXX ROOM TAG  
XXX TAG ROOM TAG  
RAMP / STAIR / SLOPED WALKWAY TAG

**FLOOR TAG**  
ROOM TAG  
ROOM TAG NOT INCLUDED IN SD PRICING

**WALL TAG** SEE WALL TYPES OR SHEETS A.1, A.1.6, A.2

**DOOR TAG** SEE DOOR SCHEDULE OR SHEET A.0.7

1-HOUR RATED WALL  
3-HOUR RATED WALL  
COLD STORAGE INSULATED PANEL, NC

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**ISSUANCE RECORD**

10/11/24	SD PRICING SET
11/18/24	DAC SUBMITTAL 1
02/21/25	DAC RESUBMITTAL 1
04/23/25	DAC PRICING
07/31/25	DAC RESUBMITTAL 2

**REVISION RECORD**

PC1	11/18/24	DAC SUBMITTAL
PC2	02/21/25	DAC SUBMITTAL REV. 1
PC3	07/31/25	DAC SUBMITTAL REV. 2

FOOD SHARE VENTURA COUNTY

Date: 7/31/25  
Scale: As Indicated  
Sheet No: 2302  
Rev'd By: Yipaw/C232Rev  
Approved By: Author

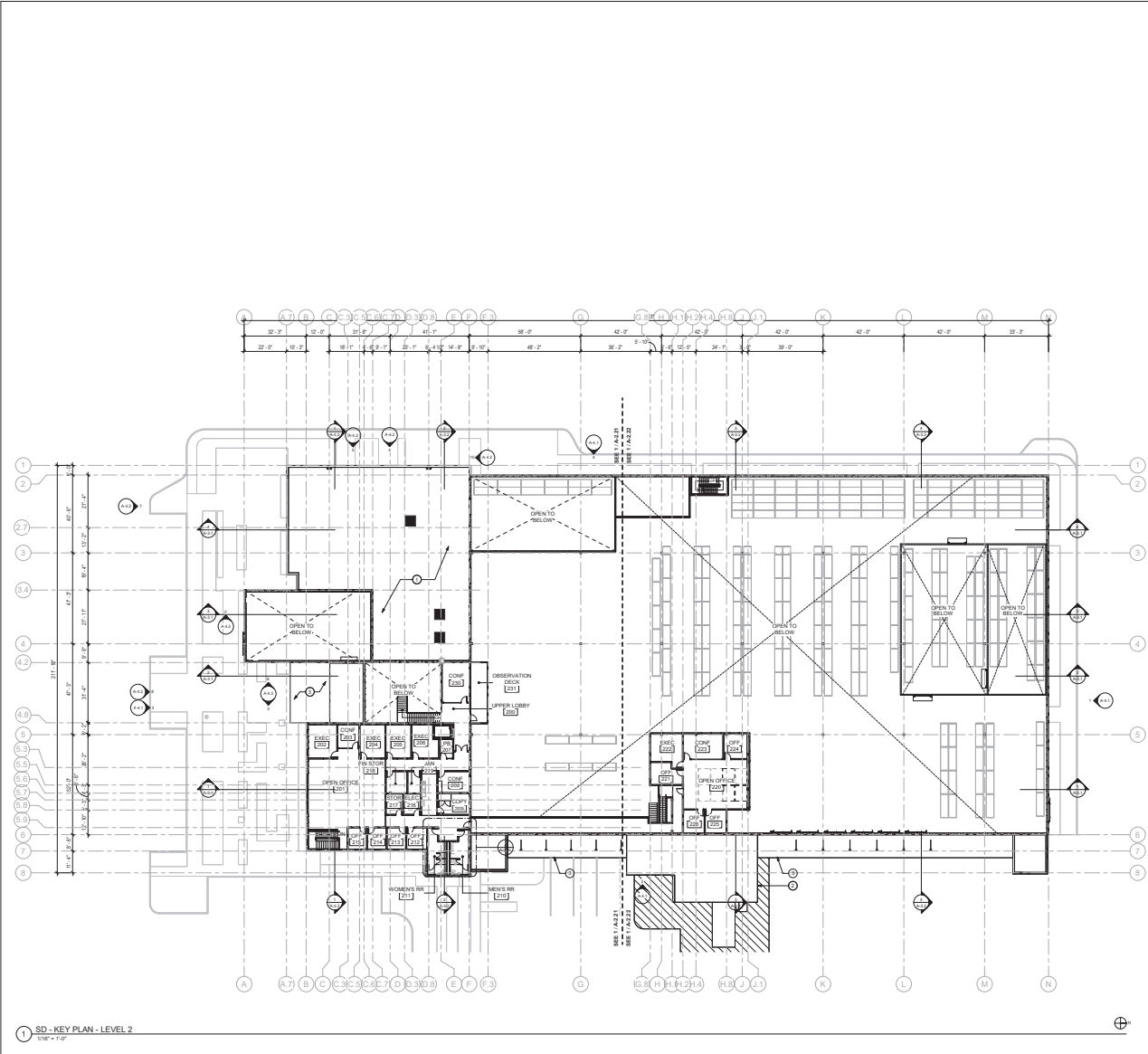
**DAC SUBMITTAL**

**LEVEL 1 MATCHLINE PLAN - SOUTH**

**A-2.11**

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**GENERAL NOTES**

- PROJECT MUST MEET CALIFORNIA AND CANADIAN GREEN BUILDING REQUIREMENTS.
- CONTRACTOR RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- SEE OVER DRAWINGS (SD) FOR LOCATION AND SIZE OF UTILITY CONNECTIONS.
- PROJECT TO BE FULLY SPRINKLERED TO MEET IBC/IFC REQUIREMENTS INCLUDING REQUIREMENTS FOR HIGH PRESS STORAGE REQUIREMENTS FOR STRUCTURAL SIZES.
- SEE STRUCTURAL DRAWINGS (SD) FOR STRUCTURAL SIZES.
- SEE MEP BASIS OF DESIGN (BOD) FOR GENERAL SCHEMATIC MEP SCOPE OF WORK.
- SEE PRICING MANUAL FOR GENERAL SCHEMATIC OUTLINE SPECIFICATIONS.

**SHEET NOTES**

- ① ROOF BELOW: SEE ROOF PLAN FOR ROOF INFORMATION
- ② ROOF CANOPY BELOW
- ③ AIRING BELOW

**LEGEND**

XXX XXXX (Room)	ROOM TAG
XXXX (Ramp)	RAMP / STAIR / SLOPED WALKWAY TAG
XXXX (Floor)	FLOOR TAG
XXXX (Window)	WINDOW TAG
XXXX (Door)	DOOR TAG SEE DOOR SCHEDULE ON SHEET A.0.7
XXXX (Wall)	1-HOUR RATED WALL
XXXX (Wall)	3-HOUR RATED WALL
XXXX (Panel)	COLD STORAGE INSULATED PANEL, NC

WALL TAG: SEE WALL TYPES ON SHEETS A.1 & A.2  
 WINDOW TAG: SEE WINDOW SCHEDULE ON SHEET A.0.7

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VENTURA COUNTY

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**ISSUANCE RECORD**

10.11.20	SD PRICING	SD
11.19.20	DAC SUBMITTAL	1
02.21.21	DAC SUBMITTAL	1
05.21.21	SD PRICING	1
07.31.21	DAC SUBMITTAL	2

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**REVISION RECORD**

PC1	11.19.20	DAC SUBMITTAL
PC2	02.21.21	DAC SUBMITTAL REV. 1
PC3	07.31.21	DAC SUBMITTAL REV. 2

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**FOOD SHARE VENTURA COUNTY**

Date: 7/31/23  
 Scale: As Indicated  
 Job #: 2302  
 Rev#: 1  
 Author: Yipeng Qian

**DAC SUBMITTAL**

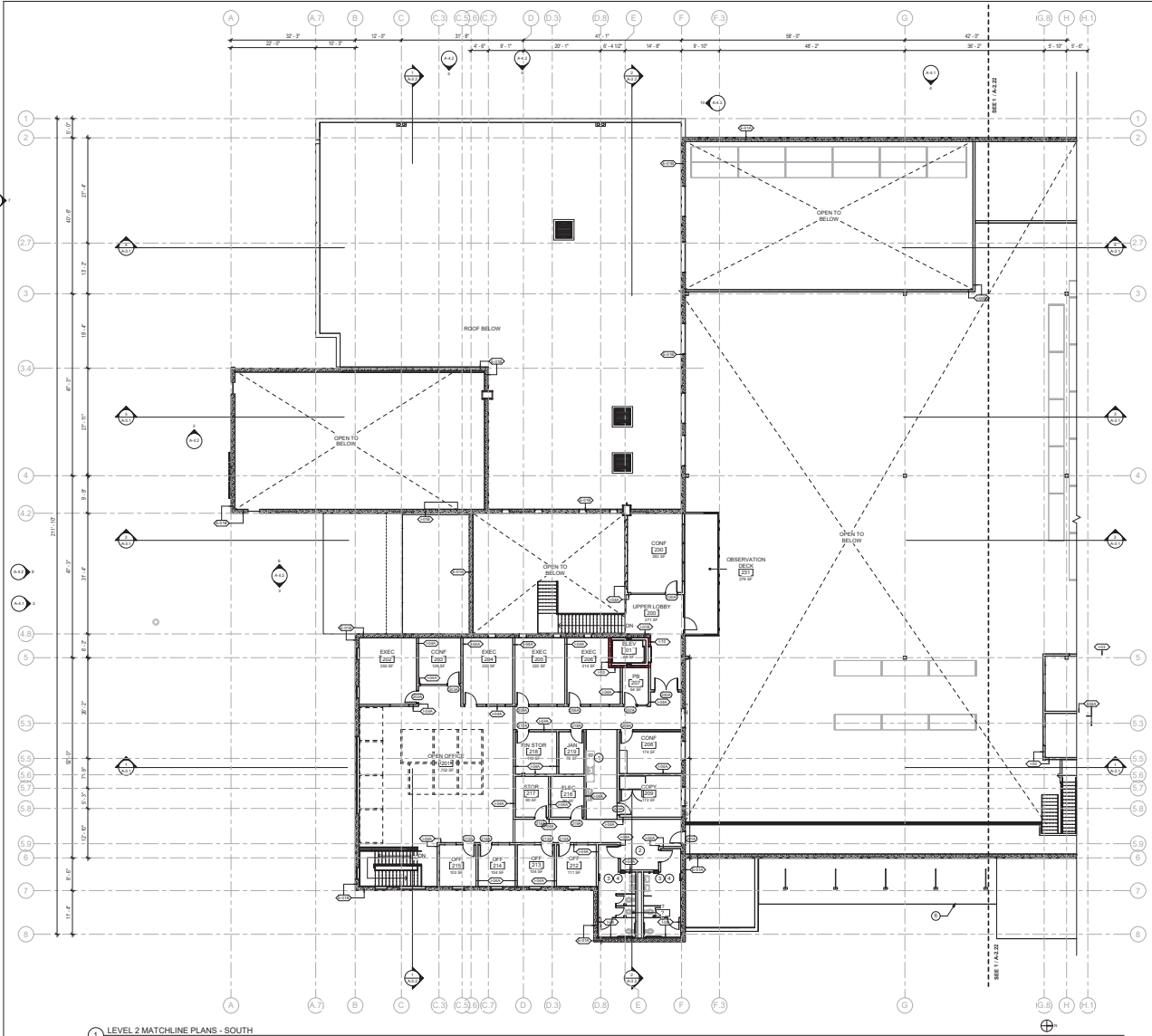
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**KEY PLAN - LEVEL 2**

**A-2.20**

1 SD - KEY PLAN - LEVEL 2  
1/8" = 1'-0"

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1 LEVEL 2 MATCHLINE PLANS - SOUTH  
1/8" = 1'-0"

**GENERAL NOTES**

- PROJECT MUST MEET CALIFORNIA AND CANADIAN GREEN BUILDING REQUIREMENTS.
- CONTRACTOR RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- SEE OVER DRAWINGS (SDS) FOR LOCATION AND SIZE OF UTILITY CONNECTIONS.
- PROJECT TO BE FULLY SPRINKLERED TO MEET NFPA-13 REQUIREMENTS, INCLUDING REQUIREMENTS FOR HIGH PILED STORAGE REQUIREMENTS.
- SEE STRUCTURAL DRAWINGS (SDS) FOR STRUCTURAL SIZES.
- SEE MEP BASIS OF DESIGN (BOD) FOR GENERAL SCHEDULE TO MEP SCOPE OF WORK.
- SEE PRICING MANUAL FOR GENERAL SCHEMATIC OUTLINE SPECIFICATIONS.

**SHEET NOTES**

- COFFEE STATION W/ FLAM UPPER AND LOWER CABINETS W/ SOLID SURFACE TOP, SHOWN W/ FILTERED HOT COLD WATER, WATER LINE CONNECTED TO POWERED COFFEE MAKER, REFRIGERATOR & INSTANT UNDERCOUNTER REFRIGERATOR.
- HIGH-LOW DRINKING FOUNTAIN W/ BOTTLE FILLER.
- METALLIC VOLET PARTITIONS W/ INTEGRAL ST. STL. TP DISPENSER, SANITARY NAPKIN DISPENSER & WASTE SEAT DISPENSER. PROVIDE WALL MTD GRAB BARS AT ACCESSIBLE COMPARTMENT. PROVIDE RECEIVED TO 65.1 FT DISPENSER TRAP-RECEIVABLE, FRAMED MIRROR AT VANITY AND FULL HT MIRROR AT STL. VANITY SINK AND WALL MTD CARRY HOOKS.
- WALL HUNG TOILETS & URINALS WHERE APPROPRIATE. SEWER LINES TO BE SIGNED FAUCET & SOAP DISPENSER.
- GARAGE OVER COVERED YARD STORAGE BELOW. DRAIN INLETS SHALL GRAVITY DRAIN TO THE DRAINAGE SYSTEM IN THE YARD AREA.
- RAMPING OVER LOADING DOCK BELOW. DRAIN INLETS SHALL GRAVITY DRAIN TO THE DRAINAGE SYSTEM IN THE YARD AREA.

**LEGEND**

XXX XXXX (Steel)	ROOM TAG
XXX (Steel)	RAMP / STAIR / SLOPED WALKWAY TAG
XXXX (Steel)	FLOOR TAG
XXXX (Steel)	ROOF TAG
XXXX (Steel)	WINDOW TAG
XXXX (Steel)	WALL TAG. SEE WALL TYPES ON SHEETS A.1 & A.2.
XXXX (Steel)	DOOR TAG. SEE DOOR SCHEDULE ON SHEET A.0.7.
XXXX (Steel)	1-HOUR RATED WALL
XXXX (Steel)	3-HOUR RATED WALL
XXXX (Steel)	COLD STORAGE INSULATED PANEL, NC

**ISSUANCE RECORD**

11/13/20	SD PRICING	SD
11/19/20	DAC SUBMITTAL	1
02/21/21	DAC RESUBMITTAL	1
04/22/21	SD PRICING	1
07/31/21	DAC RESUBMITTAL	2

**REVISION RECORD**

PC1	11/19/20	DAC SUBMITTAL
PC2	02/21/21	DAC SUBMITTAL REV. 1
PC3	07/31/21	DAC SUBMITTAL REV. 2

**FOOD SHARE VENTURA COUNTY**

Date: 7/31/22  
Scale: As Indicated 2/02  
Rev# File: V:\paw\0222\Rev#  
Approved By: Author

**DAC SUBMITTAL**

**LEVEL 2 MATCHLINE PLAN - SOUTH**

**A-2.21**

**FOOD SHARE**  
VENTURA COUNTY

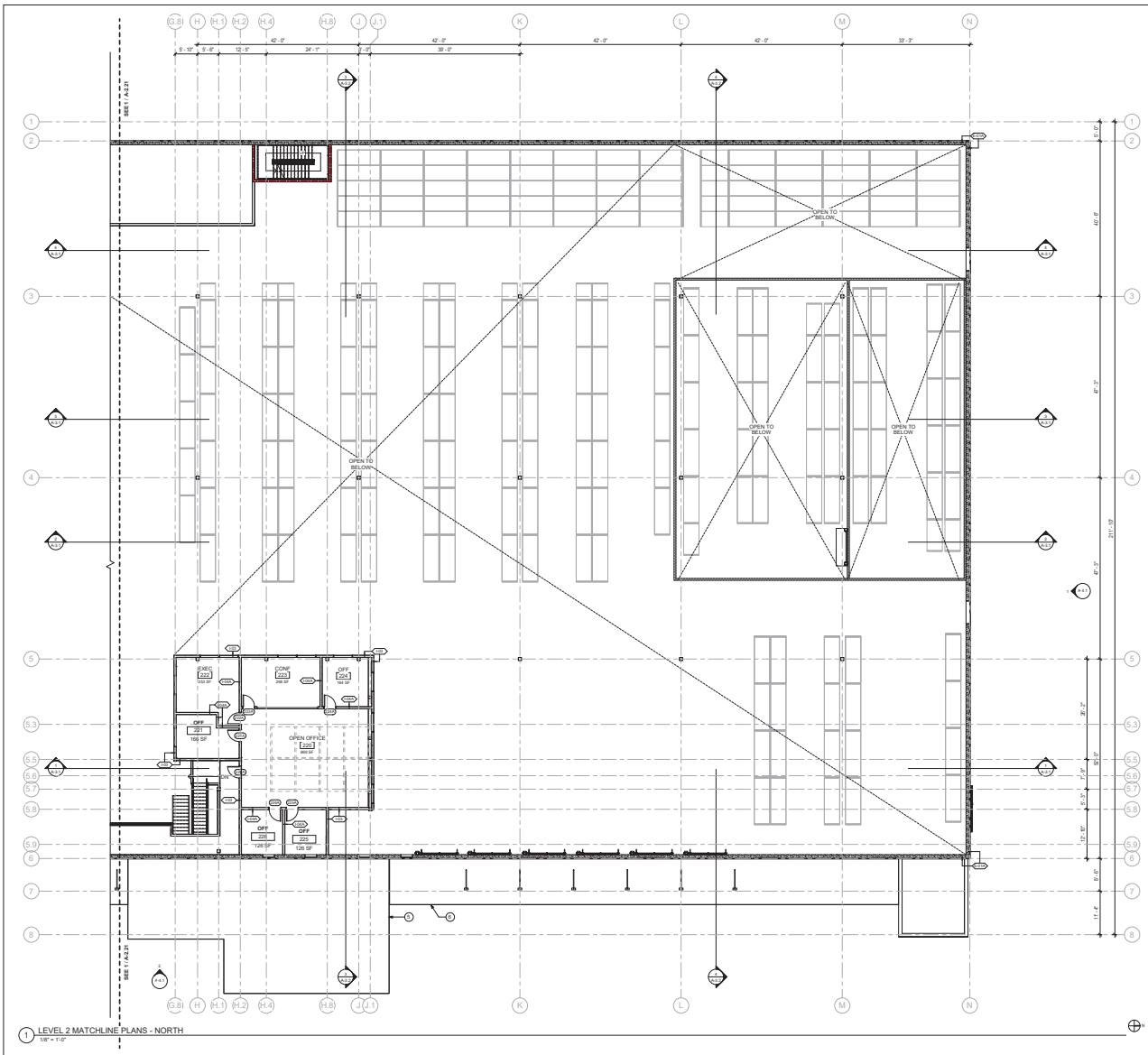
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1425 WARNER DRIVE  
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**GENERAL NOTES**

- PROJECT MUST MEET CALIFORNIA AND OSNARD GREEN BUILDING REQUIREMENTS.
- CONTRACTOR RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- SEE OWN DRAWINGS (SD) FOR LOCATION AND SIZE OF UTILITY CONNECTIONS.
- PROJECT TO BE FULLY SPRINKLERED TO MEET IBC/ASD REQUIREMENTS, INCLUDING STORAGE REQUIREMENTS FOR HIGH-PRESSURE STORAGE STRUCTURAL SIZES.
- SEE STRUCTURAL DRAWINGS (SD) FOR STRUCTURAL SIZES.
- SEE MEP BASIS OF DESIGN (BOD) FOR GENERAL SCHEDULE TO MEP SCOPE OF WORK.
- SEE PRICING MANUAL FOR GENERAL SCHEMATIC OUTLINE SPECIFICATIONS.

**SHEET NOTES**

- COFFEE STATION W/ F LAM UPPER AND LOWER CASKETS IN GOLD SERVICE TON. SINK W/ FILTERED HOT/COLD WATER. WATER LINE CONNECTION PROVIDED FOR COFFEE MAKER, REFRIGERATOR & METAL DISHWASHER.
- HIGH LOW SPRINKLING HOUSTON W/BOTTLE FILLER.
- PHENOLIC TOILET PARTITIONS W/ INTEGRAL ST STL TP DISPENSER SANITARY NAPIN RECEPTACLE & WASTE SEAL DISPENSER. PROVIDE WALL MTD CRAB BARS AT ACCESSIBLE COMPARTMENT. PROVIDE RECEIVED ST STL PFT DISPENSER TRASH RECEPTACLE, FRAMED MIRROR AT VANITY AND FULL HT MIRROR AT STL VANITY SINK AND WALL MTD CRAB BAR.
- WALL HUNG TOILETS & URINALS WHERE APPLICABLE. PROVIDE LAVatories IN REAR FAUCET & SOAP DISPENSER.
- LOADING OVER COVERED YARD STORAGE BELOW. DRAIN INLETS SHALL GRAVITY DRAIN TO THE DRAINAGE SYSTEM IN THE YARD AREA.
- RAINING OVER LOADING DOCK BELOW. DRAIN INLETS SHALL GRAVITY DRAIN TO THE DRAINAGE SYSTEM IN THE YARD AREA.

**LEGEND**

XXX XXXX (Level)	ROOM TAG
XXXX (Level)	RAMP / STAIR / SLOPED WALKWAY TAG
XXXX (Level)	FLOOR TAG
XXXX (Level)	ROOF TAG
XXXX (Level)	WINDOW TAG (NOT INCLUDED IN SD PRICING)
XXXX (Level)	WALL TAG (SEE WALL TYPES ON SHEETS A.1 & A.2.7)
XXXX (Level)	DOOR TAG (SEE DOOR SCHEDULE ON SHEET A.0.7)
XXXX (Level)	1-HOUR RATED WALL
XXXX (Level)	3-HOUR RATED WALL
XXXX (Level)	COLD STORAGE INSULATED PANEL, NC

**ISSUANCE RECORD**

10.13.20	DAC PRICING	001
11.10.20	DAC SUBMITTAL	1
02.21.21	DAC SUBMITTAL	1
04.22.21	DAC PRICING	1
07.31.21	DAC SUBMITTAL	2

**REVISION RECORD**

PC1	11.10.20	DAC SUBMITTAL
PC2	02.21.21	DAC SUBMITTAL
PC3	07.31.21	DAC SUBMITTAL

**FOOD SHARE VENTURA COUNTY**

Date: 7/31/22  
Scale: As Indicated  
JOB #: 2302  
Rev'd File: Y:\plan\2302\Rev  
Author:   
**DAC SUBMITTAL**

**LEVEL 2 MATCHLINE PLAN - NORTH**

**A-2.22**

**FOOD SHARE**  
VENTURA COUNTY

**FOOD SHARE VENTURA COUNTY**  
1425 WARNER DRIVE  
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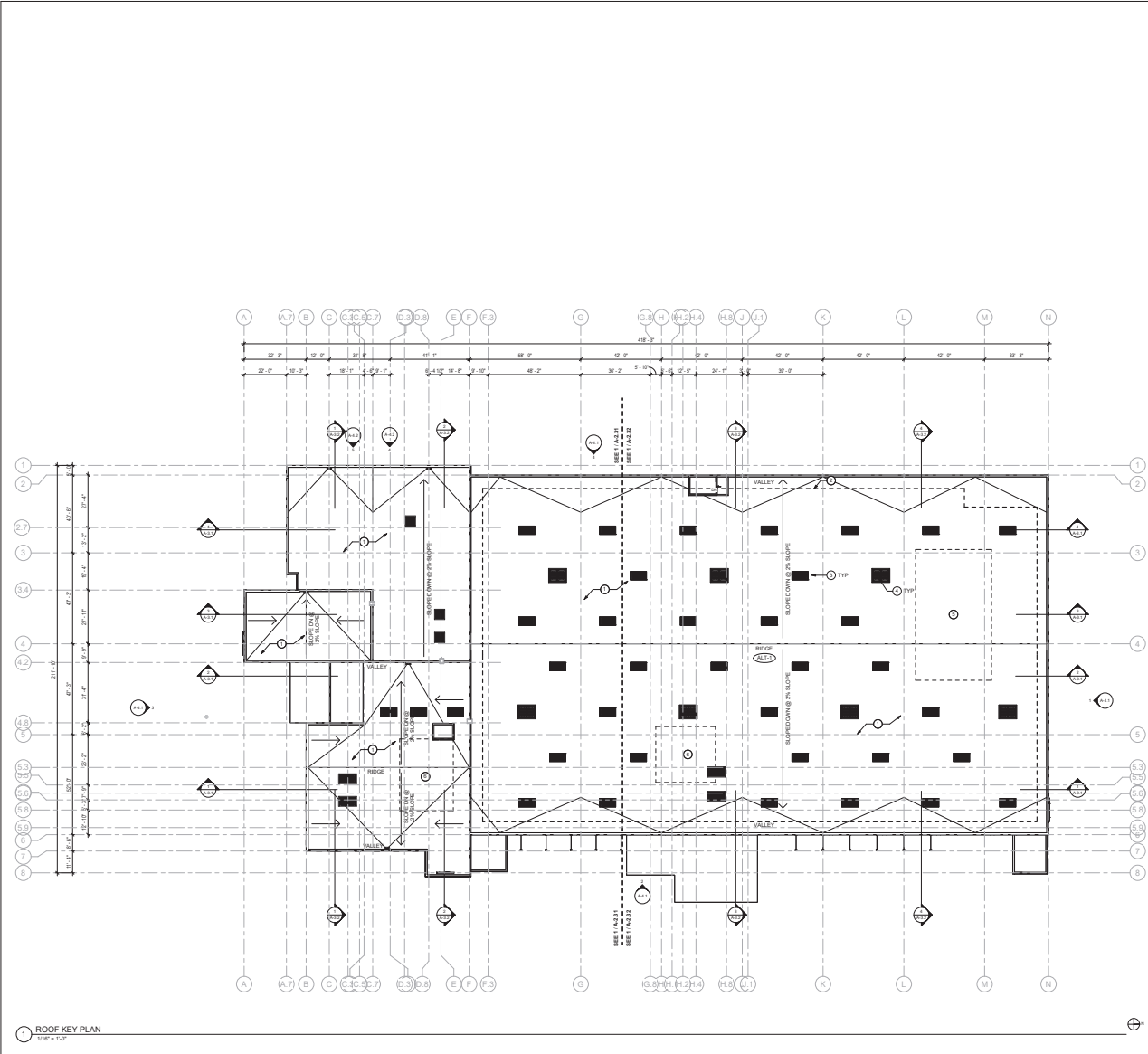
**FOOD SHARE VENTURA COUNTY**

Date: 7/31/22  
Scale: As Indicated  
JOB #: 2302  
Rev'd File: Y:\plan\2302\Rev  
Author:   
**DAC SUBMITTAL**

**LEVEL 2 MATCHLINE PLAN - NORTH**

**A-2.22**

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**GENERAL NOTES**

- A. PROJECT MUST MEET CALIFORNIA AND CANADIAN GREEN BUILDING REQUIREMENTS.
- B. CONTRACTOR RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- C. SEE CIVIL DRAWINGS (S20) FOR LOCATION AND SIZE OF UTILITY CONNECTIONS.
- D. PROJECT TO BE FULLY SPRINKLERED TO MEET NFPA-13 REQUIREMENTS, INCLUDING REQUIREMENTS FOR HIGH PRESSURE STORAGE.
- E. SEE STRUCTURAL DRAWINGS (S25) FOR STRUCTURAL SIZES.
- F. SEE MEP BASIS OF DESIGN (BOD) FOR GENERAL SCHEMATIC MEP SCOPE OF WORK.
- G. SEE PRICING MANUAL FOR GENERAL SCHEMATIC OUTLINE SPECIFICATIONS.

**SHEET NOTES**

- 1 ROOF: ROOF MEMBRANE, INSULATION AND METAL FLASHING; RAISED OPEN WEB JOISTS; S20 OR STRUCTURE 8" P
- 2 SOLAR ZONE (EXACT SOLAR PLACEMENT TBD)
- 3 TYP TRANSLUCENT, INSULATED INDUSTRIAL POLYCARBONATE SKYLIGHT (MIL CLUMP MOUNTED); SUNOPTICS SIGNATURE SERIES OR EQ
- 4 SMOKE AND HEAT VENT: TRANSLUCENT
- 5 REFRIGERATOR EQUIPMENT
- 6 MEP EQUIPMENT



**FOOD SHARE VENTURA COUNTY**  
1425 WARNER DRIVE  
OXNARD, CA 93033

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**ISSUANCE RECORD**

NO.	DATE	DESCRIPTION
01	11/13/24	ISSUED FOR PERMITS
02	11/13/24	DAC SUBMITTAL 1
03	01/21/25	DAC SUBMITTAL 1
04	02/12/25	ISSUED FOR PERMITS
05	07/31/25	DAC SUBMITTAL 2

**REVISION RECORD**

NO.	DATE	DESCRIPTION
01	11/13/24	DAC SUBMITTAL
02	01/21/25	DAC SUBMITTAL REV. 1
03	07/31/25	DAC SUBMITTAL REV. 2

**LEGEND**

- XXX XXXX ROOM TAG
- XXXXXXX RAMP / STAIR / SLOPED WALKWAY TAG
- XXXXXXX WINDOW TAG
- XXXXXXX FLOOR TAG
- XXXXXXX DOOR TAG
- XXXXXXX WALL TAG
- XXXXXXX 1-HOUR RATED WALL
- XXXXXXX 3-HOUR RATED WALL
- XXXXXXX COLD STORAGE INSULATED PANEL, NC

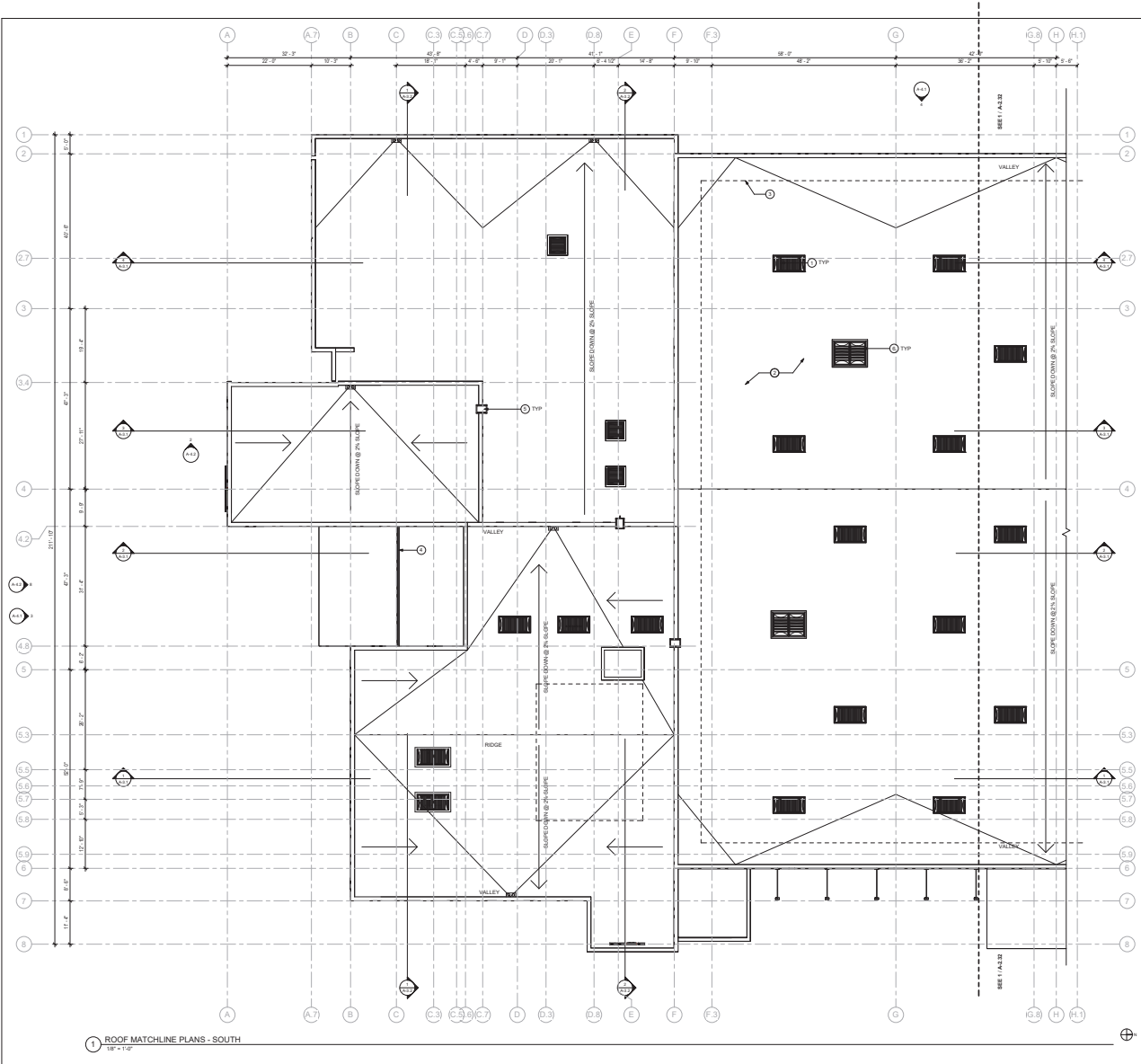
FOOD SHARE VENTURA COUNTY

Date: 7/31/25  
Scale: As Indicated  
Job #: 2302  
Rev# File: Y:\paw\2302\Rev#  
Approved By: Author

**DAC SUBMITTAL**

**ROOF KEY PLAN**

**A-2.30**



**GENERAL NOTES**

- PROJECT MUST MEET CALIFORNIA AND CANADIAN GREEN BUILDING REQUIREMENTS.
- CONTRACTOR RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- SEE CIVIL DRAWINGS (SD) FOR LOCATION AND SIZE OF UTILITY CONNECTIONS.
- PROJECT TO BE FULLY SPRINKLERED TO MEET IBC/ASD REQUIREMENTS, INCLUDING REQUIREMENTS FOR HIGH PILED STORAGE.
- SEE STRUCTURAL DRAWINGS (SD) FOR STRUCTURAL SIZES.
- SEE MEP BASIS OF DESIGN (BOD) FOR GENERAL SCHEDULE TO MEP SCOPE OF WORK.
- SEE PRICING MANUAL FOR GENERAL SCHEMATIC OUTLINE SPECIFICATIONS.

**SHEET NOTES**

- FOR TRANSLUCENT, REGULATED INDUSTRIAL POLYCARBONATE SKYLIGHT PANELS, SEE SCHEDULE: SKYLIGHTS SIGNATURE SERIES OR SOL.
- PHOTOVOLTAIC (PV) ROOF MEMBRANE.
- SOLAR ZONE (EXACT SOLAR PLACEMENT TAG).
- FALL PROTECTION RAILING.
- ROOF ACCESS LADDER.
- SMOKE AND HEAT VENT, TRANSLUCENT.

**LEGEND**

XXX XXXX	ROOM TAG
XXX OVER	RAMP / STAIR / SLOPED WALKWAY TAG
XXX	FLOOR TAG
XXX	ROOF TAG
XXX	WINDOW TAG
XXX	NOT INCLUDED IN SD PRICING
XXX	WALL TAG. SEE WALL TYPES ON SHEETS A.1 & A.2
XXX	DOOR TAG. SEE DOOR SCHEDULE ON SHEET A.0.7
XXX	1-HOUR RATED WALL
XXX	3-HOUR RATED WALL
XXX	COLD STORAGE INSULATED PANEL, INC.

**FOOD SHARE**  
VENTURA COUNTY

**FOOD SHARE VENTURA COUNTY**  
1425 MARINER DRIVE  
OXNARD, CA 93033

**Jackson Liles ARCHITECTURE**

220 Third Street #205  
San Francisco, CA 94107  
Tel: 415.521.1799  
www.jacksonliles.com

**ISSUANCE RECORD**

00.11.20	SD PRICING	SD
11.10.24	DAC SUBMITTAL	1
09.21.25	DAC SUBMITTAL	1
08.22.25	SD PRICING	1
07.31.25	DAC SUBMITTAL	2

**REVISION RECORD**

PL1	11.10.24	DAC SUBMITTAL
PL2	09.21.25	DAC SUBMITTAL REV. 1
PL3	07.31.25	DAC SUBMITTAL REV. 2

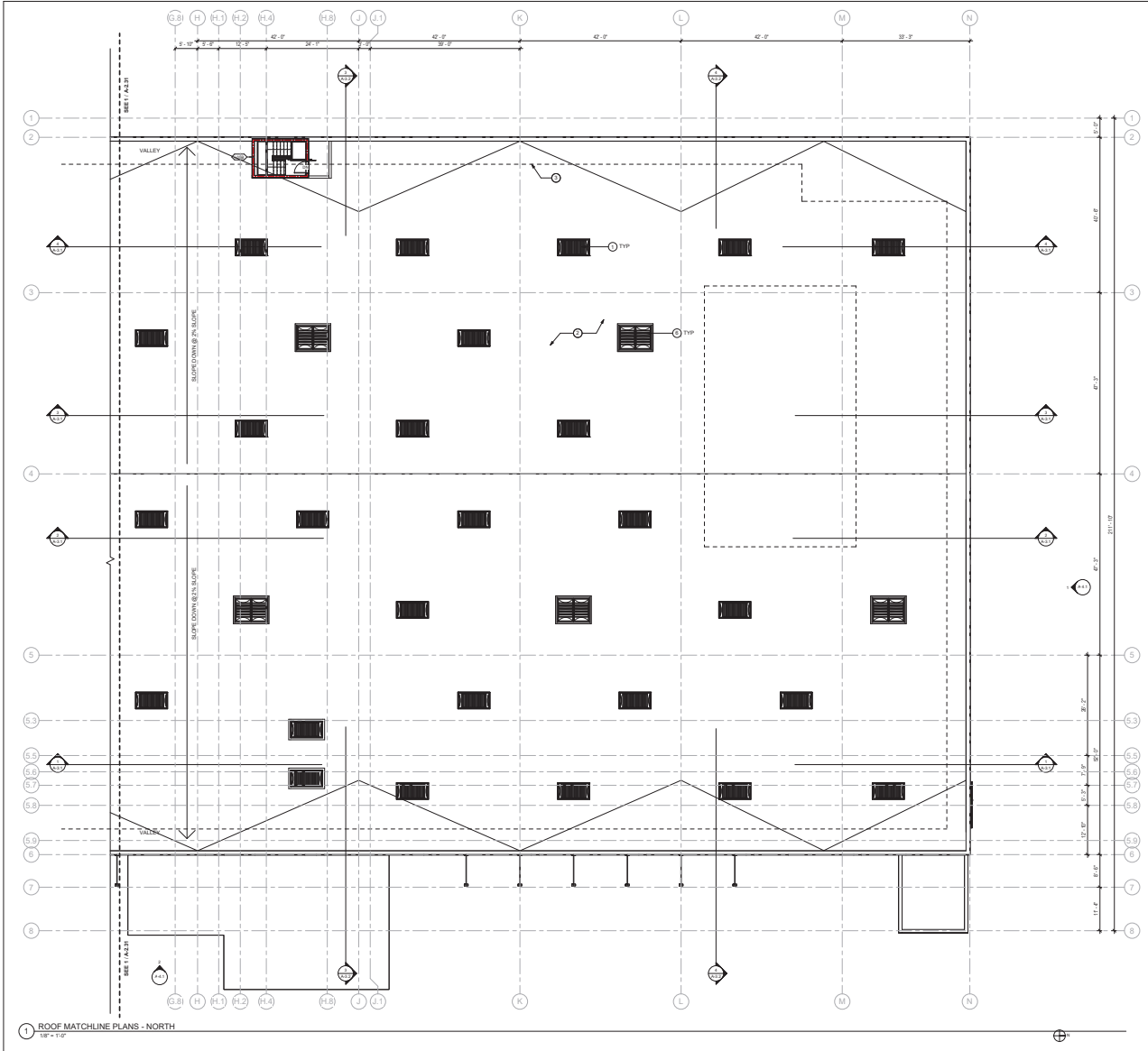
FOOD SHARE VENTURA COUNTY  
Date: 7/31/25  
Scale: As Indicated  
JOB# 2302  
Rev# File: Y:\paw\2302\Rev#  
Approved By: Author

**DAC SUBMITTAL**

**ROOF MATCHLINE PLAN - SOUTH**

**A-2.31**

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**GENERAL NOTES**

- A. PROJECT MUST MEET CALIFORNIA AND CANADIAN GREEN BUILDING REQUIREMENTS.
- B. CONTRACTOR RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- C. SEE OVER DRAWINGS (SD) FOR LOCATION AND SIZE OF UTILITY CONNECTIONS.
- D. PROJECT TO BE FULLY SPRINKLERED TO MEET IBC/IFC REQUIREMENTS. INCLUDE REQUIREMENTS FOR HIGH PILED STORAGE.
- E. SEE STRUCTURAL DRAWINGS (SDS) FOR STRUCTURAL SIZES.
- F. SEE MEP BASIS OF DESIGN (BOD) FOR GENERAL SCHEDULE TO MEP SCOPE OF WORK.
- G. SEE PRICING MANUAL FOR GENERAL SCHEMATIC OUTLINE SPECIFICATIONS.

**SHEET NOTES**

- 1. FOR TRANSLUCENT, INSULATED INDUSTRIAL POLYCARBONATE SPRINKLER CURB MOUNTED, SUNOPTICS SIGNATURE SERIES OR SOL.
- 2. SOLAR ZONE (EXACT SOLAR PLACEMENT TAG).
- 3. FALL PROTECTION RAILING.
- 4. ROOF ACCESS LADDER.
- 5. SMKE AND HEAT VENT, TRANSLUCENT.



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OXNARD, CA 93033

**Jackson Liles ARCHITECTURE**

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San Francisco, CA 94107  
Tel: 415.521.1759

www.jacksonliles.com

**ISSUANCE RECORD**

10.11.20	SD PRICING	SD1
11.10.24	DAC SUBMITTAL	1
05.21.25	DAC RESUBMITTAL	1
06.12.25	SD PRICING	1
07.31.25	DAC RESUBMITTAL	2

**REVISION RECORD**

PC1	11.10.24	DAC SUBMITTAL
PC2	05.21.25	DAC SUBMITTAL REV. 1
PC3	07.31.25	DAC SUBMITTAL REV. 2

**LEGEND**

- ROOM TAG
- RAMP / STAIR / SLOPED WALKWAY TAG
- FLOOR TAG
- ROOF TAG
- WINDOW TAG (NOT INCLUDED IN SD PRICING)
- WALL TAG (SEE WALL TYPES ON SHEETS A.8.1 & A.8.2)
- DOOR TAG (SEE DOOR SCHEDULE ON SHEET A.8.7)
- 1-HOUR RATED WALL
- 3-HOUR RATED WALL
- COLD STORAGE INSULATED PANEL, NC

FOOD SHARE VENTURA COUNTY

Date: 7/31/25  
Scale: As Indicated  
Job #: 2302  
Rev'd File: Y:\paw\2302\Rev1  
Approved By: Author

**DAC SUBMITTAL**

**ROOF MATCHLINE PLAN - NORTH**

**A-2.32**

1. ROOF MATCHLINE PLANS - NORTH  
1/8" = 1'-0"

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**GENERAL NOTES**

- PROJECT MUST MEET CALIFORNIA AND CANADIAN GREEN BUILDING REQUIREMENTS.
- CONTRACTOR RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- SEE OVER DRAWINGS (SD) FOR LOCATION AND SIZE OF UTILITY CONNECTIONS.
- PROJECT TO BE FULLY SPRINKLERED TO MEET NFPA-101 REQUIREMENTS, INCLUDING REQUIREMENTS FOR HIGH PILE STORAGE.
- SEE STRUCTURAL DRAWINGS (SD) FOR STRUCTURAL SIZES.
- SEE MEP BASIS OF DESIGN (BOD) FOR GENERAL REQUIREMENTS TO MEP SCOPE OF WORK.
- SEE PRICING MANUAL FOR GENERAL SCHEMATIC OUTLINE SPECIFICATIONS.

**SHEET NOTES**

- ROOF: ROOF MEMBRANE, INSULATION AND METAL FLASHING OVER OPEN VEE JOISTS. SEE SD FOR STRUCTURE INFO.
- CONCRETE SLAB ON GRADE. SSD
- DOCK LEVELER. PROVIDE DOCK LEVELER FIT PER STRUCTURAL DRAWINGS.
- EXTEND ALL WALLS TO FLOOR OR ROOF ABOVE FOR ACOUSTIC PURPOSES. SEE WALL TYPES ON SHEET A-24.
- REAR: REAR COOLER/FREEZER. DEPRESS SLAB ON GRADE IN THIS AREA FOR INSULATION AND FINISH FLOOR. SSD
- METAL STAR. UNENCLOSED.
- METAL STAR ON CONCRETE FLOOR. SEE FLOOR PLANS FOR CONCEPTUAL PLUMBING LAYOUT.
- VERTICAL SPLIT DOOR AT 4' HIGH DOCK.
- OVERHEAD COILING DOOR.
- BYE/BRIGHT AND/OR SMOKE HEAT VENT. SEE ROOF PLAN FOR LOCATIONS.
- INTERIOR VISION WINDOW.
- RACKING NOT IN SCOPE. DO NOT USE RACKING BROOMS FOR PRICING.
- EXTERIOR WINDOWS. SEE ELEVATIONS FOR ADDITIONAL INFORMATION.
- CONC SIDEWALK AND CURB.
- OUTDOOR AMENITY AREA. SEE LANDSCAPE DRAWINGS.
- REFRIGERATOR EQUIPMENT FOR LARGE COOLER/FREEZER TO BE LOCATED ON THE ROOF.
- PROVIDE ACOUSTIC CEILING TILE WHERE SHOWN. USG.
- ACOUSTIC CLOUD CEILING IN COMMUNITY ROOM.
- PREMIUM ACOUSTIC CEILING IN LOBBY. SEE PROJECT MANUAL FOR MATERIAL INFORMATION.
- NOT USED.
- NOT USED.
- STOREFRONT CURTAIN WALL GLAZING.
- EXTERIOR CANOPY TO BE FULLY FINISHED. PROVIDE CLEAR BOARD WOOD SOFFIT. SEE SD FOR STRUCTURAL INFORMATION.
- NOT USED.

**FOOD SHARE**  
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1425 WARNER DRIVE  
OXNARD, CA 93033

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San Francisco, CA 94107  
Tel: 415.521.1799

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**ISSUANCE RECORD**

NO. 11.26.20	SD PRICING: BSL
NO. 11.26.20	DAC SUBMITTAL 1
NO. 21.25.20	DAC SUBMITTAL 1
NO. 21.25.20	SD PRICING
NO. 31.25.20	DAC SUBMITTAL 2

**REVISION RECORD**

REV. 1	11.26.20	DAC SUBMITTAL
REV. 2	01.21.20	DAC SUBMITTAL REV. 1
REV. 3	07.31.20	DAC SUBMITTAL REV. 2

FOOD SHARE VENTURA COUNTY

Date: 7/31/23

Scale: As Indicated

Job #: 2302

Rev# File: Vjshn0232Rev

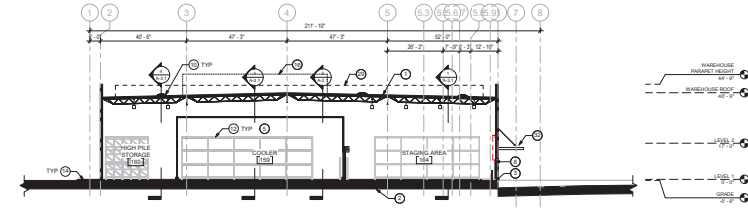
Approved By: Author

**DAC SUBMITTAL**

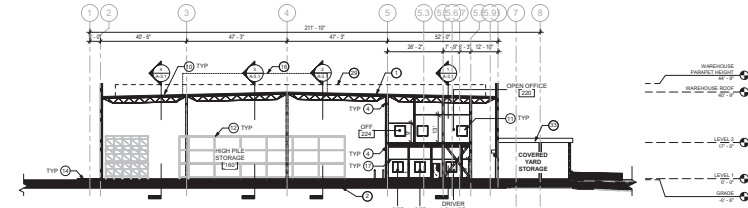
**BUILDING SECTIONS**

**A-3.1**

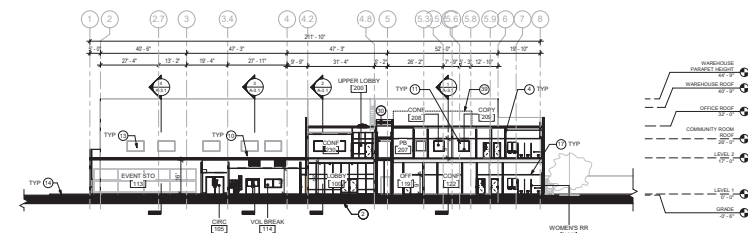
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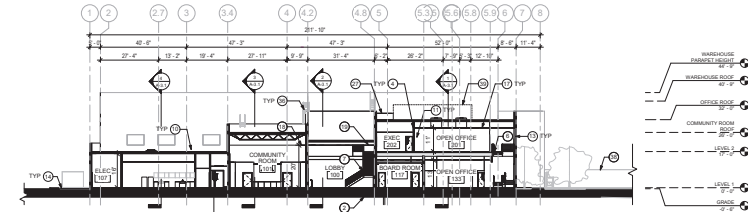
4 TRANSVERSE SECTION  
T10' x T10'



3 TRANSVERSE SECTION  
T10' x T10'



2 TRANSVERSE SECTION  
T10' x T10'



1 TRANSVERSE SECTION  
T10' x T10'

**GENERAL NOTES**

- PROJECT MUST MEET CALIFORNIA AND CANADIAN GREEN BUILDING REQUIREMENTS.
- CONTRACTOR RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- SEE OVER DRAWINGS (SD) FOR LOCATION AND SIZE OF UTILITY CONNECTIONS.
- PROJECT TO BE FULLY SPRINKLERED TO MEET NFPA-13 REQUIREMENTS INCLUDING REQUIREMENTS FOR HIGH PILED STORAGE.
- SEE STRUCTURAL DRAWINGS (SD) FOR STRUCTURAL SIZES.
- SEE MEP BASIS OF DESIGN (BOD) FOR GENERAL SCHEMATIC TO MEP SCOPE OF WORK.
- SEE PRICING MANUAL FOR GENERAL SCHEMATIC OUTLINE SPECIFICATIONS.

**SHEET NOTES**

- ROOF: ROOF MEMBRANE, INSULATION AND METAL CEILING OVER OPEN VES. JOISTS. SSD FOR STRUCTURE INFO.
- CONCRETE SLAB ON GRADE. SSD
- DOCK LEVELER. PROVIDE DOCK LEVELER FIT FOR STRUCTURAL DRAWINGS.
- EXTEND ALL WALLS TO FLOOR ON ROOF ABOVE FOR ACUSTIC PURPOSES. SEE WALL TYPES ON SHEET A-3.14.
- WALKER COLE PRESSUREZ. DEPRESS SLAB ON GRADE IN THIS AREA FOR INSULATION AND THERM SLAB. SSD.
- METAL STAR. UNENCLOSED
- METAL STAR ON CONCRETE FLOOR. SEE FLOOR PLANS FOR CONCEPTUAL PLUMB LAYOUT.
- VERTICAL LIFT DOOR. 4' x 4' HIGH DOOR
- OVERHEAD COILING DOOR
- BOYLIGHT AND/OR SMOKE HEAT VENT. SEE ROOF PLAN FOR LOCATIONS.
- INTERIOR VISION WINDOW
- RACKING NOT IN SCOPE. DO NOT USE RACKING DRAWING FOR PRICING.
- EXTERIOR WINDOWS. SEE ELEVATIONS FOR ADDITIONAL INFORMATION.
- CONC. SIDEWALK AND CURB
- OUTDOOR AMENITY AREA. SEE LANDSCAPE DRAWINGS.
- REFRIGERATOR EQUIPMENT FOR LARGE COOLERS/PRESSERS TO BE LOCATED ON THE ROOF.
- PROVIDE ACUSTIC CEILING TILE WHERE SHOWN.
- ACUSTIC CLOUD CEILING IN COMMUNITY ROOM
- PREMIUM ACUSTIC CEILING IN LOBBY. SEE PROJECT MANUAL FOR MATERIAL INFORMATION.
- NOT USED
- NOT USED
- STOREFRONT CURTAIN WALL GLAZING
- EXTERIOR CANOPY TO BE FULLY FINISHED.
- PERFORM GUARD SHOWN W/OUT SOFFIT. SSD FOR STRUCTURAL INFORMATION.
- NOT USED

**ISSUANCE RECORD**

10.11.24	SD PRICING	SSD
11.19.24	DAC SUBMITTAL 1	
09.21.25	DAC SUBMITTAL 1	
09.22.25	SD PRICING	
07.31.25	DAC SUBMITTAL 2	

**REVISION RECORD**

PC1	11.19.24	DAC SUBMITTAL
PC2	09.21.25	DAC SUBMITTAL REV. 1
PC3	07.31.25	DAC SUBMITTAL REV. 2

**FOOD SHARE**  
VENTURA COUNTY

**FOOD SHARE VENTURA COUNTY**  
1425 WARNER DRIVE  
OXNARD, CA 93033

**Jackson Liles ARCHITECTURE**

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San Francisco, CA 94107  
Tel: 415.521.1799

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FOOD SHARE VENTURA COUNTY

Date: 7/3/25

Scale: As Indicated

Job #: 2302

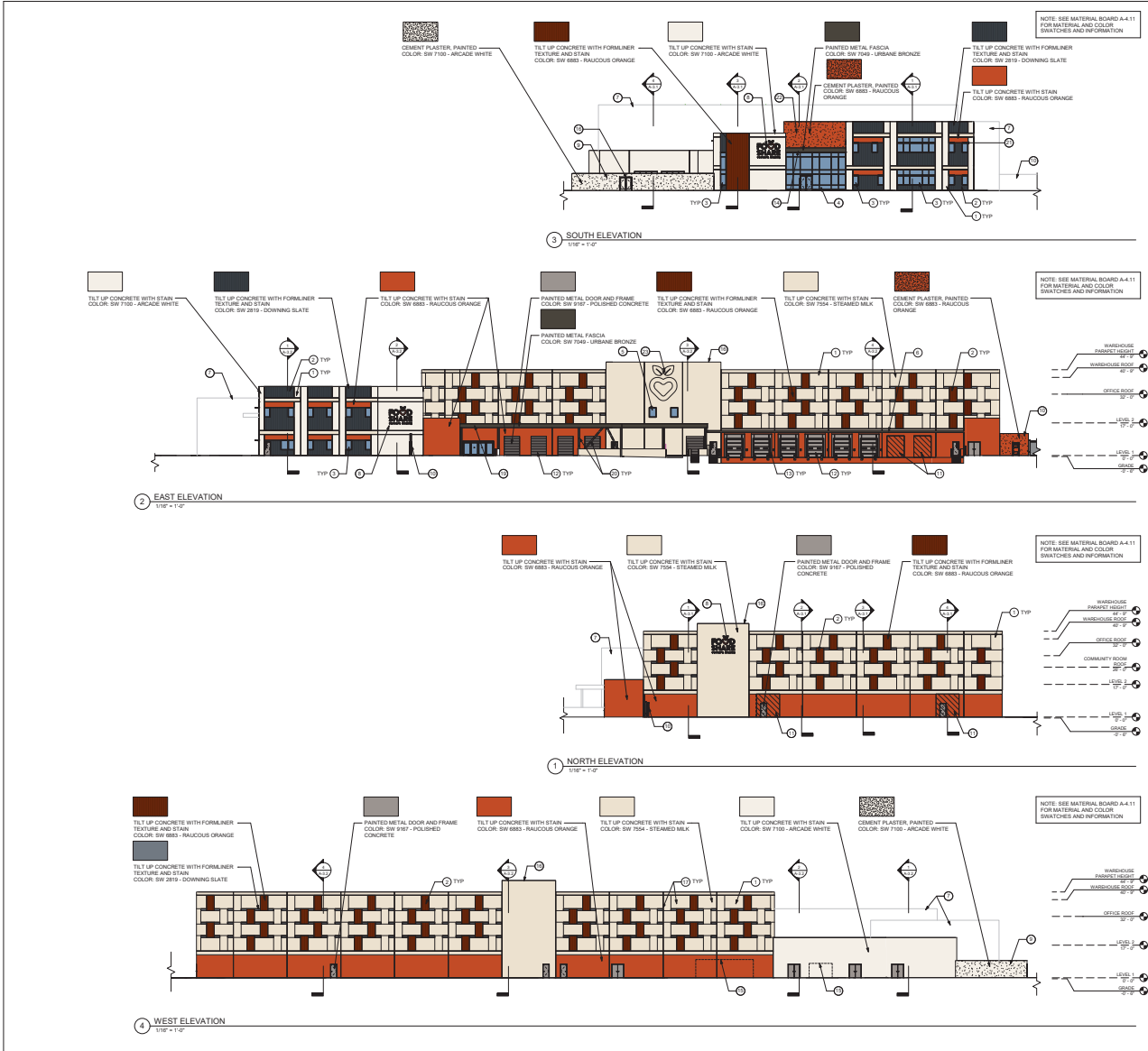
Rev# File: V:\paw\2302\Rev

Approved By: Author

**DAC SUBMITTAL**

**BUILDING SECTIONS**

**A-3.2**



**GENERAL NOTES**

- A. PROJECT MUST MEET CALIFORNIA AND CANADIAN GREEN BUILDING REQUIREMENTS.
- B. CONTRACTOR RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- C. SEE CIVIL DRAWINGS (SD) FOR LOCATION AND SIZE OF UTILITY CONNECTIONS.
- D. PROJECT TO BE FULLY SPRINKLERED TO MEET IBC/ASD REQUIREMENTS, INCLUDING REQUIREMENTS FOR HIGH PRESS STORAGE.
- E. SEE STRUCTURAL DRAWINGS (SD) FOR STRUCTURAL SIZES.
- F. SEE MEP BASIS OF DESIGN (BOD) FOR GENERAL MEP SCOPE OF WORK.
- G. SEE PRICING MANUAL FOR GENERAL OUTLINE SPECIFICATIONS.

**SHEET NOTES**

- 1 TILT UP CONCRETE CONSTRUCTION, TYP. SEE ALL CONCRETE TO BE STAINED WITH A PENETRATING VERTICAL CONCRETE STAIN UON.
- 2 AREA OF CONCRETE TO BE TEXTURED WITH FORMLINER CONSTRUCTION.
- 3 STOREFRONT SYSTEM.
- 4 CURTAIN WALL.
- 5 TYPICAL WINDOW.
- 6 DOCK AWNING.
- 7 BUILDING MASS IN BACKGROUND.
- 8 FOOD SHARE SIGNAGE, ILLUMINATED DRAWINGS EXTERIOR LIGHTING. SEE LIGHTING DRAWINGS.
- 9 WALL OF OUTDOOR AMENITY AREA, SLD FOR WALL INFORMATION AND SITE DATE INFORMATION.
- 10 SITE WALL/FENCE. SLD FOR SITE WALL AND FENCE INFORMATION AS WELL AS GATE INFORMATION.
- 11 KNOCK OUT PANEL. S&D.
- 12 DOCK DOOR. SEE DOOR SCHEDULE.
- 13 PROVIDE DOCK BUMPERS AND DOCK SEAL. TYP.
- 14 CANNOPY AT BUILDING ENTRY.
- 15 ELECTRICAL EQUIPMENT IN FOREGROUND. S&D.
- 16 TILT UP PANEL EXTENDS HIGHER THAN TYPICAL WAREHOUSE PARAPET HEIGHT.
- 17 PANEL JOINT OR REVEAL.
- 18 NOT USED.
- 19 CANNOPY AT COVERED VAND AREA.
- 20 STEEL STRUCTURE. S&D.
- 21 SUN SHADE INTEGRATED INTO STOREFRONT.
- 22 FTD CEMENT PLASTER FINISH.
- 23 EMBOSS FOOD SHARE LOGO IN TILT UP PANELS.



**FOOD SHARE VENTURA COUNTY**  
1425 WARNER DRIVE  
OXNARD, CA 93033



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**ISSUANCE RECORD**

10/11/24	SD	PROPOSED S&D
11/18/24	DAC	SUBMITTAL 1
02/21/25	DAC	SUBMITTAL 1
05/22/25	SD	PROPOSED
07/31/25	DAC	SUBMITTAL 2

**REVISION RECORD**

REV 1	11/18/24	DAC	SUBMITTAL
REV 2	02/21/25	DAC	SUBMITTAL REV. 1
REV 3	07/31/25	DAC	SUBMITTAL REV. 2

**FOOD SHARE VENTURA COUNTY**

Date:	07/31/25
Scale:	As Indicated
Job #:	2302
Rev# File:	Vjshw0230Rev
Approved By:	Author

**LEGEND**

- TILT UP CONCRETE SURFACE - SMOOTH FINISH, STAINED. TYP UON.
- TILT UP CONCRETE SURFACE - WITH FORMLINER TEXTURE APPLIED, STAINED.
- CEMENT PLASTER.

**BUILDING ELEVATIONS**  
**A-4.10**

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ISSUANCE RECORD

10.11.20	2D PERFORMING SET
11.10.24	DAC SUBMITTAL 1
02.21.25	DAC RESUBMITTAL 1
05.22.25	2D PERFORMING
07.31.25	DAC RESUBMITTAL 2

REVISION RECORD

PG 1	11.10.24	DAC SUBMITTAL
PG 2	05.22.25	DAC SUBMITTAL REV. 1
PG 3	07.31.25	DAC SUBMITTAL REV. 2

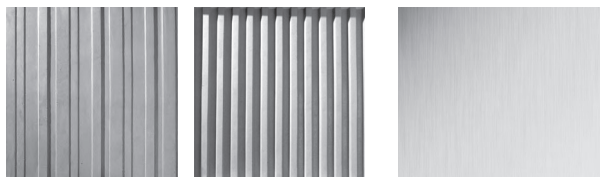
FOOD SHARE VENTURA COUNTY

Date:	07/31/25
Scale:	1:1
Job #:	2302
Revit File:	V:\paw\2302\Revit
Assembled By:	AJL/ahr

DAC SUBMITTAL

BUILDING  
ELEVATIONS -  
MATERIAL BOARD

A-4.11



CONCRETE FORM LINER TEXTURES  
(FOR TEXTURE REFERENCE ONLY, CONCRETE TO BE STAINED, SEE COLORS BELOW)

STOREFRONT AND CURTAIN WALL FINISH  
CLEAN FINISHED ALUMINUM

ADDITIONAL MATERIALS



PAINT COLOR:  
SHERWIN WILLIAMS  
SW 7102 - ARCADE WHITE

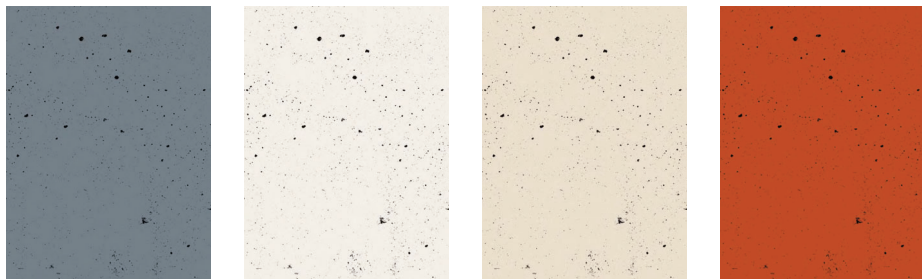
PAINT COLOR:  
SHERWIN WILLIAMS  
SW 7061 - URBANE BRONZE

PAINT COLOR:  
SHERWIN WILLIAMS  
SW 9167 - POLISHED CONCRETE

PAINT COLOR:  
SHERWIN WILLIAMS  
SW 6863 - RAUCOUS ORANGE

EXTERIOR PAINT COLORS

EXTERIOR PAINT TO BE APPLIED TO DOORS, COILING DOORS, DOOR FRAMES, CANOPY FASCIA, CANOPY STRUCTURE, CEMENT PLASTER WALLS



CUSTOM CONCRETE STAIN COLOR  
EQUIVALENT PAINT COLOR: SW 2819 - DOWNING SLATE

CUSTOM CONCRETE STAIN COLOR  
EQUIVALENT PAINT COLOR: SW 7102 - ARCADE WHITE

CUSTOM CONCRETE STAIN COLOR  
EQUIVALENT PAINT COLOR: SW 7054 - STEAMED MILK

CUSTOM CONCRETE STAIN COLOR  
EQUIVALENT PAINT COLOR: SW 6863 - RAUCOUS ORANGE

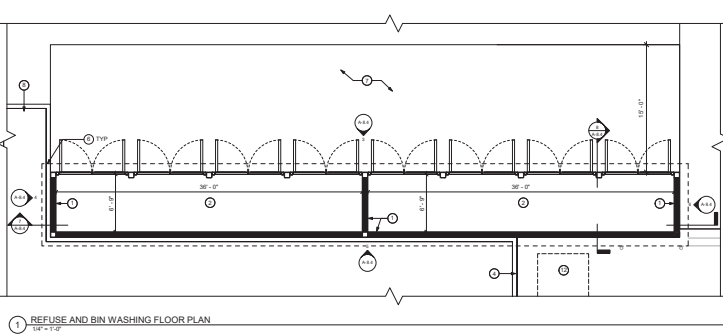
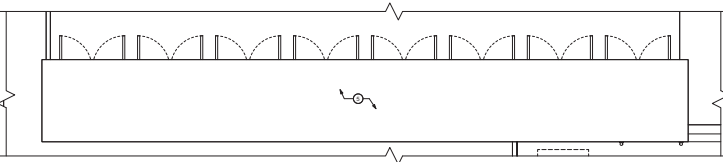
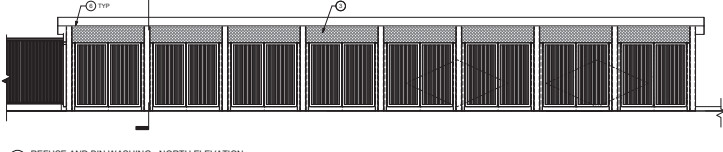
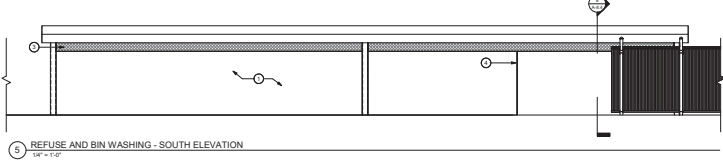
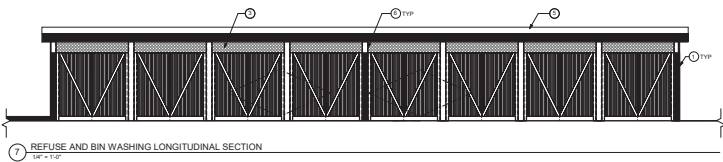
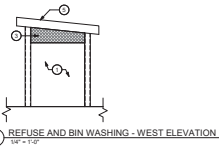
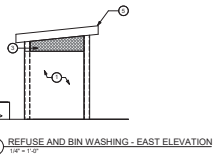
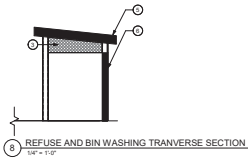
CONCRETE STAIN COLORS

CONCRETE STAIN TO BE APPLIED TO ALL TILT UP CONCRETE ON THE BUILDING EXTERIOR



FOOD SHARE SIGNAGE

FOOD SHARE SIGNAGE TO BE APPLIED IN VARIOUS LOCATIONS ON THE BUILDING EXTERIOR



GENERAL NOTES

- A. PROJECT MUST MEET CALIFORNIA AND OGNARD GREEN BUILDING REQUIREMENTS
- B. CONTRACTOR RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS
- C. SEE CIVIL DRAWINGS (SD) FOR LOCATION AND SIZE OF UTILITY CONNECTIONS
- D. PROJECT TO BE FULLY SPRINKLERED TO MEET IFC/13 REQUIREMENTS INCLUDING REQUIREMENTS FOR HIGH PILED STORAGE
- E. SEE STRUCTURAL DRAWINGS (SD) FOR STRUCTURAL SIZES
- F. SEE MEP BASIS OF DESIGN (BOD) FOR GENERAL SCHEMATIC MEP SCORE OF WORK
- G. SEE PRICING MANUAL FOR GENERAL SCHEMATIC OUTLINE SPECIFICATIONS

SHEET NOTES

- 1 8" FULLY GROUTED CMU WALLS, PTD TO MATCH CMU WALLS OF ENCLOSED YARD AND COMPLEMENT BUILDING COLOR SCHEME
- 2 SLAB ON GRADE WITH DRAIN
- 3 SECURITY SCREEN AT ALL OPENINGS LARGER THAN 7" IN DIAMETER
- 4 CHAIN LINK FENCE
- 5 CORRUGATED METAL ROOF
- 6 TUBE STEEL ROOF STRUCTURE
- 7 REINFORCED CONCRETE APRON
- 8 ADJACENT LANDSCAPING AND CONCRETE CURB
- 9 NOT USED
- 10 3 CUBIC YARD DUMPSTER
- 11 NOT USED
- 12 4x6 GREASE INTERCEPTOR



**FOOD SHARE**  
VENTURA COUNTY

FOOD SHARE  
VENTURA COUNTY  
1425 WARNER DRIVE  
OXNARD, CA 93033

Jackson Liles  
ARCHITECTURE

220 Third Street #608  
San Francisco, CA 94107  
Tel: 415.521.1759

www.jacksonliles.com

ISSUANCE RECORD	
09.11.20	00 PRICING SET
11.10.24	DAC SUBMITTAL
09.21.25	DAC RESUBMITTAL 1
09.23.25	100.00 PRICING
07.31.26	DAC RESUBMITTAL 2

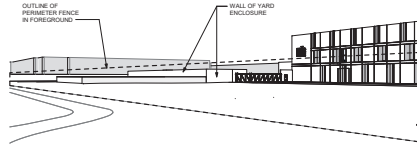
REVISION RECORD	
PS1	11.10.24 DAC SUBMITTAL
PS2	09.23.25 DAC SUBMITTAL REV. 1

FOOD SHARE VENTURA COUNTY			
Date:	7/3/25		
Scale:	As Indicated		
Job #:	2302		
Revised By:	Vjgaw/CSC/Rev		
Approved By:	Aubur		

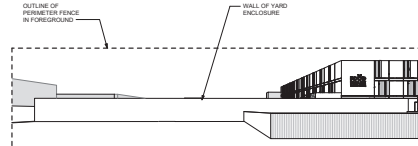
DAC SUBMITTAL

TRASH ENCLOSURE DETAILS

**A-8.4**



5 WOOLEY PERSPECTIVE - SCREENING 1



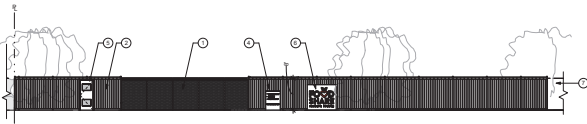
6 WOOLEY PERSPECTIVE - SCREENING 2

GENERAL NOTES

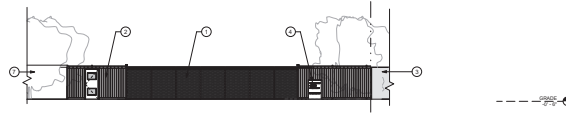
- A. PROJECT MUST MEET CALIFORNIA AND OAKLAND GREEN BUILDING REQUIREMENTS.
- B. CONTRACTOR RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- C. SEE CIVIL DRAWINGS (SDD) FOR LOCATION AND SIZE OF UTILITY CONNECTIONS.
- D. PROJECT TO BE FULLY SPRINKLERED TO MEET IFC/CS REQUIREMENTS INCLUDING REQUIREMENTS FOR HIGH PILED STORAGE.
- E. SEE STRUCTURAL DRAWINGS (SDD) FOR STRUCTURAL SIZES.
- F. SEE MEP BASIS OF DESIGN (BOD) FOR GENERAL SCHEMATIC MEP SCORE OF WORK.
- G. SEE PRICING MANUAL FOR GENERAL SCHEMATIC OUTLINE SPECIFICATIONS.

SHEET NOTES

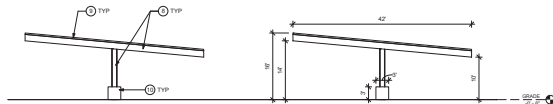
- 1 ROLLING GATE. SEE SITE PLAN FOR ADDITIONAL INFORMATION.
- 2 WROUGHT IRON FENCE. SEE SITE PLAN AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- 3 FENCE AT ADJACENT PROPERTY.
- 4 WAYFINDING SIGNAGE.
- 5 PEDESTRIAN GATE.
- 6 ADJACENT SIGNAGE.
- 7 ADJACENT PORTION OF FENCE AT SEE ADJACENT ELEVATION ON THIS SHEET.
- 8 PAINTED STEEL STRUCTURE. SDD.
- 9 PHOTOVOLTAIC PANELS.
- 10 CONCRETE STANCHION. SDD.



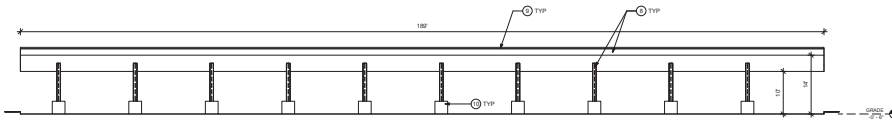
4 MARINER DRIVE STREET ELEVATION 1  
1/8" = 1'-0"



5 MARINER DRIVE STREET ELEVATION 2  
1/8" = 1'-0"



2 PRELIMINARY SOLAR CARPORT TRANSVERSE ELEVATION  
1/8" = 1'-0"



1 PRELIMINARY SOLAR CARPORT LONGITUDINAL ELEVATION  
1/8" = 1'-0"



FOOD SHARE  
VENTURA COUNTY  
1425 MARINER DRIVE  
OXNARD, CA 93033

Jackson Liles  
ARCHITECTURE

220 Third Street, #200  
San Francisco, CA 94107  
Tel: 415.521.1799

www.jacksonliles.com

ISSUANCE RECORD

10.11.20	DD	PRICING	S&L
11.10.24	DAC	SUBMITTAL	1
06.21.25	DAC	RESUBMITTAL	1
06.22.25	DD	DD	PRICING
07.31.25	DAC	RESUBMITTAL	2

REVISION RECORD

PC1	11.10.24	DAC	SUBMITTAL
PC2	06.21.25	DAC	SUBMITTAL REV. 1

FOOD SHARE VENTURA COUNTY

Date: 7/31/25  
Scale: As Indicated  
JOB #: 2302  
Revit File: Y:\paw\2302\Revit  
Approved By: Author

DAC SUBMITTAL

SITE DETAILS

A-8.5



**GENERAL NOTES**

- A. PROJECT MUST MEET CALIFORNIA AND OGNARD GREEN BUILDING REQUIREMENTS.
- B. CONTRACTOR RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS.
- C. SEE CIVIL DRAWINGS (CSD) FOR LOCATION AND SIZE OF UTILITY CONNECTIONS.
- D. PROJECT TO BE FULLY SPRINKLERED TO MEET IFC-13 REQUIREMENTS INCLUDING REQUIREMENTS FOR HIGH PILED STORAGE.
- E. SEE STRUCTURAL DRAWINGS (SSD) FOR STRUCTURAL SIZES.
- F. SEE MEP BASIS OF DESIGN (BOD) FOR GENERAL SCHEMATIC MEP SCOPE OF WORK.
- G. SEE PRICING MANUAL FOR GENERAL SCHEMATIC OUTLINE SPECIFICATIONS.

**SHEET NOTES**

- 1 FULLY GROUDED CMU WALLS. PID TO MATCH CMU WALLS OF ENCLOSED YARD AND COMPLEMENT BUILDING COLOR SCHEME.
- 2 SLAB ON GRADE.
- 3 COILING DOOR.
- 4 CHAIN LINK FENCE.
- 5 CORRUGATED METAL ROOF.
- 6 GATE. SEE LANDSCAPE PLANS.
- 7 NOT USED.
- 8 ADJACENT LANDSCAPING AND CONCRETE CURB.



**FOOD SHARE VENTURA COUNTY**  
 1425 MARINER DRIVE  
 OXNARD, CA 93033



220 Third Street #608  
 San Francisco, CA 94107  
 Tel: 415.821.1799

**ISSUANCE RECORD**

NO.	DATE	DESCRIPTION
01	11.26.20	ISSUANCE SET
02	11.18.24	DAC SUBMITTAL 1A
03	03.21.25	DAC SUBMITTAL 1
04	05.22.25	ISSUANCE RECORD
05	07.31.25	DAC SUBMITTAL 2

**REVISION RECORD**

NO.	DATE	DESCRIPTION
REV. 1	11.18.24	DAC SUBMITTAL
REV. 2	03.21.25	DAC SUBMITTAL REV. 1
REV. 3	07.31.25	DAC SUBMITTAL REV. 2

**FOOD SHARE VENTURA COUNTY**

Date: 7/3/25  
 Scale: As Indicated  
 Job #: 2302  
 Revit File: Y:\paw\2302\Revit  
 Assembled By: Author

**DAC SUBMITTAL**

**BIN WASHING STRUCTURE DETAILS**

**A-8.6**

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**FOOD SHARE VENTURA COUNTY**  
1425 MARNER DRIVE  
OXNARD, CA 93033

**Jackson Liles ARCHITECTURE**

3225 Third Street, #208  
San Francisco, CA 94107  
Tel: 415.221.1799

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**REVISION RECORD**

11.11.24 02 PROPOSED 001

11.18.24 04 SUBMITTAL

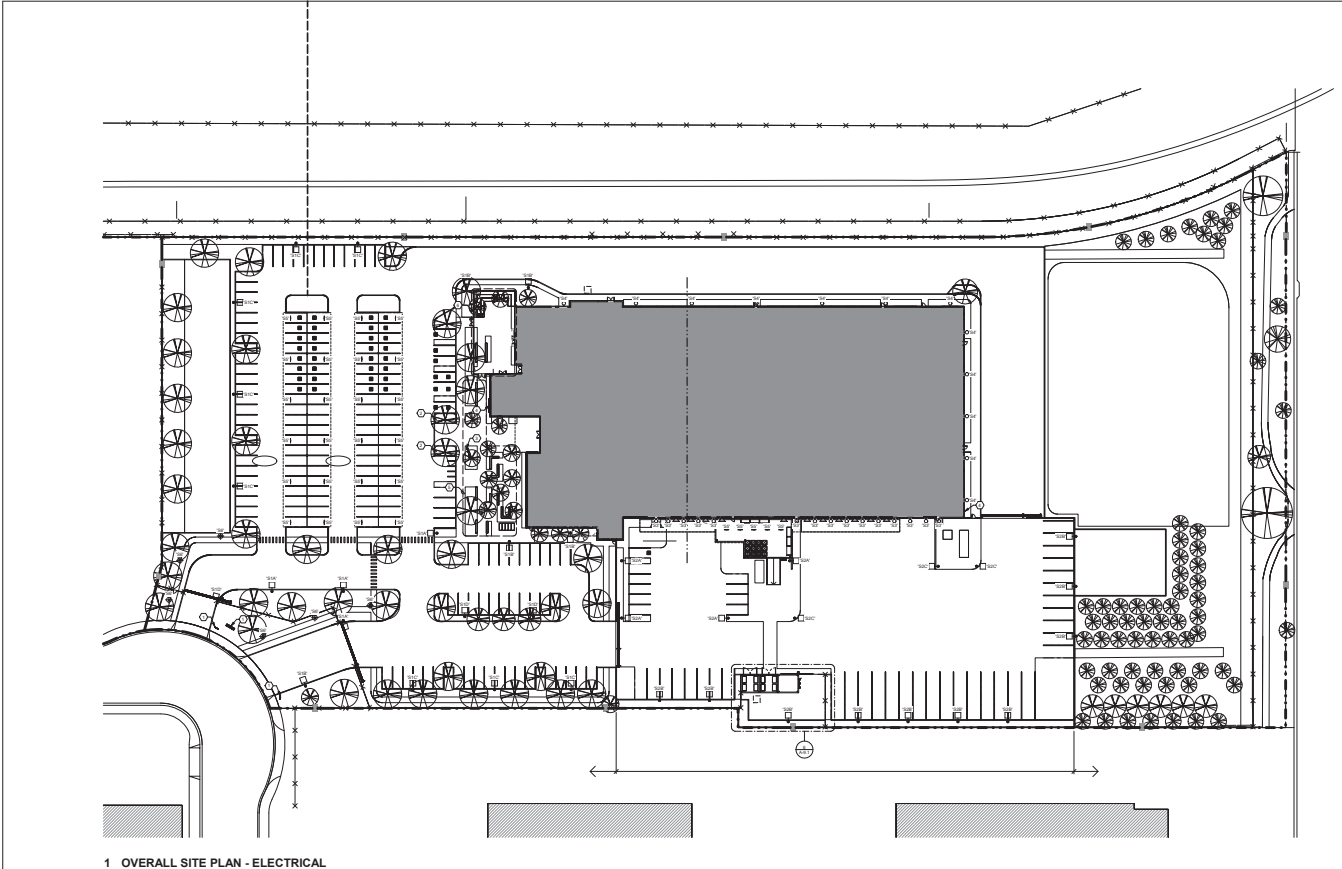
**LUMINAIRE SCHEDULE**

TYPE	DESCRIPTION	HOUSING	SHIELDING	MOUNTING	FINISH	ICBP DETAILS	DRIVER POWER/QUANTITY	LIGHT SOURCE	INPUT WATTS	VOLTAGE	REGULATORY #	NOTES
87A	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87B	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87C	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87D	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87E	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87F	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87G	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87H	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87I	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87J	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87K	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87L	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87M	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87N	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87O	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87P	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87Q	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87R	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87S	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87T	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87U	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87V	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87W	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87X	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87Y	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT
87Z	RECESSED, 4" SQUARE, 1" DEPTH, INTEGRATED PHOTOVOLTAIC, INTERIOR, SENSITIVE DIMMING AND PHOTOCONTROL	RECESSED ALUMINUM	NONGLARE, OPACIFIED LENS	FLUSH MOUNTING @ 8" W/ W/O ARCHITECT	100% POLYCARBONATE	100%	20W 120V LED DRIVER (4x10W)	4x120V LED DRIVER	80W	120V		SEE NOTES: 1" CHORD RADIUS AND 1/4" CHORD RADIUS ARE APPROVED EQUIVALENT

**NOTES**  
 1 THIS LUMINAIRE SCHEDULE IS NOT COMPLETE WITHOUT A COPY OF THE PROJECT MANUAL CONTAINING THE ELECTRICAL SPECIFICATIONS.  
 2 DRAWING CONTROL PANELS TO BE USED FOR ALL LIGHTING SHALL COMPLY WITH LIGHTING CONTROL SYSTEMS SPECIFIED AND SHOWN ON DRAWINGS.  
 3 PROVIDE - 0.2% MINIMUM GLARE BY HAZARDOUS LIGHTING FIXTURES.  
 4 COORDINATE ALL LED LIGHTING WITH LUMINAIRE LOCATIONS FROM THE EXISTING LUMINAIRE. COORDINATE INSTALLATION WITH SELECTED CEILING PLANS.  
 5 PROVIDE HANGERS AND BRACKETS TO BE USED BY MANUFACTURER FOR ALL LIGHTING FIXTURES FROM SUPPLY THE PRODUCT AS SHOWN.  
 6 PROVIDE DIMMABLES THAT INCLUDE THE LUMINAIRE, LAMP AND DIMMABLE LED DRIVER INFORMATION OF EACH LUMINAIRE. BE APPLICABLE OPTIONS CLEARLY CHECKED ON HEADQUARTERS. SUBMITTALS NOT INCLUDING THIS INFORMATION WILL BE RETURNED AS REJECTED BY THE ENGINEER OF RECORD.  
 7 PROVIDE DIMMABLES AS LISTED FOR THESE APPLICATIONS. DIMMER DIMMING IS AS RECOMMENDED COMPANET AND NOT AS LISTED. BE SUBJECT TO DIMMING. BE NOT AVAILABLE AT THE TIME OF TENDER.  
 8 BESS TO FOLLOW PLANS FOR LOCATION, CIRCUITS AND SWITCH AS SHOWN ON DRAWINGS. LABEL ALL DIMMER DRIVERS TO BE USED LUMINAIRE TYPE IDENTIFICATION AND SOURCE CIRCUIT. PROVIDE WIRING BETWEEN DIMMER DRIVERS AND LUMINAIRE AS RECOMMENDED BY MANUFACTURER. DO NOT EXCEED MAXIMUM DISTANCE RECOMMENDED BY MANUFACTURER.  
 9 PROVIDE DIMMABLES TO BE USED FOR THESE APPLICATIONS.  
 10 PROVIDE DIMMABLES TO BE USED FOR THESE APPLICATIONS.

**GENERAL NOTES** | **SHEET NOTES** | **LEGEND**

FOOD SHARE VENTURA COUNTY	Date: 08/26/24	Scale: 1:1
Job #: 2023-020	Rev #: 1	Rev Date: 7/26/2023 (Rev)
Author: JLM	Checked: JLM	Reviewed: JLM
<b>SCHEMATIC DESIGN</b>		
<b>LUMINAIRE SCHEDULE</b>		
<b>E-02</b>		



1 OVERALL SITE PLAN - ELECTRICAL  
1" = 30'-0"

GENERAL NOTES	SHEET NOTES	LEGEND
	<ol style="list-style-type: none"> <li>1. PROVIDE ALL LUMINAIRE TYPE 'S' FOR GENERAL UNPLANNED DESIGN IN DEVELOPMENT.</li> <li>2. PROVIDE ALL LUMINAIRE TYPE 'S' FOR TREE OR PLANTING DESIGN IN DEVELOPMENT.</li> <li>3. PROVIDE ALL LUMINAIRE TYPE 'S' FOR PLAYABLE UNPLANNED DESIGN IN DEVELOPMENT.</li> <li>4. PROVIDE ALL LUMINAIRE TYPE 'S' FOR BUILDING ORNAMENT UNPLANNED DESIGN IN DEVELOPMENT.</li> <li>5. PROVIDE SUFF TOTAL OF LUMINAIRE TYPE 'S' FOR SEASONAL LIGHTING DESIGN IN DEVELOPMENT.</li> <li>6. PROVIDE SUFF TOTAL OF LUMINAIRE TYPE 'S' FOR THEATRE LIGHTING AND 1/2 LUMINAIRE TYPE 'S' AT EMPLOYED OPEN SPACE DESIGN IN DEVELOPMENT.</li> </ol>	

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EXHIBIT B - SD PRICING - 10.11.2024



FOOD SHARE  
VENTURA COUNTY  
1425 MARINER DRIVE  
OXNARD, CA 93033

Jackson Liles  
ARCHITECTURE

3225 Third Street, #208  
San Francisco, CA 94117  
Tel: 415.621.1759

www.jacksonliles.com



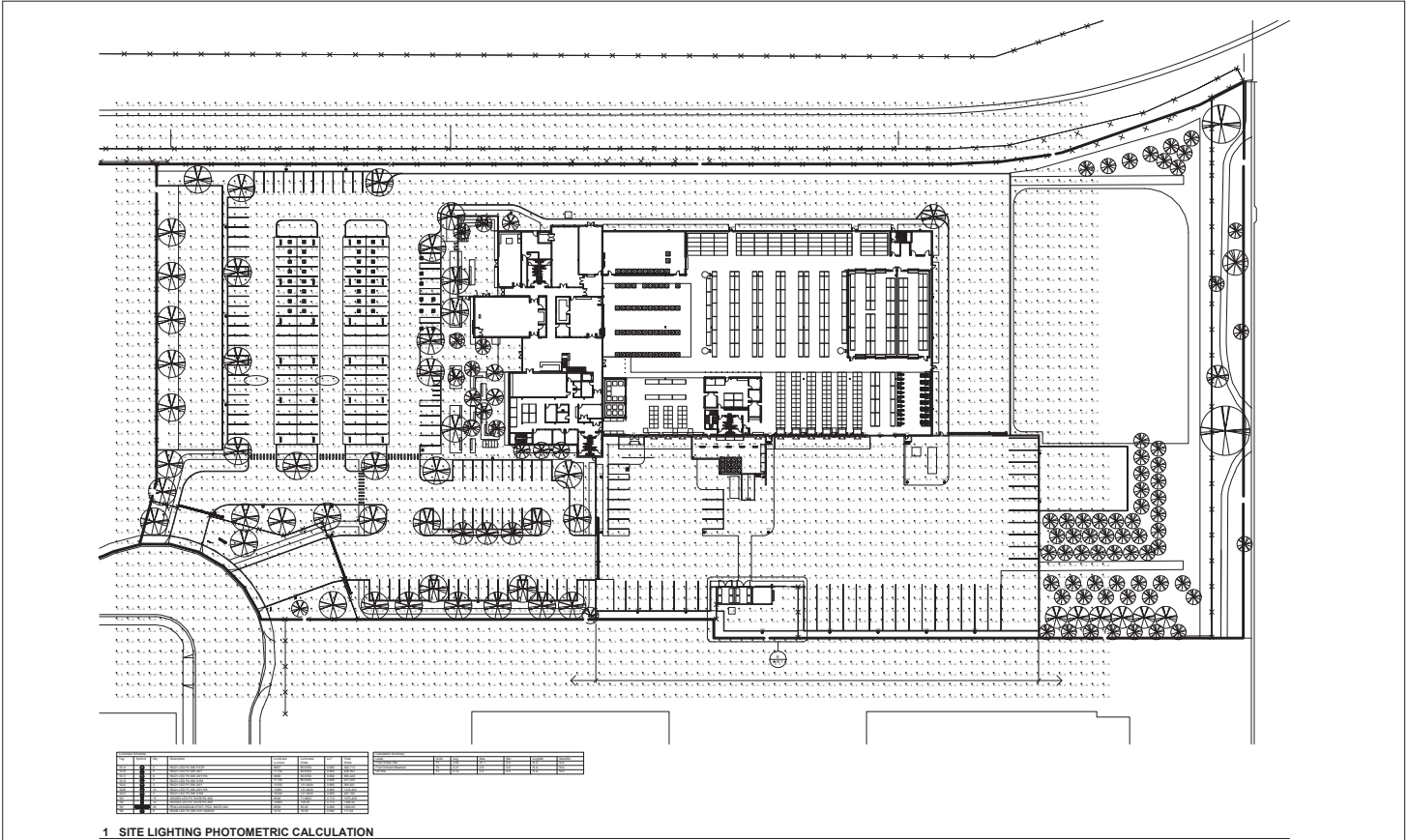
ISSUANCE RECORD

NO.	DATE	DESCRIPTION
10	11.04.2024	PROPOSED SET 1
11	10.29.2024	DATE SUBMITTAL

REVISION RECORD

FOOD SHARE VENTURA COUNTY  
Date: 08/24/24  
Scale: 1" = 30'-0"  
JOB #: 2225-0200  
Rev'd By: Y. Jansen/2024/Rev  
Author: Jansen  
Schematic Design

OVERALL SITE  
PLAN -  
ELECTRICAL  
**E-1.0**



NO.	DESCRIPTION	DATE
1	1 SITE LIGHTING PHOTOMETRIC CALCULATION	10/11/2024

GENERAL NOTES

SHEET NOTES

LEGEND



FOOD SHARE  
VENTURA COUNTY  
1425 MARINER DRIVE  
OXNARD, CA 93033

Jackson Liles  
ARCHITECTURE

3225 Third Street, #208  
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Tel: 415.221.1759

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ISSUANCE RECORD

NO.	DESCRIPTION	DATE
1	1 SITE LIGHTING PHOTOMETRIC CALCULATION	10/11/2024

REVISION RECORD

FOOD SHARE VENTURA COUNTY

Date: 08/29/24

Scale: 1" = 30'-0"

Job #: 2023-0208

Rev'd File: Y:\gsn\2023\Rev

Author: JLD

SCHEMATIC DESIGN

OVERALL SITE  
PLAN -  
ELECTRICAL  
PHOTOMETRIC  
CALCULATION

E-1.01







**CONSTRUCTION SCHEDULE (THIS SHEET)**

ITEM	DESCRIPTION
1.01	CONCRETE PAVING
1.02	POSTPANELED CONCRETE PAVING
1.03	POSTPANELED CONCRETE PAVING
1.04	POSTPANELED CONCRETE PAVING
1.05	POSTPANELED CONCRETE PAVING
1.06	POSTPANELED CONCRETE PAVING
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1.47	POSTPANELED CONCRETE PAVING
1.48	POSTPANELED CONCRETE PAVING
1.49	POSTPANELED CONCRETE PAVING
1.50	POSTPANELED CONCRETE PAVING

**NOTES**

- SEE SHEET LC-102 FOR DETAILED CONSTRUCTION & PLANTING SCHEDULES.
- REFER TO SHEET LC-103 FOR WALL/FENCE PLAN.

**PLANTING SCHEDULE**

SYMBOL	Latin Name	COMMON NAME
1	<i>Salix lasiolepis</i>	Regal Desert Willow
2	<i>Prosopis juliflora</i>	Prosopis
3	<i>Prosopis juliflora</i>	Prosopis
4	<i>Prosopis juliflora</i>	Prosopis
5	<i>Prosopis juliflora</i>	Prosopis
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99	<i>Prosopis juliflora</i>	Prosopis
100	<i>Prosopis juliflora</i>	Prosopis

**FOOD SHARE**  
VENTURA COUNTY

**FOOD SHARE VENTURA COUNTY**  
1425 MARSH DRIVE  
GARDEN, CA 95023

**Jackson Liles**  
ARCHITECTURE

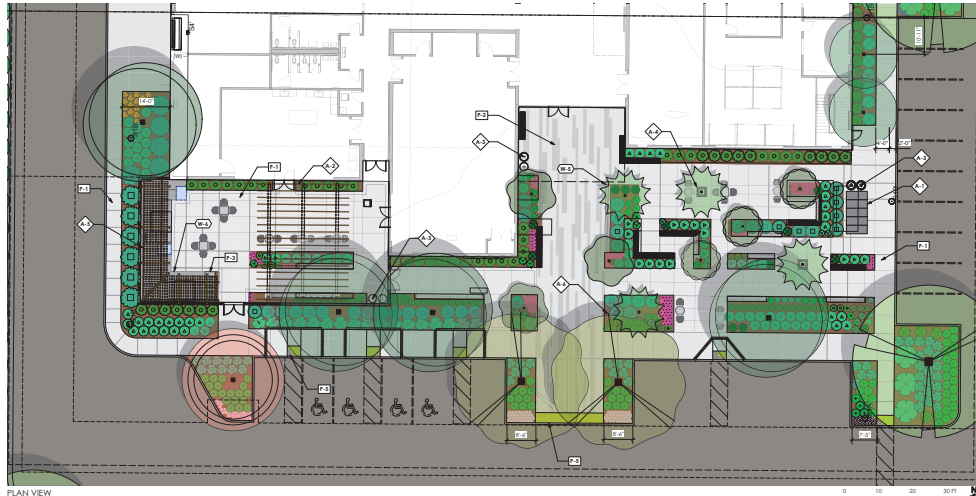
1425 MARSH DRIVE  
GARDEN, CA 95023  
(925) 251-1111

FOOD SHARE VENTURA COUNTY

DATE: 10/20/2023  
SCALE: 1/8" = 1'-0"  
SHEET: 00-SCHEMATIC DESIGN  
PROJECT: FOOD SHARE VENTURA COUNTY

**00-SCHEMATIC DESIGN**  
**LC-1.02**





**CONSTRUCTION SCHEDULE (THIS SHEET)**

SYMBOL	DESCRIPTION
1.1	EXTERIOR CONCRETE PAVING
1.2	CONCRETE CURB PAVES
1.3	CONCRETE DRIVE WITH PAVING
1.4	PERFORATED MAPPING ISLS
2.1	SEE SCHEDULE
2.2	SEE SCHEDULE
2.3	SEE SCHEDULE
2.4	SEE SCHEDULE
2.5	SEE SCHEDULE
2.6	SEE SCHEDULE
2.7	SEE SCHEDULE
2.8	SEE SCHEDULE
2.9	SEE SCHEDULE
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2.12	SEE SCHEDULE
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2.18	SEE SCHEDULE
2.19	SEE SCHEDULE
2.20	SEE SCHEDULE
2.21	SEE SCHEDULE
2.22	SEE SCHEDULE
2.23	SEE SCHEDULE
2.24	SEE SCHEDULE

**PLANTING SCHEDULE**

SYMBOL	LATIN NAME	COMMON NAME
1	<i>Agave attenuata</i>	Parrottail Tree
2	<i>Clusia Minima</i>	Waxwood Weyer Lemon
3	<i>Clusia occidentalis</i>	Western Redbud
4	<i>Clusia robusta</i>	Big Oak
5	<i>Clusia rosea</i>	Red Oak
6	<i>Clusia rosea</i>	Red Oak
7	<i>Clusia rosea</i>	Red Oak
8	<i>Clusia rosea</i>	Red Oak
9	<i>Clusia rosea</i>	Red Oak
10	<i>Clusia rosea</i>	Red Oak
11	<i>Clusia rosea</i>	Red Oak
12	<i>Clusia rosea</i>	Red Oak
13	<i>Clusia rosea</i>	Red Oak
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19	<i>Clusia rosea</i>	Red Oak
20	<i>Clusia rosea</i>	Red Oak
21	<i>Clusia rosea</i>	Red Oak
22	<i>Clusia rosea</i>	Red Oak
23	<i>Clusia rosea</i>	Red Oak
24	<i>Clusia rosea</i>	Red Oak



**FOOD SHARE VENTURA COUNTY**  
1425 MARINER DRIVE  
OSWEGO, CA 95323

**Jackson Liles ARCHITECTURE**

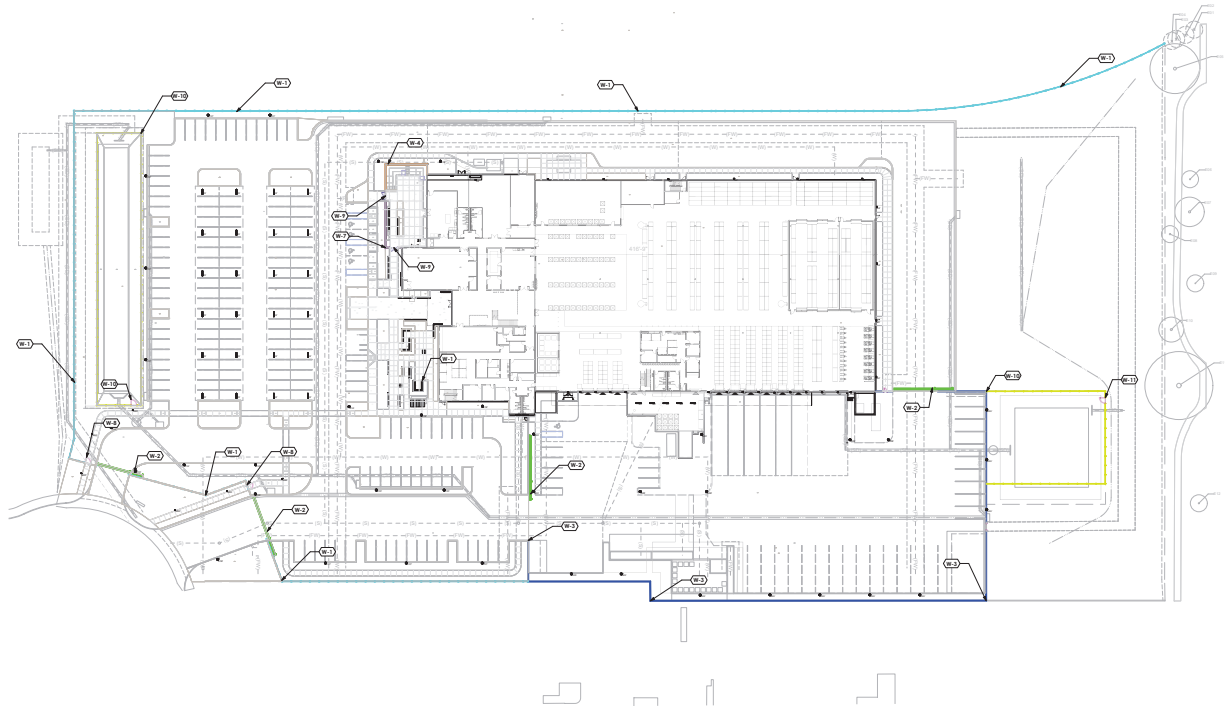


1000 N. GARDNER STREET  
SUITE 100  
OSWEGO, CA 95323

PROJECT NO. 2023-001

FOOD SHARE VENTURA COUNTY  
DATE: 10/20/23  
BY: J. LILES  
CHECKED: J. LILES  
SCALE: AS SHOWN

DD - SCHEMATIC DESIGN - ENLARGEMENT  
LC-1.04



OVERALL SITE PLAN

SCALE 1" = 30'

**WALL AND FENCE SCHEDULE**

ID#	TYPE	DESCRIPTION	DETAIL
W-1	WROUGHT IRON FENCE	4" WROUGHT IRON PROPERTY LINE FENCE, PAINTED BLACK	C / 10-203
W-2	WROUGHT IRON VENTURIAN GATE	4" WROUGHT IRON VENTURIAN GATE, PAINTED BLACK, PROVIDE INTERCOM & CARD READER, PROVIDE "CLICK SENSE" AT LOCATION SPECIFIED BY FIRE DEPARTMENT AND CITY REQUIREMENTS.	D / 10-203
W-3	CMU BLOCK WALL	12" W. BLOCK WALL, 4" HEAVY CMU, GROUT FILL SOID AVAILABLE FROM ANGELUS BLOCK OR APPROVED EQUAL, COLOR: TBG, COVAL CONCRETE COAT, CLEAR WATER FOOTING AND REINFORCEMENT PER STRUCTURAL PLANS.	A / 10-204
W-4	OUTDOOR PAVILION RETAINING WALL	4" W. COMBINATION CMU BLOCK RETAINING WALL WITH REINFORCED WOOD TRUSS ROOF WALL, FINISH OF WALL TO MATCH ARCHITECTURE.	D / 10-204
W-5	CONCRETE SPALL WALL W/ WOOD SLAT SEAT	3" PRECAST CONCRETE SPALL WALL, MOUNTED ABOVE UNCOLORED, 2" WOOD SLAT SEAT.	C / 10-205
W-6	PRECAST CONCRETE BENCH	3" PRECAST CONCRETE BENCH, MOUNTED ABOVE UNCOLORED, 2" WOOD SLAT SEAT.	C / 10-204
W-7	OUTDOOR PAVILION WALL	4" W. CMU BLOCK WALL.	A / 10-203
W-8	VEGETARIAN ACCESS GATE	4" W. WROUGHT IRON VEGETARIAN GATE W/ INTERCOM & CARD READER, PAINTED BLACK.	E / 10-203
W-9	PAVILION GATE	4" W. WROUGHT IRON GATE, PAINTED BLACK, HARDWARE TO BE INSTALLED ON INTERIOR SIDE OF GATE.	PER ARCHITECTURAL PLANS
W-10	WROUGHT IRON FENCE	4" W. WROUGHT IRON MAINTENANCE GATE, PAINTED BLACK, INSTALL MAINTENANCE ACCESS GATE, PER PLAN.	B / 10-203
W-11	MAINTENANCE ACCESS GATE	4" W. WROUGHT IRON MAINTENANCE GATE, PAINTED BLACK.	A / 10-203

**Wall & Fence Plan**

- Wrought Iron Fence
- Wrought Iron Gate
- CMU Block Wall
- Outdoor Pavilion Retaining Wall
- Concrete Spall Wall w/ Wood Slat Seat
- Precast Concrete Bench
- Outdoor Pavilion Wall
- Vegetarian Access Gate
- Pavilion Gate
- Wrought Iron Fence
- Maintenance Access Gate

**FOOD SHARE VENTURA COUNTY**

FOOD SHARE VENTURA COUNTY  
1425 MARINER DRIVE  
OAKLAND, CA 94612

Jackson Liles ARCHITECTURE

1425 Mariner Drive, Suite 200  
Oakland, CA 94612  
Tel: 510.438.1000  
www.jacksonliles.com

FOOD SHARE VENTURA COUNTY

DATE: 10/20/2023  
SCALE: 1" = 30'

PROJECT: FOOD SHARE VENTURA COUNTY  
SHEET: WALL AND FENCE PLAN  
DRAWN BY: J. LILES  
CHECKED BY: J. LILES  
DATE: 10/20/2023

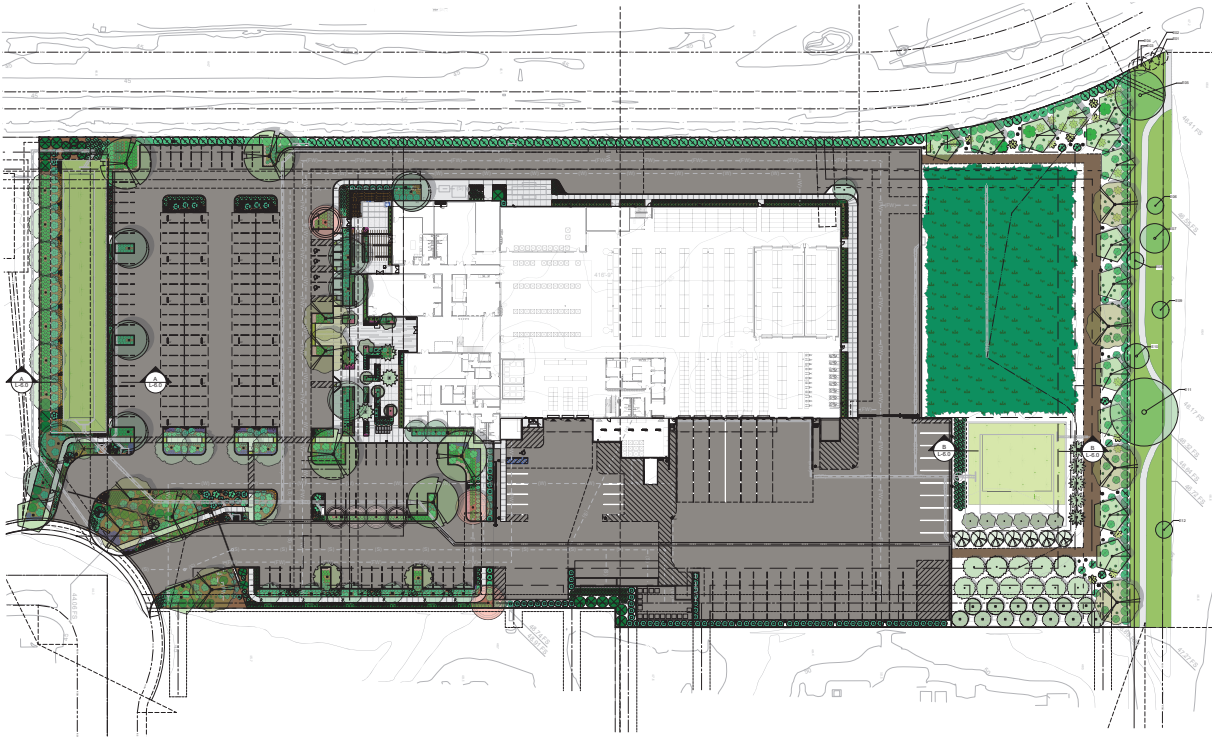
DO - SCHEMATIC DESIGN - WALL/FENCE PLAN

LC-1.05



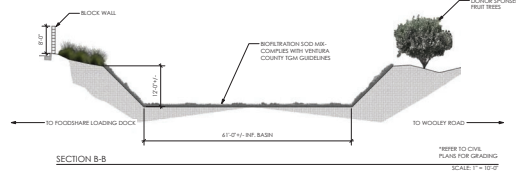
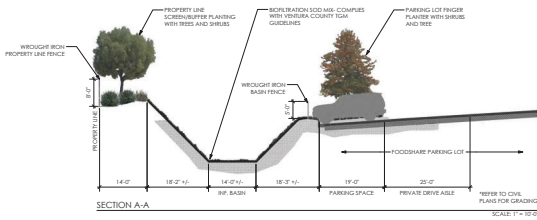
PROJECT NUMBER	
DATE	06/15/2016
PROJECT NAME	FOOD SHARE VENTURA COUNTY
PROJECT ADDRESS	1432 MARSH DRIVE, GARDEN, CA 95023
PROJECT TYPE	LANDSCAPE ARCHITECTURE
PROJECT PHASE	CONCEPT DESIGN
PROJECT STATUS	
PROJECT OWNER	
PROJECT CONTACT	
PROJECT PHONE	
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	

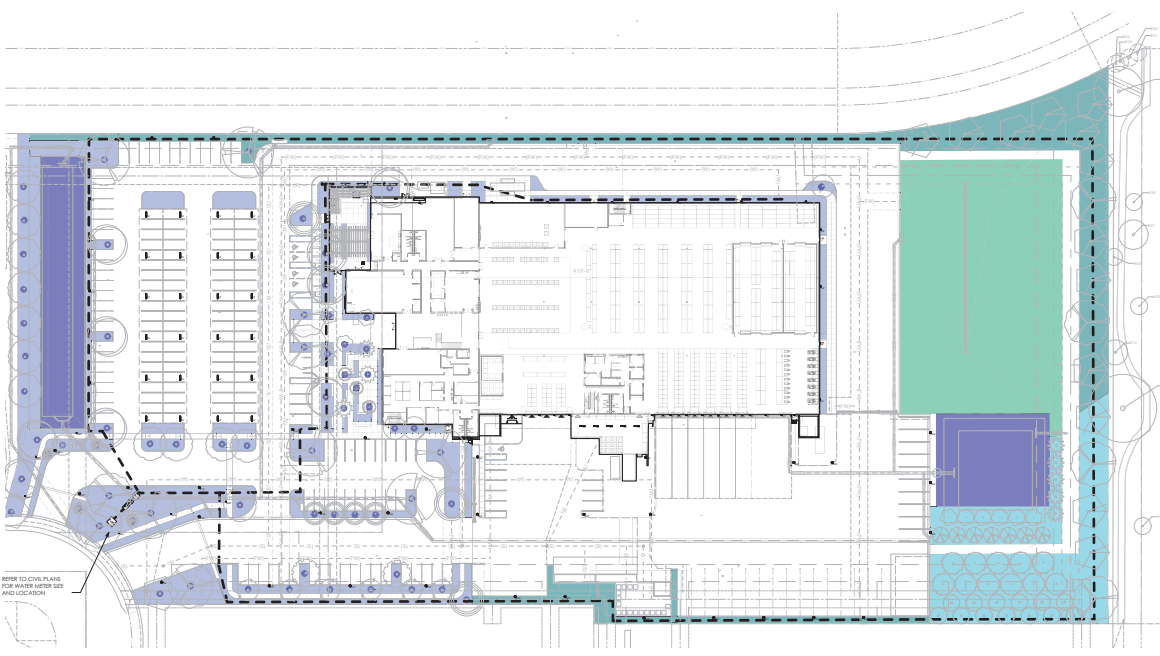
FOOD SHARE VENTURA COUNTY	
DATE	06/15/2016
BY	JL
SCALE	AS SHOWN
PROJECT NAME	FOOD SHARE VENTURA COUNTY
PROJECT ADDRESS	1432 MARSH DRIVE, GARDEN, CA 95023
PROJECT TYPE	LANDSCAPE ARCHITECTURE
PROJECT PHASE	CONCEPT DESIGN
PROJECT STATUS	
PROJECT OWNER	
PROJECT CONTACT	
PROJECT PHONE	
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	



LANDSCAPE BIORETENTION PLAN

SCALE: 1" = 30'-0"





SCHEMATIC IRRIGATION DESIGN

SCALE: 1" = 30'

TYPICAL	DESCRIPTION	MANUFACTURER	SIZE	MODEL	GPM	PSI	DETAIL / SHEET
VALVES	2" BRASS VALVE	SPRING	1/2" NPT	MODEL	1-300	50-100	0-10-201
PIPES	2" BRASS VALVE	SPRING	1/2" NPT	MODEL	1-300	50-100	0-10-201
POINTS OF CONNECTION	2" BRASS VALVE	SPRING	1/2" NPT	MODEL	1-300	50-100	0-10-201
CONTROLLERS	2" BRASS VALVE	SPRING	1/2" NPT	MODEL	1-300	50-100	0-10-201
IRRI-GATOR	2" BRASS VALVE	SPRING	1/2" NPT	MODEL	1-300	50-100	0-10-201

NOTE: ALL IRRIGATION AND IRRIGATION COUNTY WITH ORDINANCE NO. 2022, WHICH ADOPTED THE CITY OF SAN JOSE LANDSCAPE WATER CONSERVATION STANDARDS AND APPLICABLE WATER CONSERVATION REQUIREMENTS OF THE STATE OF CALIFORNIA.

DATE: 5/7/2020

JACKSON LILES ARCHITECTURE

DATE: 5/7/2020

PROJECT CONTACT: JACKSON LILES ARCHITECTURE

PROJECT CONTACT: JACKSON LILES ARCHITECTURE

PROJECT CONTACT: JACKSON LILES ARCHITECTURE

PROJECT CONTACT: JACKSON LILES ARCHITECTURE

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PROJECT CONTACT: JACKSON LILES ARCHITECTURE

PROJECT CONTACT: JACKSON LILES ARCHITECTURE

PROJECT CONTACT: JACKSON LILES ARCHITECTURE

**NOTICE OF EXEMPTION (NOE)**

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**To:** Office of Planning and Research  
P.O. Box 3044, Room 113  
Sacramento, CA 95812-3044

**From:** City of Oxnard  
Community Development Department  
214 South C Street  
Oxnard, CA 93030

**To:** Ventura County Clerk-Recorder &  
Registrar of Voters  
Hall of Administration, Main Plaza  
800 South Victoria Avenue,  
Ventura, CA 93009-1260

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**Project Title:** Food Share Ventura County

**Project Applicant:** Food Share Inc.

**Project Location - Specific:** 1100 East Wooley Road & 1425 Mariner Drive, Oxnard, CA, 93033, Ventura County, APNs: 220-0-301-415 and 220-0-301-445.

**Description of Nature, Purpose and Beneficiaries of Project:** Food Share Ventura County is requesting to develop a new warehousing facility for food receiving, storage, and distribution. This development primarily consists of the construction of a new approximately 85,845 square feet of floor area), 49'9" high building. This would be accompanied by an enclosed shipping and receiving yard with loading docks, canopies, a trash enclosure, and a bin washing and storage area. The proposed development includes the following uses: administrative offices, conference/meeting areas, and a commercial kitchen to prepare meals for distribution. The property will have solar shade structures covering 84 of the 178 proposed parking stalls, as well as landscape and hardscape improvements, which include an employee outdoor amenity area and a fruit orchard. Additionally the application requests to move the lot line between the two parcels leaving an vacant 2.07 acre parcel and a 9.70 acre parcel with the full proposed development. Filed by Tanner Shelton of Sanbell on behalf of property owner Food Share Inc., 4156 Southbank Road, Oxnard, CA 93036.

**Name of Public Agency Approving Project (Lead Agency):** City of Oxnard

**Name of Person or Agency Carrying Out Project (Applicant):** Tanner Shelton, Designated Agent

**Exempt Status: (check one):**

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- Categorical Exemption: Section 15303

Statutory Exemptions. State code number: 21080.69

**Reason(s) why project is exempt:** In accordance with § 21080.69 (Statutory Exemption) of the State CEQA Guidelines, “a project that consists exclusively of a nonprofit food bank or food pantry, defined as a nonprofit organization that is exempt from federal income taxation under Section 501(c)(3) of the Internal Revenue Code of 1986, as amended (26 U.S.C. Sec. 501(c)(3)), that solicits, stores, and distributes sufficient food to their defined service area, if the project is located on a site that is zoned exclusively for industrial uses.” may be found to be exempt from the requirements of the California Environmental Quality Act (CEQA). This proposal is on a parcel zoned exclusively for industrial use and is being developed specifically for a non-profit food bank (501(c)(3) # 77-0018162) that solicits, stores, and distributes food. No environmental sensitive areas are on or adjacent to the property.

**Lead Agency Contact Person:** Daniel Houck, Associate Planner, 805-385-7556

---

Joe Pearson II, AICP  
 Planning and Environmental Services Manager  
 City of Oxnard

---

Date

Note: Authority cited: Sections 21083 and 21110, Public Resources Code.  
 Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

RESOLUTION NO. 2025-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OXNARD APPROVING PLANNING AND ZONING PERMIT NOS. 24-540-02 (PLANNED DEVELOPMENT PERMIT) AND 24-310-03 (LOT LINE ADJUSTMENT) TO CONSTRUCT A NEW APPROXIMATELY 85,845 SQUARE FEET 2-STORY BUILDING INCLUDING ASSOCIATED SITE IMPROVEMENTS AND A LOT LINE ADJUSTMENT AT 1100 E. WOOLEY ROAD AND 1425 MARINER DRIVE (APNS: 220-0-301-415 AND 220-0-301-445), SUBJECT TO CERTAIN FINDINGS AND CONDITIONS. FILED BY TANNER SHELTON OF SANBELL ON BEHALF OF PROPERTY OWNER FOOD SHARE INC., 4156 SOUTHBANK ROAD, OXNARD, CA, 93036.

WHEREAS, on November 20, 2024, Tanner Shelton of Sanbell on behalf of property owner Food Share Inc., (the “**Applicant**” and/or “**Developer**”), submitted a request to construct a new 85,845 square-foot building with associated site improvements on part of two properties totaling 11.77 acres located at 110 E. Wooley Road and 1425 Mariner Drive; and

WHEREAS, the subject properties will undergo a lot line adjustment to allow the development on the northern parcel, which is proposed as 9.70 acres (currently 7.10) and leaving a vacant parcel of 2.07 acres (currently 4.67 acres); and

WHEREAS, on October 16, 2025, the Planning Commission of the City of Oxnard (“**Planning Commission**”) conducted a duly noticed public hearing to consider Applicant’s request to approve Planning and Zoning Permit No. 24-540-02 (Planned Development Permit) and 24-310-03 (Lot Line Adjustment) to construct a new 75,850 square foot (85,845 square feet of floor area) building with associated site improvements and a lot line adjustment (the “**Project**”) in accordance with Section 16-270 and Section 16-530 through 16-553 of Oxnard City Code; and

WHEREAS, Section 16-540 of the Oxnard City Code authorizes the Planning Commission to approve a Planned Development Permit; and

WHEREAS, the Project has been reviewed by members of the Development Advisory Committee (DAC) and those members have prepared conditions of approval that are incorporated within the recommended permit; and

WHEREAS, the Planning Commission finds that the Project conforms to the City of Oxnard 2030 General Plan elements thereof and the Oxnard City Code for the reasons set forth in the Planning Commission Staff Report; and

WHEREAS, the Planning and Environmental Services Division has completed a preliminary environmental assessment of the Project in accordance with the California Environmental Quality Act (CEQA) and determined that the Project is exempt under Public Resource Code Section 21080.69, which can exempt projects from CEQA that consist exclusively of a nonprofit food bank or food pantry, defined as a nonprofit organization that is exempt from federal income taxation under Section 501(c)(3) of the Internal Revenue Code of 1986, as amended (26 U.S.C. Sec. 501(c)(3)), that solicits, stores, and distributes sufficient food

to their defined service area, if the project is located on a site that is zoned exclusively for industrial uses.

WHEREAS, the Planning Commission finds after due study and deliberation that the applicant agrees with the necessity of and accepts all elements, requirements, and conditions of this Resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this development in particular; and

WHEREAS, the Planning Commission finds that the Applicant agrees as a condition of this Resolution that at its own expense, to indemnify defend (with counsel selected by the City in its discretion) and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of this Resolution or any actions or proceedings, acts or determinations taken, done or made before the approval of this resolution that were part of the approval process.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF OXNARD:

SECTION 1. Based on the entire record before the Planning Commission and all written and oral evidence presented, including the Planning Commission Staff Report and all attachments thereto, the Planning Commission finds:

- (1) **The proposed use is in conformance with the City of Oxnard 2030 General Plan and the elements thereof and other adopted standards.**

The proposed use is located on a property with a General Plan designation of Industrial Limited, which would be a compatible zone for this use. It also is consistent with the goals of supporting local food partnerships and prioritizing infill development. Thus, the proposed use is in conformance with the City of Oxnard 2030 General Plan and the elements thereof and other adopted standards. Additionally, this industrial development is consistent with Chapter 16 of the zoning code, allowing the proposed uses of warehousing, distribution, administrative support, and commercial kitchens within the M-L-PD (Limited Manufacturing) zone. The zoning designation also carries the Planned Development additive zone. Under this additive zone, a Special Use Permit is necessitated and processed as a Planned Development Permit. The project is in conformance with this additive zone.

- (2) **The proposed use will not adversely affect or be materially detrimental to the adjacent uses, buildings or structures or to the public health, safety or general welfare.**

The land will become more similar in character with the adjacent uses, which are also limited industrial developments. The location, height and bulk of the proposed use and buildings will not materially affect the nearby uses, buildings or

structures, or the public health, safety or general welfare. The building has significant setbacks from all property lines, especially those with public right of way.

- (3) The site for the proposed use is adequate in size and shape to accommodate the setbacks, parking, landscaping, and other City standards except as may be specifically excepted by the special findings and conditions of this Resolution.**

The project site is vacant, but the proposed buildings can be built without impeding into the required setbacks. Significant landscaping is proposed as part of the development. Parking far exceeding the required rate by Oxnard City Code is supplied on the subject property. The site is adequate in size for the proposed development to be built and meet all requirements of the Oxnard City Code.

- (4) The site for the proposed use will be served by streets and highways adequate in width and structure to carry the kind and quantity of traffic such use will generate.**

The development is located along a major thoroughfare in the City (Wooley Road) and as described in Section 6 of the Planning Commission Staff Report, the Project will construct its two access driveways from the corner of Mariner Drive and Voyager Place. There will be some traffic impact as the development is of significant size, however, the overwhelming majority of traffic trips are not new to Oxnard as the current facility is already in proximity to City limits. Therefore, a significant portion of trips are merely being redistributed through the City. The immediate vicinity is also a low-traffic area. All traffic impacts have been reviewed by the Traffic Division. The site has sufficient access to streets and highways that are adequate in size.

- (5) The site for the proposed use will be provided with adequate sewerage, water, fire protection and storm drainage facilities.**

The Project is considered infill development that has been found to be consistent with anticipated development for this site. Furthermore, the Project will be served by existing water and sewer connections. Engineering has conditioned the project to be consistent with public services and drainage requirements. The Fire Department has also conditioned the project to ensure compliance with fire code and all infrastructure requirements.

SECTION 2. The Planning Commission, in accordance with CEQA, determines that the Project will not have a significant impact on the environment and is statutorily exempt from CEQA pursuant to Public Resource Code Section 21080.69, which pertains to projects consisting exclusively of a nonprofit food bank or food pantry, defined as a nonprofit organization that is exempt from federal income taxation under Section 501(c)(3) of the Internal Revenue Code of

1986, as amended (26 U.S.C. Sec. 501(c)(3)), that solicits, stores, and distributes sufficient food to their defined service area, if the project is located on a site that is zoned exclusively for industrial uses. The Planning Commission has determined that there is no substantial evidence that the project will have a significant effect on the environment and no Exceptions to the Exemptions (Section 15300.2) apply to defeat the Exemption. The Planning and Environmental Services Division is hereby authorized and directed to file a Notice of Exemption with the Ventura County Clerk pursuant to § 15602 of the State CEQA Guidelines within five (5) working days of passage, approval and adoption of this Resolution.

**SECTION 3.** Based on the findings set forth herein, the Planning Commission hereby approves Planning and Zoning Permit 24-540-02 (Planned Development Permit) and 24-310-03 (Lot Line Adjustment), subject to the conditions of approval, which will now supersede the prior existing SUP 04-500-02 (Resolution 2004-22) for APNs: 220-0-301-415 and 220-0-301-445.

**SECTION 4.** The decision of the Planning Commission shall be final unless an appeal of the action is filed in accordance with the provisions of Section 16-545 of the Oxnard City Code.

**SECTION 5.** The Secretary shall certify the adoption of this Resolution.

### CONDITIONS OF APPROVAL

Note: The abbreviations below identify the City department or division responsible for determining compliance with these standard conditions. The first department or division listed has responsibility for compliance at plan check, the second during inspection and the third at final inspection, prior to issuance of a certificate of occupancy, or at a later date, as specified in the condition. If more than one department or division is listed, the first will check the plans or inspect the project before the second confirms compliance with the condition. The italicized code at the end of each condition provides internal information on the source of each condition: Some are standard permit conditions (e.g. *G-1*) while some are taken from environmental documents (e.g. *MND-S2*).

<b>DEPARTMENTS AND DIVISIONS</b>			
CA	City Attorney	PL	Planning Division
DS	Dev Services/Eng Dev/Inspectors	TR	Traffic Division
PD	Police Department	B	Building Plan Checker
SC	Source Control	FD	Fire Department
PK	Landscape Design	CE	Code Compliance

### GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another. (PL, *G-1*).
2. This permit is granted for the plans dated October 16, 2025 (“the plans”) on file with the Planning Division. The project shall conform to the plans, except as otherwise specified in these conditions, or unless a minor modification to the plans is approved by the Planning

and Environmental Services Manager (“Planning Manager”) or a major modification to the plans is approved by the Planning Commission. A minor modification may be granted for minimal changes or increases in the extent of use or size of structures or of the design. A major modification shall be required for substantial changes or increases in such items. (PL, G-2)

3. This permit shall automatically become null and void 36 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements. A one time extension to this permit may be granted for a maximum of 12 additional months. The request for the extension shall be applied for prior to the expiration of the permit (PL, G-3)
4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Engineering Division Manager allows the Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements. (DS, G-4)
5. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein. (CA, G-5)
6. Developer agrees, as a condition of adoption of this resolution, at Developer’s own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process. (CA, G-6)
7. Any covenants, conditions, and restrictions (CC&Rs) applicable to the project property shall be consistent with the terms of this permit and the City Code. If there is a conflict between the CC&Rs and the City Code or this permit, the City Code or this permit shall prevail. (CA, G-7)
8. Developer shall complete the “Notice of Land Use Restrictions and Conditions” form, using the form provided by the City, for recording with the Ventura County Recorder. Before the City issues building permits, Developer shall submit the original completed, signed and notarized document, together with the required fees to the Planning Manager. (PL, G-8)
9. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property. (PL/B, G-10)

10. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit. (B, *G-11*)
11. Developer shall not permit any combustible refuse or other flammable materials to be burned on the project property. (FD, *G-12*)
12. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health to be handled, stored or used on the project property, except as provided in a permit issued by the Fire Chief. (FD, *G-13*)
13. If Developer, owner or tenant fails to comply with any of the conditions of this permit, the Developer, owner or tenant shall be subject to a civil fine pursuant to the City Code. (CA, *G-14*)
14. Prior to issuance of building permits, Developer shall correct all violations of the City Code existing on the project property for which the Code Compliance Division has open cases. (PL, *G-15*).

#### **LANDSCAPE STANDARD CONDITIONS**

15. Developer shall properly maintain landscape planting and all irrigation systems as required by the City Code and as specified by this permit. Failure of Developer to do so may result in the revocation of this permit and initiation of legal proceedings against Developer to ensue compliance (PK, *PK-4*)
16. Prior to the issuance of a certificate of occupancy, Developer shall provide an automatic irrigation controller and seasonal watering schedule to the property owner and/or building manager. The irrigation system shall include automatic rain shut-off devices, or instructions on how to override the irrigation system during rainy periods. The watering schedule shall include variations for seasonal changes, sun and shade exposure of plants, type of plants, duration and frequency of irrigation, and suggestions as to how to conserve water. As part of the landscape plan check submittal process, the City's Landscape Architect shall review the sufficiency of instructions for the operation of the irrigation controller and the watering schedule cycles. (PK, *PK-5*)
17. All trees planted or placed on the property by Developer shall be at least 24-inch-box size. All shrubs and vines shall be at least five-gallon size, except as otherwise specified by this permit. (PK, *PK-6*)
18. At the time of landscape plan check submittal, the landscape planting and irrigation plans shall comply with the current title 23 Model Water Efficient Landscape Ordinance (MWELo) and a note shall be placed on the plans submitted to the Building and Engineering Division "that all landscaping and irrigation comply with Ordinance No. 2822,

which adopted the City of Oxnard Landscape Water Conservation Standards, and applicable water conservation requirements of the State of California. (PK, PK-7.1)

19. At time of submittal to the Building and Engineering Division for plan check, Developer's Landscape Architect or Architect shall provide the City with written confirmation that they have reviewed the civil engineering construction drawings and that the NPDES requirements are not in conflict with meeting the City's landscape requirements. (PK, PK-23)
20. Developer shall include a note on the Landscape Plans submitted to the Building and Engineering Division for a building permit that "all landscaping and irrigation comply with Article XIII Landscape Water Conservation Standards of the Oxnard City Code (Section 22-240 through 22-247, which adopted the City of Oxnard Landscape Water Conservation Standards, and applicable water conservation requirements of the State of California". (PK, PK-24)
21. At the time of Plan Check submittal, the landscape plans shall contain an exhibit titled "Tree Tabulation Chart". The Tree Tabulation Chart shall contain a listing of all existing trees on site and shall refer to them by number as identified in the Arborist's Tree Report. The Tree Tabulation Chart shall clearly list all trees to remain, be removed or transplanted. The Chart shall contain the Arborist's economic appraisal value of each tree(s) removed as well as computations and calculations showing how the value of the removed tree(s) was put back into new tree sizes for the project that are in addition to meeting the City's minimum tree size of 24" box. (PK)

#### **PLANNING DIVISION STANDARD CONDITIONS**

22. Plans submitted by Developer with building permit applications shall show on the building elevation sheets all exterior building materials and colors, including product and finish manufacturer name, color name and number, and surface finish type (such as: stucco with sand finish, plaster with smooth finish) to be used in construction. (PL/B, PL-1)
23. Before the City issues building permits, Developer shall include a reproduction of all conditions of this Project permit in all sets of construction documents and specifications for the Project. (PL, PL-3)
24. During the plan check review process, the Developer shall provide a lighting plan that provides design details (light standards, bollards, wall mounted packs, etc.) and illumination site information within alleyways, pathways, streetscapes, and open spaces proposed throughout the Project. An electrical engineer shall prepare the site lighting plan demonstrating that adequate lighting ranges will be provided throughout the Project without creating light spillover, light pollution, or conflicts with surrounding factors such as tree locations, off-site or adjacent lighting. (PL)

25. Exterior lighting of the site, including parking areas, shall be between 1 and 7-foot candles and shall be in harmony with existing adjacent lighting schemes. Lighting bollards shall not be used as part of the foot candle calculation on photometric sheets.
26. Project on-site lighting shall be of a type and in a location that does not constitute a hazard to vehicular traffic, either on private property or on adjoining streets. To prevent damage from vehicles, standards in parking areas shall be mounted on reinforced concrete pedestals or otherwise protected. Developer shall recess or conceal under-canopy lighting elements so as not to be directly visible from a public street. (PL/B, *PL-8*)
27. Because of water limitations placed upon the City by its water providers, approval of this permit does not guarantee that the City will issue building permits. Issuance of building permits may be delayed as a result of implementation of a water conservation or allocation plan. (PL, *PL-15*)
28. Prior to issuance of building permits, Developer shall pay a document imaging fee for the planning files in an amount calculated by planning staff at the time of building permit review based on fees then in effect. (PL/B, *PL-16*)
29. Developer shall recess or screen new roof heating and cooling systems and other exterior mechanical equipment from adjoining property and public streets, as required by this permit. Plumbing vents, ducts and other appurtenances protruding from the roof of structures shall be placed so that they will not be visible from the front of the property or other major public vantage points. Developer shall include a note on the construction plumbing drawings of exterior elevations to indicate to contractors that roof features shall be grouped and located in the described manner. Roof vents shall be shown on construction drawings and painted to match roof material color. (PL/B, *PL-41*)
30. Developer shall install all roof and building drainpipes and downspouts inside building elements unless designed to function dually as an architectural feature that adds aesthetic value to the building. Any drainpipes and downspouts that do not qualify as such architectural feature above, shall not be visible on any exterior building elevations. (PL)
31. For any exterior utility meter panels, Developer shall paint such panels to match the structure upon which it is located. Such panels shall be located to take advantage of screening (e.g. landscaping or other building elements) from public right-of-ways, to the maximum extent feasible. (PL, *PL-43*)
32. Developer shall pay applicable impact fees, including but not limited to the fees authorized by City Council Resolution 15,329 (Growth Requirement Capital Fee, Park and Recreation Fee, Traffic Circulation Fee, Storm Drainage Fee, Mobility Fee, Public Art Program Fee, and Utility and Undergrounding in-Lieu Fee) and for wastewater, water system, water service and meter, storm drain, traffic (City and County), growth capital, park, public art, and General Plan maintenance connection and/or impact fees before issuance of building permits. (PL-44)

33. Construction activities shall be limited to the hours of 7:00 am to 6:00 pm, Monday through Saturday. No construction shall occur after hours, on Sundays, or national holidays without permission from the City. (PL-45)
34. Prior to issuance of a certificate of occupancy, Developer shall remove all construction materials and vehicles from the subject property. (PL/B, PL-47)
35. Developer shall stripe loading zones placed partly or wholly within a structure for loading and unloading activities only and post to prohibit storage or other non-loading activity within the loading zone. (PL/B, PL-49)
36. Trash bins in the bin washing enclosure must only be stored completely within the bin enclosure and never stacked above the height of the enclosure. All stored bins must be empty.
37. Outdoor storage is not permitted within the loading area or any other part of the property, with the exception that within the loading yard enclosure incidental temporary storage associated with the immediate loading and unloading of items is allowed for up to 24 hours.
38. No distribution of prepared meals or stored food items shall be made directly to the general public onsite.
39. All conditions of approval from Resolution 7051, the “Channel Islands Business Center Development Guidelines” are in full force and effect.
40. If built under this entitlement, the project must be occupied by a food bank use that qualifies under the CEQA exemption used for this project. The project site cannot be operated by any business that does not fulfill this exemption for a minimum of 3 years from the date of the Certificate of Occupancy.
41. With initial building submission the Developer shall provide a condition compliance matrix showing compliance with each condition of approval on the project. The condition compliance matrix shall list each of the conditions and with written responses to each condition showing how the condition has been met.
42. Developer shall remove any and all graffiti from the project premises, including but not limited to graffiti within the building, such as in restrooms or fitting rooms, within 24 hours of its appearance. The surface of such affected areas shall be matched to blend in with the underlying colors and/or design, and shall not look like a paint patch. Site management shall maintain a supply of paint to match the building’s exterior color scheme. (PL)
43. This permit is granted subject to the City’s approval of a Lot Line Adjustment and recordation of the Certificate of Approval. The City shall issue building permits only after such recordation, unless otherwise approved by both the Planning Division Manager and the Development Services Manager. Before occupying any structures or initiating any use

approved by this permit, Developer shall comply with all conditions of the tentative and final map. (PL)

44. All conditions of Tentative Map 04-300-02 (Resolution 2004-23) remain in full force and effect.
45. Developer shall mitigate air quality emissions associated with development of the subject site through a contribution to the City's Transportation Demand Management (TDM) program. Such fee shall be calculated at the time of building permit issuance in accordance with the Ventura County Air Quality Assessment Guidelines, as amended. Such fee shall be collected in full prior to building permit issuance.
46. During construction, Developer shall control dust at all times by the following activities:
  - a. All trucks hauling graded or excavated material offsite shall be required to cover their loads as required by California Vehicle Code section 23114, with special attention to sub sections 23114(b)(2)(F), (e)(2) and (e)(4) as amended, regarding the prevention of such material spilling onto public streets and roads.
  - b. All graded and excavated material, exposed soils areas, and active portions of the construction site, including unpaved onsite roadways, shall be treated to prevent fugitive dust. Treatment shall include, but not necessarily be limited to, periodic watering, application of environmentally-safe soil stabilization materials, and/or roll-compaction as appropriate. Watering shall be done as often as necessary and reclaimed water shall be used whenever possible. (B/DS, PL-12)

#### **ENVIRONMENTAL RESOURCES DIVISION STANDARD CONDITIONS**

47. This property is required to comply with state mandated diversion laws (AB 939, AB 341, AB 1826, SB 1383, AB 827) and must make provisions to manage three material streams (recycling, organics, trash) in any waste enclosure(s) constructed.
48. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused or recycled, Developer shall complete and submit a "Environmental Resources Division Construction and Demolition Waste Management Plan" ("C&D Plan") to the City for review and approval. The C&D Plan shall provide that at least 65% of the waste generated on the project be diverted from the landfill. The C&D Plan shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The C&D Plan shall be submitted to and approved by the Environmental Resources Division prior to issuance of a building permit. The C&D Plan shall include the following information: material type to be recycled, reused, salvaged or disposed; estimated quantities to be processed; management method used; destination of material including the hauler name and facility location. Developer shall use the appropriate C&D Plan form as defined by the Environmental Resources Division.
49. Developer shall follow the approved "Environmental Resources Division Construction and Demolition Waste Management Plan" and provide for the collection, recycling, and/or reuse of materials (i.e., concrete, wood, metal, cardboard, green waste, etc.) and document results

during construction and/or demolition of the proposed project. After completion of project activity, Developer shall complete and submit the “Environmental Resources Division Construction and Demolition Waste Management Report” (“C&D Report”) and provide legible copies of weight tickets, receipts, or invoices for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, Developer shall provide documentation, on the disposal facility’s letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused, and the project generating the discarded materials. Developer shall submit and obtain approval of the C&D Report prior to issuance of a certificate of occupancy.

50. Developer shall arrange for materials collection during construction, demolition, and occupancy with the City's Environmental Resources Division or Developer shall arrange for self-hauling.
51. An Occupancy Plan must be submitted and approved prior to issuance of a certificate of occupancy. The Occupancy Plan must clearly state how recyclable and organic material, as appropriate, will be managed on site to be in compliance with applicable state laws (AB 939, AB 341, AB 1826, SB 1383, AB 827); how staff will participate in the program; and how customers will be alerted to the presence of recycling on site and how contamination will be minimized. The Occupancy Plan must include what service provider(s) will manage/transport materials to appropriate facilities for processing and/or Disposal.
52. Per AB 827, public areas that provide waste collection to customers must have an equitable distribution of containers for recycling, organics and trash that are easily accessible. This requirement does not apply to restrooms.
53. This property is required to adhere to applicable solid waste management ordinances, including future ordinance creation and/or revisions.
54. Any landscaping maintenance resulting in organic material needing disposal, if performed in-house or via third party, must not be placed in the trash. All organic materials are required to be diverted from landfill disposal. Any third-party contract/service agreement must stipulate this requirement and be verified through the Environmental Resources Division.
55. The trash enclosure shall meet the City’s latest trash enclosures requirements at the time of building permit submittal.
56. Trash enclosure must meet City Ordinance No. 3007 requirement for all three waste streams (refuse, recycling and organic waste).
57. Developer shall dispose of sewage and solid waste from the project by City’s wastewater and solid waste systems in a matter approved by the City Engineer.

**ENGINEERING DIVISION STANDARD CONDITIONS**

58. Developer shall pay plan check and processing fees in effect at the time of construction plan submittal and shall pay development fees, encroachment permit fees, and other applicable fees in effect at permit issuance. (DS-1)
59. Developer shall have the site improvement plans prepared using standard Building and Engineering Division format(s) by a civil engineer licensed in the State of California. The plans shall incorporate recommendations from soil engineering and geology reports. Prior to issuance of a grading permit, improvement plans must be approved by the City Engineer and ink-on-mylar plans filed with the Building and Engineering Division. (DS-3)
60. Before connecting the project to existing sewer and water service laterals, Developer shall conduct an inspection (pothole or video) of the existing lateral(s) and arrange for City staff to view inspection results. Developer shall make repairs to such facilities as determined necessary by City staff. Developer shall bring all existing water services into compliance with current City standards including removal of unused water or sewer laterals by disconnection at the main. (DS-7)
61. Developer shall install all new on-site electric, cable, telephone and similar utility service laterals underground. Services shall be installed underground to the nearest suitable riser pole as determined by the appropriate utility service provider. (DS-12)
62. Developer shall enter into an agreement, approved as to form by the City Attorney, to install and construct all public improvements required by this permit and by the City Code. Developer shall post security satisfactory to the Finance Director, guaranteeing the installation and construction of all required improvements within the time period specified in the agreement or any approved time extension. (DS-14)
63. A California licensed civil engineer shall prepare the public/site improvement plans and documents for this project in accordance with City standards and shall submit all such plans to the City Engineer. Submittal shall include, but not necessarily be limited to, grading, street, drainage, sewer, water and other appurtenant improvement plans, construction cost estimates, soils reports, and all pertinent engineering design calculations. City will not approve a parcel map or final map nor issue a grading, site improvement or building permit until the City Engineer has approved all improvement plans. (DS-15)
64. Prior to issuance of a site improvement permit, Developer shall provide to the Building and Engineering Division digital copies of all project maps, address map, and/or civil improvements drawings in DWG format. Prior to improvement bond release, Developer shall provide updated digital files containing all changes that occur during construction. (DS-16)
65. Developer shall provide all necessary easements for streets, highways, alleys, sidewalks, parkways, landscaping, utilities, drainage facilities, or other improvements as required by City. If such easements cannot be obtained from the property owner by negotiation, City may acquire them at the expense of Developer by exercise of the power of eminent domain. Developer shall bear all costs of eminent domain proceedings, including appraisal,

- acquisition, attorney's fees, and court costs. Before the City issues a site improvement permit, Developer shall dedicate all required easements to the City. (DS-19)
66. Developer shall remove graffiti from the project, including graffiti on offsite public infrastructure under construction by Developer, within 24 hours of its appearance. If Developer fails to remove graffiti in accordance with this condition, the City may at the discretion of the City Engineer issue a stop work order until such time as the graffiti is removed. (DS-20)
  67. The conditions of this resolution shall prevail over all omissions, conflicting notations, specifications, dimensions, typical sections, and the like, that may or may not be shown on the improvement plans. (DS-21)
  68. Developer shall pay the cost of all inspections of on-site and off-site improvements. (DS-22)
  69. Developer shall be responsible for all project-related actions of Developer's employees, contractors, subcontractors, and agents until the City accepts the improvements. (DS-23)
  70. Prior to beginning construction, Developer shall designate in writing an authorized agent who shall have complete authority to represent and to act for Developer. The authorized agent shall be present at the work site whenever work is in progress. Developer or the authorized agent shall make arrangements acceptable to the City for any emergency work. When City gives orders to the authorized agent to do work required for the convenience and safety of the general public because of inclement weather or any other cause, and the orders are not immediately acted upon by the authorized agent, City may do or have such work done by others at Developer's expense. (DS-24)
  71. "Standard Specifications for Public Works Construction" latest edition (including modifications thereto by City) and applicable City Standard Plates and Design Criteria shall be the project specifications, except as noted otherwise on the approved improvement plans. City reserves the right to upgrade, add to, or revise these specifications and plans and all other City ordinances, policies, and standards. If the improvements required of this project are not completed within 12 months from the date of City's approval of the improvement plans, Developer shall comply with and conform to any and all upgraded, additional or revised specifications, plans, ordinances, policies and standards. (DS-27)
  72. Developer shall retain a California licensed Civil Engineer to ensure that the construction work conforms to the approved improvement plans and specifications and to provide certified "as-built" plans after project completion. Developer's submittal of certified "as-built" plans is a condition of City's final acceptance of the project and release of any associated security. (DS-29)
  73. All grading shall conform to City's standard grading notes, City Code, and recommendations of the Developer's soils engineer as approved by the City Engineer. (DS-30)
  74. Storm drain, sewer and water facilities shall conform to applicable City Master Plans. Developer shall prepare plans for these facilities in accordance with City's engineering

design criteria in effect at the time of improvement plan submittal. Developer shall submit plans with pertinent engineering analyses and design calculations for review and approval by the City Engineer prior to issuance of a site improvement permit. (DS-34)

75. Prior to designing the water system for the project, Developer shall have a certified fire flow test performed to determine existing water pressure and flow characteristics with a minimum of two flowing hydrants. The water system for the building fire sprinkler shall be designed to allow for a 10 psi drop in the static water pressure measured during the fire flow test. After construction and before the City issues a certificate of occupancy, the City Engineer may require a second test. Developer shall obtain permits from the City Engineer prior to performing tests. Developer shall have all tests certified by a mechanical, civil, or fire protection engineer and provide written results of all tests to the City Engineer. (DS-47)
76. Developer shall provide soils reports, "R" value tests, and compaction tests for all streets. Determination of the actual structural sections shall be based on City's design procedure, "R" value tests of in-place soils, and approved traffic indices. (DS-53)
77. Developer shall install all water, gas, sewer, storm drain, electrical, cable television, and telephone lines before any paving is placed. (DS-54)
78. Developer shall submit a landscape irrigation plan prepared by a licensed professional, showing proper water meter size, backflow prevention devices, and cross-connection control. (DS-59)
79. Developer shall be responsible for and bear the cost of replacement of all existing survey monumentation (e.g., property corners) disturbed or destroyed during construction, and shall file appropriate records with the Ventura County Surveyor's Office. (DS-64)
80. In non-residential developments where fifty or more persons are employed, Developer shall include a transportation information center stocked with bus schedules, rideshare information, and related information on alternative methods of transportation. Developer or the owner shall update such information at least once a month. (TR-77)
81. Developer shall design project to minimize degradation of stormwater quality by complying with the applicable sections of the Los Angeles Regional Water Quality Control Board's municipal separate storm sewer system ("MS4") permit (Order R4-2010-0108 including all revisions) for new development and redevelopment projects. Developer shall submit stormwater quality calculations and associated construction plans demonstrating compliance with the MS4 permit. Calculations shall generally be organized to follow the steps outlined in Chapter 2 of the 2011 Technical Guidance Manual for Stormwater Control Measures ("2011 TGM"). (DS-78)
82. Developer's stormwater quality calculations shall include site specific analysis and recommendations from a geotechnical engineer, and if applicable, a landscape architect for design and implementation of stormwater treatment and infiltration devices. Geotechnical Engineering analysis and recommendations shall include, but not necessarily be limited to, determination of site specific soil infiltration rates, depth to permeable soil layers, methods

to reach permeable soil layers, appropriate compaction rates, recommendations to enhance infiltration, and other requirements of the 2011 TGM. Landscape architectural recommendations shall include, but not necessarily be limited to, suggestions regarding appropriate vegetation and soil amendments for vegetated infiltration devices. Project plans shall implement approved design recommendations. (DS-81)

83. Using forms provided by the Building and Engineering Division, Developer shall submit a stormwater quality control measures maintenance and operations plan ("the Plan") for this project. If the BMPs implemented with this project include proprietary products that require regular replacement and/or cleaning, Developer shall provide proof of a contract with an entity qualified to provide such periodic maintenance. The property owner is responsible for the long-term maintenance and operation of all BMPs included in the project design. Upon request by the City, property owner shall provide written proof of ongoing BMP maintenance operations. No grading or building permit shall be issued until the City Engineer approves the Plan and Developer provides an executed copy of the City's stormwater covenant with the Plan included as an exhibit for recordation by the City. (DS-82)
84. Developer's stormwater quality control measures maintenance and operations plan shall include: 1) Requirement to clean on-site storm drains at least twice a year; once immediately before the first of October (the beginning of the rainy season) and once in January. The City Engineer may require additional cleaning; 2) Requirement to maintain parking lots free of litter and debris. Developer shall sweep sidewalks, drive aisles, and parking lots regularly to prevent the accumulation of litter and debris. When swept or cleaned, debris must be trapped and collected to prevent entry into the storm drain system. Developer may not discharge any cleaning agent into the storm drain system; 3) Requirement to label all on-site storm drain inlets with the message "Don't Dump - Drains to Ocean" in accordance with City standards. (DS-83)
85. Developer's engineer shall submit written confirmation that the project landscape drawings comply with the landscape requirements of the Technical Guidance Manual for Stormwater Quality Control Measures for all landscape-based stormwater quality best management practices. (DS-84)
86. Developer shall provide pre-treatment for all infiltration-based stormwater quality Best Management Practices ("BMPs".) Pre-treatment devices must effectively reduce sediment load entering infiltration BMPs to minimize occlusion of underlying soils and reduce long term maintenance requirements and thereby maintain the infiltration capacity of the BMP. 2011 TGM compliant pre-treatment such as vegetated swales are an approved form of pre-treatment. Proprietary pre-treatment devices must be capable of removing 80% of 50 micron particles to be considered adequate pre-treatment, unless approved otherwise by the City Engineer. Typical catch basin inserts do not provide the sufficient sediment storage to provide pre-treatment. (DS-85)
87. Prior to issuance of a grading, building or demolition permit and prior to commencement of any clearing, grading or excavation, Developer shall provide evidence of assignment of a

permit identification number by the California State Water Resources Control Board indicating submittal of a Notice of Intent (NOI) by the Developer in accordance with the NPDES Construction General Permit. Developer shall comply with all requirements of the General Permit and the Ventura Countywide MS4 Permit, including preparation of a Stormwater Pollution Prevention Plan (SWPPP). Developer shall keep the SWPPP updated to reflect current site conditions and a copy of the SWPPP shall be kept onsite and available for City or designated representative to review upon request. (DS-86)

### Miscellaneous Special Conditions

88. Developer shall process the Lot Line Adjustment for the project (PZ 24-310-03) for recordation concurrent with the site improvement/grading permit for Planning and Zoning Permit 24-540-02. (DS)
89. Developer shall design and construct the public frontage sidewalk, curb, and gutter for the entire curvature of the street knuckle and terminate the sidewalk at the curb return point. Curb cut widths and design shall conform to City ordinances, standards, and policies in effect at the time City issues an encroachment permit. (DS-9)
90. Developer shall grant the City additional sidewalk easement(s) if any portion of the sidewalk path of travel encroaches into private property. (DS)
91. Project shall be designed to meet the setback/open space requirement for the proposed Unlaminated Area Building per the latest building code standards at the time of building permit application submission/plan check. (DS)
92. Developer shall be responsible for the public parkway landscape maintenance and irrigation, and such responsibility shall run with the land in perpetuity. (DS)
93. Accessible and Electric Vehicle (EV) parking stalls shall be 19-feet deep or 18-feet without wheel stops to allow the vehicles to overhang by 2-feet, unless approved otherwise by the City Engineer. EV parking shall be provided as required by the applicable California Green and Building Standards at the time of plan check submittal. (DS)
94. Regular parking stalls shall be 19-feet deep. Where the 17-foot parking stall depth design is used for standard parking spaces, the cars shall be allowed to overhang over the curb by 2-feet. The walkway/sidewalk affected by the overhang shall be 4-ft wide minimum. Where incidental obstructions are proposed, the width may be permitted to be reduced to minimum width of 36" or as required by the accessible building requirements at the time of plan check submittal, whichever is wider. (DS)
95. Except for special striping requirements for accessible and EV parking spaces, standard parking spaces shall be separated by double 3-inch stripes per City Code. (DS)

96. The grading design shall include a 24-inch level area at the top and bottom of all slopes that adjoin a property line, public easement, sidewalk, curb, wall, or similar structure if the slope exceeds 1 (V) to 5 (H).
97. Onsite infrastructure improvements, including pavement, walkways, and underground utilities such as storm drainage and sanitary sewer systems, shall be privately owned and maintained. Any improvements that need to be owned by the City, such as the onsite water system feeding the public hydrants, shall be clearly labeled as 'Public' on the project improvement plans. All utility laterals to the project site that are not proposed for use by the project shall be removed or abandoned at the main. (DS)
98. The property owner shall execute a fence license agreement for the construction of fences and walls over the public utilities easement unless approved otherwise by the City Engineer. (DS)
99. All structures/buildings shall be relocated to be at least 5 feet away from the public utility easement or be designed with deep footings of 48 inches or more to accommodate deep trenching next to the foundation. (DS)
100. Prior to the issuance of a site improvement/grading permit, Developer shall provide (or update as appropriate) the Community Development Department Building & Engineering Division with a 100-scale base map for addressing purposes. The map shall be drawn on 18-inch by 24-inch mylar and shall show the standard address map title block, north arrow, street names, Tract number, phase boundary and lot numbers. The City will assign all addresses. (DS)

### Water System

101. Developer shall install water mains, fire hydrants and water services in conformance with latest City standard plates, design criteria and specifications as directed by the City Engineer. Developer shall dedicate a 15-foot water easement to the City that encompasses the onsite water system as required by Public Works Standards and as directed by the City Engineer. The easement shall encompass all fire hydrants, water meters, water mains, and valves. Unless otherwise approved by the City Engineer, water service lines after the meters and privately owned backflow devices shall be located outside the water easement. Except where the City Engineer approves incidental crossings, all other utilities shall be located outside the water easement. (DS)
102. Developer shall provide fire hydrants such that all points of all structures are within one hundred fifty (150) feet of a fire hydrant, or as otherwise approved by the Fire Department. Fire hydrant line improvements shall be designed in accordance with City standards and shown on the civil site improvement plans prior to issuance of a site improvement/grading permit. Developer shall provide the City with an easement over onsite waterlines using standard City format. (DS)

103. The design and construction of the onsite public water system shall be looped back to the City water main. Dead-ends are not permitted. The design of the loop is subject to review and approval by the City Engineer. (DS)
104. The existing water main on Parcels 1 and 2 shall be verified prior to construction. Any portions of the water main not used shall be removed during the demolition or grading permit. The associated water easements that are no longer needed shall also be vacated prior to site grading permit issuance. The vacation of the existing city-owned easement is a separate process and shall be finalized concurrently with the issuance of any site improvement permits, including rough grading. Developer shall be responsible for all costs associated with the easement vacation under a separate process including, but not limited to, fees associated with the hearing(s), easement vacation document preparation, and review by the City. (DS)

### Stormwater

105. The stormwater infiltration volume shall be computed using the weighted composite C-value for each tributary area. Except for incidental small landscaping areas, all improved landscape and impervious areas shall be designed to direct runoff to the onsite stormwater treatment facility, including the catch basin located at the north end of the project site. (DS)
106. Provide a copy of the signed maintenance agreement or similar document from all affected property owners of the existing Baysaver Treatment Unit located on the project site. The document shall have the information about the parties/property owners responsible for maintaining the system. This document shall be submitted to the City Engineer before any site improvement permit issuance, including rough grading. (DS)
107. Developer shall design to maintain the overflow within each proposed parcel without cross property drainage. The proposed parcels shall accept overland overflow from the existing adjacent property due to pre-existing conditions. The design of the drainage system shall allow the overland release for the 100-year storm event consistent with the original tract design and protect the building's finished floor from inundation of the 100-year storm. (DS)
108. The drainage report shall also describe the level of expected inundation on both of the proposed parcels, and the level of inundation and where standing water is expected to pond on the site before runoff begins to discharge out to the public street. (DS)
109. The edge of the proposed detention and infiltration facilities shall be located at least 10-feet from property lines and structural facilities. A vertical membrane shall be installed on the vertical sides of detention and infiltration facilities facing a neighboring lot. (DS)
110. If the infiltration system is combined with the detention system, Developer shall demonstrate that detained stormwater runoff volumes for detention purposes shall be infiltrated or emptied within 24 hours or less. The design is subject to review and approval of the City Engineer. (DS)

111. Developer shall provide an executed City Standard Declaration of Restrictive Covenant for Detention Basin Perpetual Maintenance by the property owner prior to grading/site improvement permit issuance. The document shall be prepared in a manner that references and supersedes the previously recorded detention covenant document. (DS)
112. The onsite catch basins and pipelines shall be sized hydraulically to handle the 50-year storm event or greater if indicated otherwise by the original tract. The design shall account for the downstream tailwater elevation or hydraulic grade line from the connection point. The onsite drain inlets shall be designed with a 50% clogging factor at depressed locations. (DS)
113. The storm drain improvement plans shall provide hydraulic grade line profiles for the proposed onsite storm drain pipeline network consistent with the as-built drawings of the existing drainage system(s) running through the project site. Developer shall justify the starting hydraulic grade line at the connection point based on design information provided on the as-built plans. (DS)
114. Developer's geotechnical engineer shall perform infiltration tests on the exposed bottom of all the infiltration basin(s) after all grading has been completed and no further compaction is expected. Geotechnical engineers shall provide the City with a written opinion that the exposed soil layer is suitable for the proposed infiltration facility based on review of the existing geotechnical reports, percolation tests, infiltration facility design, and characteristics of the exposed soil layer. This requirement shall be clearly noted on the improvement plans. The report shall be reviewed and approved by the project civil engineer. (DS)
115. Developer shall install 'Full Capture System Devices' ("Devices") certified by the State Water Resources Control Board Executive Director in compliance with the Statewide Trash Amendments ("Amendments") in the flow control structures discharging stormwater runoff offsite from any portion of this project that meets the definition of 'Priority Land Use' as defined by the Amendments at the time of issuance of a grading/site improvement permit. The Devices shall be sized to treat the 1-year 1-hour storm event and designed in accordance with requirements of the Amendments and the Technical Guidance Manual for Stormwater Quality Control Measures ("TGM"). (DS)

#### Trash Enclosure

116. Unless the Environmental Resources Division requires otherwise, each trash enclosure shall be large enough to store three (3) 4-yard bins. Only City-provided/accepted refuse bins may be stored in the enclosure. The face of the trash enclosure shall be located 5-feet or more from the edge of the driveway aisle so that the doors/gates will not interfere with vehicles traveling in the driveway aisle. The trash enclosure shall be located at least 5-feet minimum laterally away from the parking stalls. (DS)
117. Developer shall finish the trash enclosure to match the major design elements of the main structure, subject to approval by the Planning Division. The design of the trash enclosure shall meet the latest City requirements, which include a solid non-combustible roof that prevents stormwater from entering the refuse bins. The design shall also include architectural mesh between the top of the wall, gates or doors, and the ceiling. (DS)

118. An accessible path of travel shall connect the trash enclosure to the nearest site pedestrian walkway. Developer shall construct the floor and a loading/service pad of the trash enclosure to be substantially level (2% maximum slope). The concrete apron along the length of the trash enclosure opening shall extend a minimum of 15-feet from the face of the enclosure. At least 10-feet of the apron shall be located in the driveway aisle. (DS)
119. This project will require a grease interceptor for the commercial kitchen. A floor drain in the trash enclosure shall connect to the grease interceptor as well. A hose bib shall be provided on the side exterior (away from the vehicular area) of the trash enclosure. (DS)

#### Public Street Pavement Restoration

120. Any saw-cutting of the public street shall be restored to the latest City standards and may include a 2-inch curb-to-curb grind and overlay. The asphalt type for pavement restoration shall be rubberized asphalt unless the existing pavement is standard asphalt. The City Inspector reserves the right to modify the required limits of the asphalt restoration based on field conditions. (DS)
121. For public streets, the project shall use recycled materials to the extent feasible and cost-effective per Caltrans standard specifications adopted in 2018, meeting the requirements of AB 2953. Recycled materials include: (1) Recycled base and subbase materials as set forth in Sections 25-1.02 and 26-1.02 of the Caltrans standard specifications; (2) Reclaimed asphalt pavement and other materials in asphalt as set forth in Section 39-2.02B of the Caltrans standard specifications; (3) Reclaimed aggregate, fly ash, returned plastic concrete, and other materials in concrete as set forth in Sections 90-1.02, 90-2.02, and 90-9 of the Caltrans standard specifications. (DS)
122. The City anticipates resurfacing Mariner Drive in the near future. If the road is resurfaced by the City before this project commences trenching in the public street, trenching or saw-cutting of the pavement will fall under the moratorium, and the project will be required to restore the asphalt curb to curb, unless the City Engineer approves an alternative design. If the two projects occur at the same time, Developer shall prioritize the offsite improvements, including trenching, so that the City Project will be able to resurface over the trenches and saw-cut lines. (DS)

#### **TRAFFIC DIVISION CONDITIONS**

123. Developer shall prepare a signing and striping plan for all project street frontages prepared by a Civil or Traffic Engineer licensed in California in accordance with the California Manual on Uniform Traffic Control Devices (CA-MUTCD) and City Oxnard requirements. (TR)
124. The improvement plans shall show the design and construction of the required “no parking” signs along all property frontages in accordance with Oxnard Standard Plate 203. (TR)
125. The design and construction of the driveway approaches connecting to public streets shall include a sight distance analysis in accordance with Caltrans standards. All critical sight

lines shall be shown in the civil plans with the landscape plans overlaid in the sight distance areas. All monument signs, trees, and other landscape elements 30” above the finished surface shall be kept out of the sight distance triangles. (TR)

## **POLICE DEPARTMENT CONDITIONS**

### Exterior Lighting

126. Unless approved as a specific exception to this guideline, all outdoor lighting shall be flat lens, full cut-off fixtures with the light source fully shielded with the exceptions:
  - a. Luminaires with a maximum output of 260 lumens per fixture, regardless of number of bulbs (equal to one 20-watt incandescent light), may be left unshielded provided the fixture has an opaque top to keep light from shining directly up.
  - b. Luminaires that have a maximum output of 1,000 lumens per fixture, regardless of number of bulbs (equal to one 60-watt incandescent light) may be partially shielded provided the bulb is not visible, and the fixture has an opaque to keep light from shining directly up.
127. Lighting instruments shall be full cut-off and installed so that light does not directly illuminate property outside the project site. Instruments shall not create glare for motorists or pedestrians. Lenses shall be flat and parallel to the ground/floor. Wallpacks and other luminaires that throw light laterally are not allowed unless specifically approved by the Police Department and Planning Division.
128. Integrated landscape/lighting/photometric plan shall be submitted illustrating a 20-year tree maturity. This plan shall include all outdoor areas as well as the parking facility. This is to ensure that tree growth will not adversely impact future lighting and therefore site safety as the project matures. Luminaires used in the photometric calculations shall only include those instruments mounted 8-feet or more above walking/driving surface. Lighting bollards shall not count toward the photometric count. This plan shall be submitted to [specialprojects@oxnardpd.org](mailto:specialprojects@oxnardpd.org) and approved prior to the issuance of building permits.
129. Covered parking facilities shall be illuminated between 5 and 15 foot-candles utilizing LED or similar luminaires with a spectrum 3,000K to 20,000K Correlated Color Temperature. Walls, ceilings and supporting posts or pillars shall be painted white or off-white to provide maximum reflectivity. Luminaires shall be located, when possible, between parking stalls to illuminate the areas people enter and exit their vehicles.

### Security Camera Systems

130. A Security Camera System is required for this project due to the nature of the business, the physical assets on site, and the potential for liability claims from the use/misuse of potentially dangerous equipment. The Security Camera System shall meet the Police Department’s Security Plan Guidelines. These guidelines can be obtained upon request via [specialprojects@oxnardpd.org](mailto:specialprojects@oxnardpd.org).

131. Security camera system shall be operated 24 hours a day to monitor the activity at the site. The system shall be designed to capture images of all persons and all vehicles that enter the site. Cameras shall also be distributed throughout the site to capture general activities. The camera system shall comply with these minimum standards:
- a. The camera system shall be cloud based to facilitate off-site and mobile monitoring.
  - b. Cameras and supporting equipment shall supply digital color images under normal lighting conditions. Greyscale images are expected for infra-red lighting.
  - c. Cameras shall be made by a reputable manufacturer approved by the Chief of Police or his/her designee and maintained to current industry standards.
  - d. Cameras shall have low light capability to facilitate the later identification of persons involved in criminal or problem activities.
  - e. The video system shall utilize a Digital Video Recorder (DVR). VHS and other formats are prohibited.
  - f. The video system shall allow recording, live viewing and playback of recorded video for a period of a period of at least 30 days.
  - g. Recorded images shall bear a date and time stamp that cannot be altered.
  - h. All entry doorways to the premises shall be monitored by a camera or cameras that are strategically mounted for face capture of persons who enter. Such cameras shall be mounted no higher than 7-feet above the floor/ground. A camera may be mounted at a different height, if approved by the Police Department. Face capture images shall be determined as those images where the clarity of a person's facial image is sufficient for later identification.
  - i. All vehicular entrances to the parking facilities shall be monitored by a camera or cameras that are placed to capture images of sufficient quality where the vehicle's license plate, make, model and color can be easily identified.
  - j. Cameras in domed casings are highly encouraged as their area of focus is not easily determined by a casual observer.
  - k. Site management shall provide in a timely manner any digital records of security camera or access control systems requested pursuant to a police investigation or for the periodic inspection of equipment required under these conditions.
  - l. Security cameras shall be installed to monitor activity around each side of the building's exterior.

### Access Control Systems

132. The site shall be equipped with an access control system that shall restrict human and vehicle access to semi-public areas of the site. The areas considered "semi-public" shall include: parking areas restricted to visitors and the building lobby.
133. The access control system shall utilize instruments such as cards, fobs, QR decals or other devices that can be individually programmed to provide access, as appropriate, for an individual user. The system shall have the capability to add or subtract an access instrument assigned to a particular residential unit, employee, or service provider.
134. The access control system shall record each permitted access and the authorizing individual and the instrument/method used to facilitate the access.

135. “Click-To-Enter” access technology shall be installed at each pedestrian and vehicular entrance to a semi-public area to provide access to first responders.

### Security Plan

136. A Security Plan shall be submitted to [specialprojects@oxnardpd.org](mailto:specialprojects@oxnardpd.org) and approved prior to the issuance of building permits. The purpose of the Security Plan is to align the applicant’s need to secure the development site for its end users with current security standards and to provide the Police Department an understanding of the layout of the site in the event of a critical incident. The Security Plan, when submitted directly to the Police Department, is considered a confidential document. The plan shall include:
- a. The Security Plan Sheet will identify the location of each security camera, camera recording/support equipment, all elements of an access control system, and any safe or secure room or rooms designed to maintain valuable assets or records.
  - b. The Security Plan shall include a chart identifying each camera by an alpha-numeric, the scope of their capture area, and placement of the camera above the floor/ground.
  - c. The Security Plan shall identify all doors with an alpha-numeric (e.g. D-1, D-2, etc.) that serve passage between public & private access points, as well as any other access points deemed necessary by PD. When a camera is positioned for face capture it shall be noted on the camera chart.
  - d. The Security Plan shall identify any area which is served by an intrusion/burglary alarm system.
  - e. The Security Plan shall identify all the components of the access control system, their location and a chart that identifies each instrument with an alpha-numeric with the device name, make and model. The access control system shall provide site access to tenants and persons authorized by the site management. The access control sites shall include areas deemed semi-public where the public does not have access unless escorted by a staff member.
  - f. Click-to-Enter technology shall be installed to provide access for first responders to all entrances to the facility that serve as an interface between public and semi-public areas. All such access points shall be identified on the Security Plan.
  - g. The developer/property manager/owner shall maintain all security features in good working condition and consistent with industry standards.
137. Any digital records from the security camera system or access control system shall be made available to any representative of the Oxnard Police Department in a timely manner upon request related to any official police investigation. If requested, the site manager shall upload or email any digital records at the request of a representative of the Oxnard Police Department.
138. A Security Plan shall be submitted to and approved by the Police Department prior to the issuance of building permits. The submission shall be made in a PDF format and sent to [specialprojects@oxnardpd.org](mailto:specialprojects@oxnardpd.org). The email “subject line” shall have the 7-digit Planning “PZ” number and the site’s address to identify the project. The plan shall include the

location of the security features at the site consistent with the Security Plan Requirements document provided during the development review process. The Security Plan shall not be submitted with other development documents or plan sheets. This is done to maintain a level of confidentiality of the security features of the site between the developer/end user of the development and the Oxnard Police Department.

### Alarms

139. Any intrusion alarm system installed at the site shall utilize motion and infrared technology or similar technology to differentiate between human and non-human motion. The alarm system shall be compliant with Oxnard City Code 11-95 through 11-100.

### Landscape

140. Victory Pyracantha or similar hedge shrub shall be used as a “defensive barrier along the perimeter fencing.
141. CMU walls adjacent to or visible from a street shall be protected by landscaping elements to dissuade the application of graffiti. Creeping fig or similar climbing vines or a combination of vines and shrubs or hedging arranged to protect walls from vandals is required. Any plantings shall be supported by appropriate irrigation and maintenance by the property owner.

### Signage

142. All vehicular entrances to the parking area shall be posted in compliance with California Vehicle Code 22658(a). Persons in lawful possession of the property may then cause the removal of a vehicle parked on the property to the nearest public garage if parked without the owner’s permission. (PD)
143. A sign shall be posted at each entrance to the site stating: “No loitering, trespassing or drinking alcoholic beverages. Pursuant to State Law & City Ordinance”.

### **FIRE DEPARTMENT CONDITIONS**

144. Developer shall construct all vehicle access driveways on the project property to be at least 26 feet wide, exclusive of shoulders. Developer shall mark curbs adjacent to designated fire lanes in parking lots to prohibit stopping and parking in the fire lanes. Developer shall mark all designated fire lanes in accordance with the California Vehicle Code. (FD/B, F-1)
145. All roof covering materials on the project property shall be of non-combustible or fire retardant materials approved by the Fire Chief and in compliance with the City Code. (FD, F-2)
146. Before the City issues building permits, Developer shall obtain the Fire Chief’s approval of a plan to ensure fire equipment access and the availability of water for fire combat

operations to all areas of the project property. The Fire Chief shall determine whether or not the plan provides adequate fire protection. (FD/DS, F-3)

147. At Developer's expense, Developer shall obtain two certified fire flow tests for the project property. The first test shall be completed before City approval of building plans and the second shall be completed after construction and prior to the issuance of a certificate of occupancy. The tests must be certified by a mechanical, civil, or fire protection engineer. Developer shall obtain permits for the tests from the Engineering Division. Developer shall send the results of the tests to the Fire Chief and the City Engineer. (FD/DS, F-4)
148. All structures on the project property shall conform to the minimum standards prescribed in Title 19 of the California Code of Regulations. (FD, F-5)
149. The project shall meet the minimum requirements of the "Fire Protection Planning Guide" published by the Fire Department. (FD, F-6)
150. At all times during construction, Developer shall maintain paved surfaces capable of handling loads of 76,000 pounds which will provide access for firefighting apparatus to all parts of the project property. (FD/DS, F-7)
151. Developer shall identify all hydrants and fire protection equipment on the project property as required by the Fire Chief. (FD, F-8)
152. Developer shall install security devices and measures, including walkway and vehicle control gates, entrance telephones, intercoms and similar features, subject to approval of the Police Chief and the Fire Chief. Vehicle control gates shall be operable by City approved radio equipment. (FD/PD, F-9)
153. Developer shall provide central station monitoring of the fire sprinkler system and all control valves. (FD, F-10)
154. The turning radius of all project property driveways and turnaround areas used for emergency access shall be approved by the City Traffic Engineering Department. (FD, F-11)
155. Developer shall provide automatic fire sprinklers as required by the City Code and shall contact the Fire Chief to ascertain the location of all connections. (FD, F-12)
156. Developer shall install in each structure in the project an alarm system with a central station monitor that will automatically notify the Fire Department in the event of a fire in the structure. The alarm system shall include a UL or State Fire Marshal approved device, which shall not exceed design specifications, that reports the location of the fire and provides floor by floor water flow monitoring and allows the central station monitor to inform the Fire Department. (FD, F-13)

157. Developer shall install in each structure in the project where automatic fire sprinklers are installed a system that automatically opens the skylights in areas affected by fire before the fire sprinklers are activated. (FD, F-14)
158. Developer shall comply with Certified Unified Program Agency (CUPA) requirements regarding the storage, handling and generation of hazardous materials or waste. Prior to the issuance of building permits, Developer shall contact the CUPA division of the Fire Department to ensure that such requirements are followed. (FD, F-16)
159. Areas designated by the Fire Marshal as Fire Lanes shall be identified by a red curb and signage per the California Department of Motor Vehicles.
160. Alley shall be maintained without obstructions and a minimum clear width of 20 feet and clear height of 13 feet 6 inches.
161. In concurrence with the conditions from Development Services, utility lines shall be placed underground to maintain Aerial Ladder Access to the subject development.
162. All landscape on project property will coordinate with the fire protection features, to prevent access problems to fire protection features.
163. Fire sprinkler coverage is required for:
  - a. Patios, overhangs or any other projections that are 48” or more from the structure.
  - b. Open areas beneath stairs that serve a habitable space or when that area is accessible for storage or has mechanical equipment.
  - c. The protection of the forced air unit when located in the attic or other areas that are normally inaccessible.
164. Before the city issues a certificate of occupancy, the developer shall install a Knox key vault at a location to be determined by the Fire Department.
165. Elevators onsite shall be of a size to accommodate a gurney for emergency access.

PASSED, APPROVED, AND ADOPTED by the Planning Commission of the City of Oxnard on this 16th day of October, 2025.

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Ronald Arruejo, Chair

I hereby certify that the foregoing is a true copy of a Resolution adopted by the Planning Commission of the City of Oxnard at a meeting held on the 16th day of October, 2025, and carried by the following vote:

AYES:           Commissioner(s):

NOES: Commissioner(s):

ABSENT: Commissioner(s):

ABSTAIN: Commissioner(s):

RECUSED: Commissioner(s):

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Jamie Peltier, Secretary

# Food Share Ventura County

Planning and Zoning Permit Nos. 24-540-02 (Planned Development Permit) and 24-310-03 (Lot Line Adjustment)

Applicant: Tanner Shelton (Designated Agent)

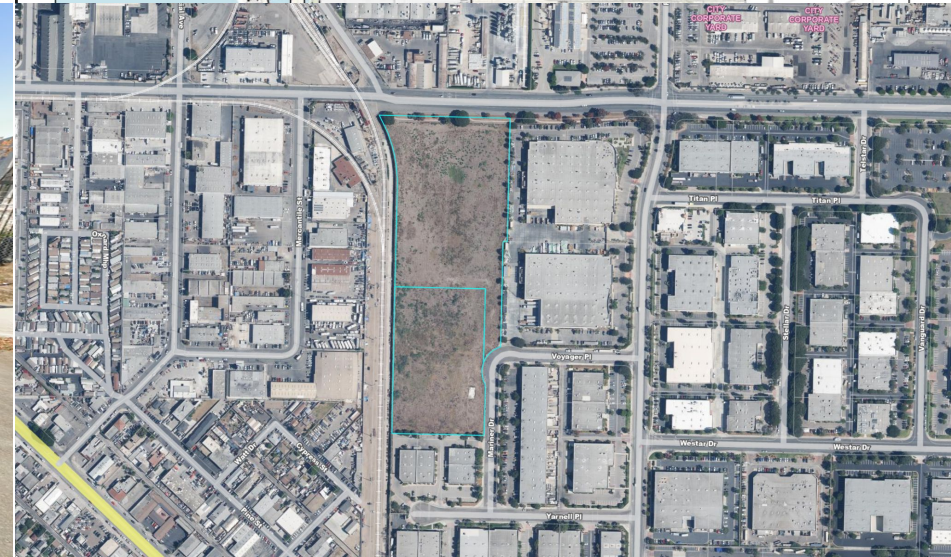
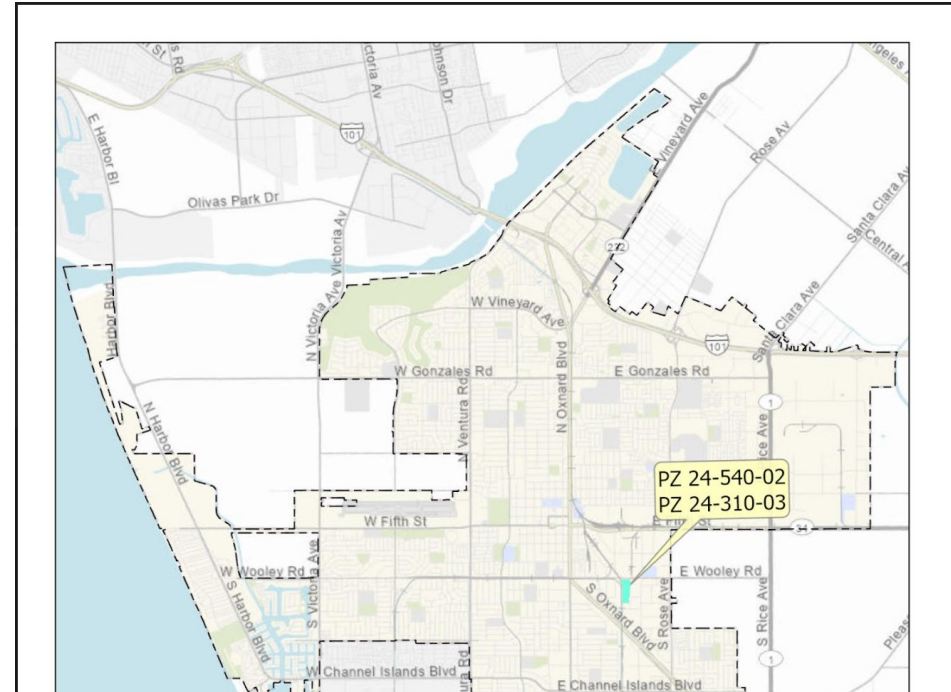
Daniel Houck, Associate Planner  
Planning Commission  
October 16, 2025

- New Warehousing Facility
  - Proposed uses:
    - Distribution
    - Warehousing w/cold storage
    - Commercial Kitchen
    - Administrative Offices
  - 85,845 square foot building
  - 49'9" in height
- Additional Improvements
  - Screened shipping and receiving yard with loading docks
  - 4,139 square feet of canopies
  - Trash enclosure, bin washing and storage area, and other support functions.
  - Employee amenity areas
  - Solar carports
  - Landscaping
- Application also requests to move the lot line between the two parcels leaving a vacant 2.07 acre parcel.

# Project Location

**Subject Sites:**  
**1100 East Wooley Road**  
**1425 Mariner Drive**  
**(Vacant Parcels)**

Looking northwest from the intersection of Voyager Place and Mariner Drive



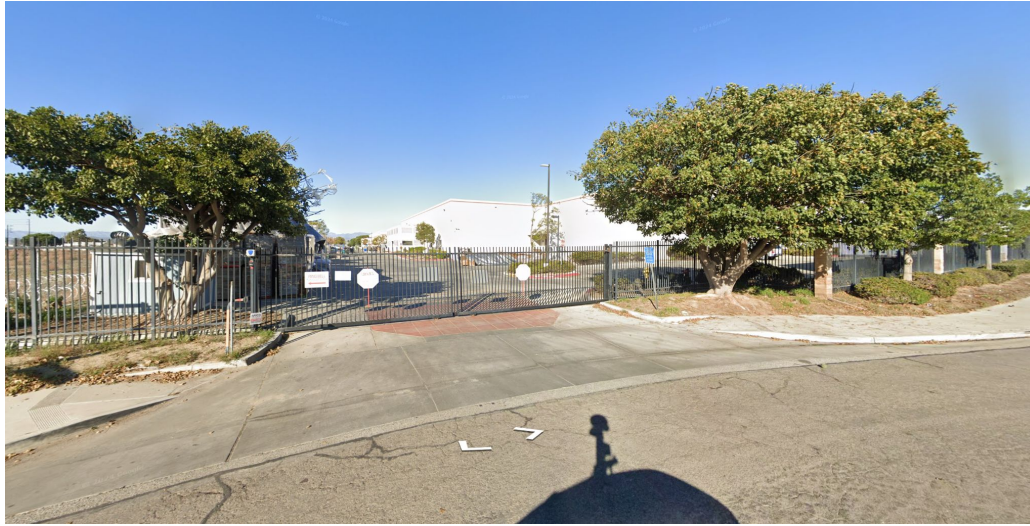
**Subject Site:** 1100 East Wooley Road and 1425 Mariner Drive

**Surrounding Uses:**

<b>LOCATION</b>	<b>ZONING</b>	<b>GENERAL PLAN</b>	<b>EXISTING LAND USE</b>
<b>Project Site</b>	<b>M-L-PD (Limited Manufacturing - Planned Development)</b>	<b>Industrial Limited (ILM)</b>	<b>Vacant lots</b>
<b>North</b>	<b>M-2 (Heavy Industrial)</b>	<b>Central Industrial Area (CIA)</b>	<b>Heavy Industrial Businesses</b>
<b>South</b>	<b>M-L-PD (Limited Manufacturing - Planned Development)</b>	<b>Industrial Limited (ILM)</b>	<b>Light Industrial Businesses</b>
<b>East</b>	<b>M-L-PD (Limited Manufacturing - Planned Development)</b>	<b>Industrial Limited (ILM)</b>	<b>Light Industrial Businesses</b>
<b>West</b>	<b>ESM-RW (Easement-Right of Way) &amp; M-2 (Heavy Industrial)</b>	<b>ESM (Easement) &amp; CIA (Central Industrial Area)</b>	<b>Railroad &amp; Heavy Industrial Businesses</b>

# Adjacent Uses to the Project Property

89



Industrial adjacent to the direct east of the project site

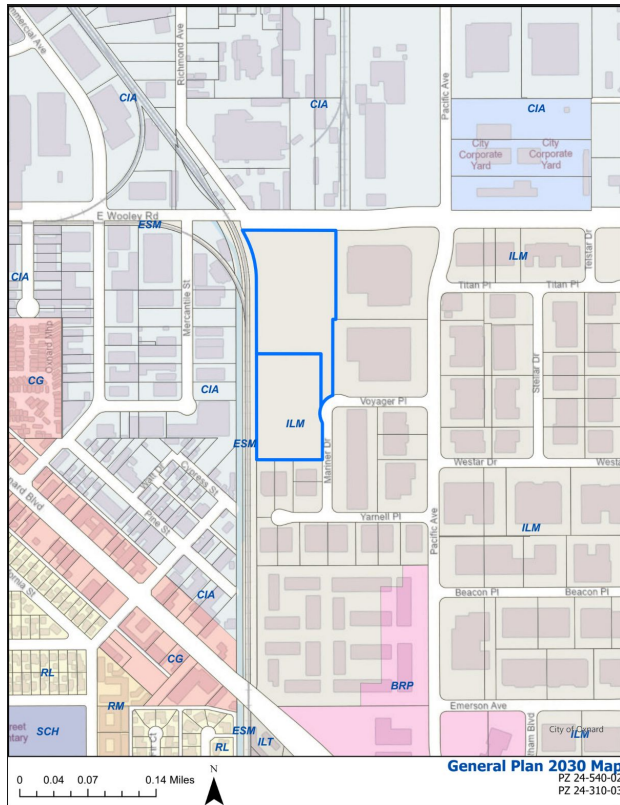


Industrial Development looking SE from Project Site.



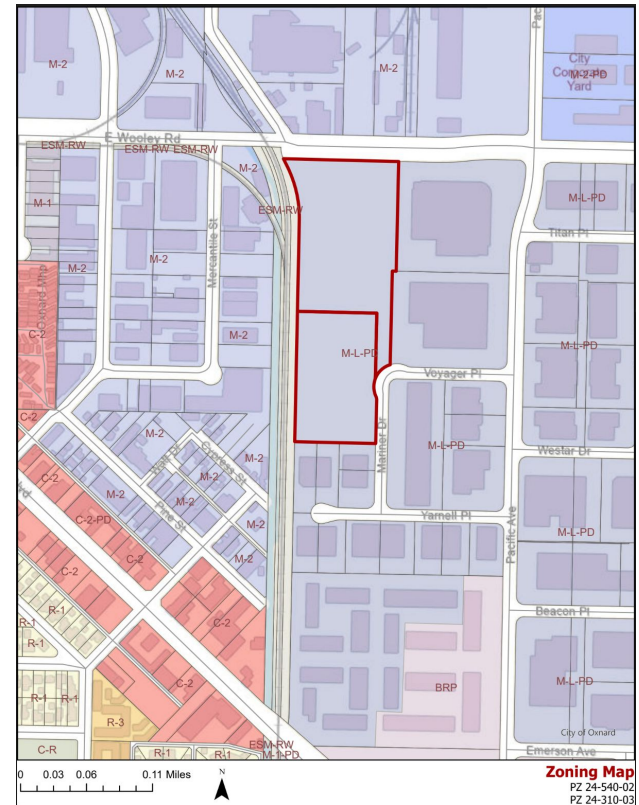
Industrial on Mariner Drive, directly south of the project site

## General Plan Land Use Designation



Industrial Limited (ILM)

## Zoning Designation

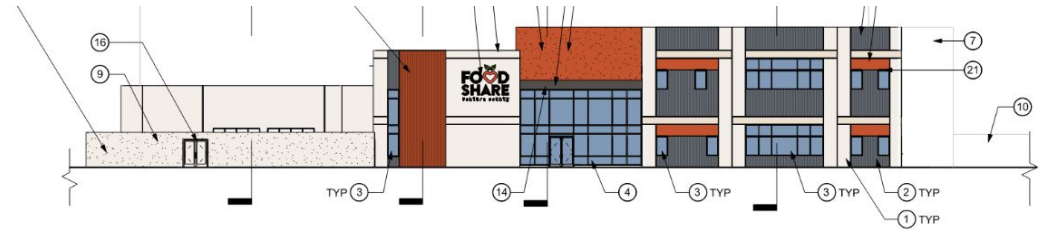


Limited Manufacturing - Planned Development (M-L-PD)

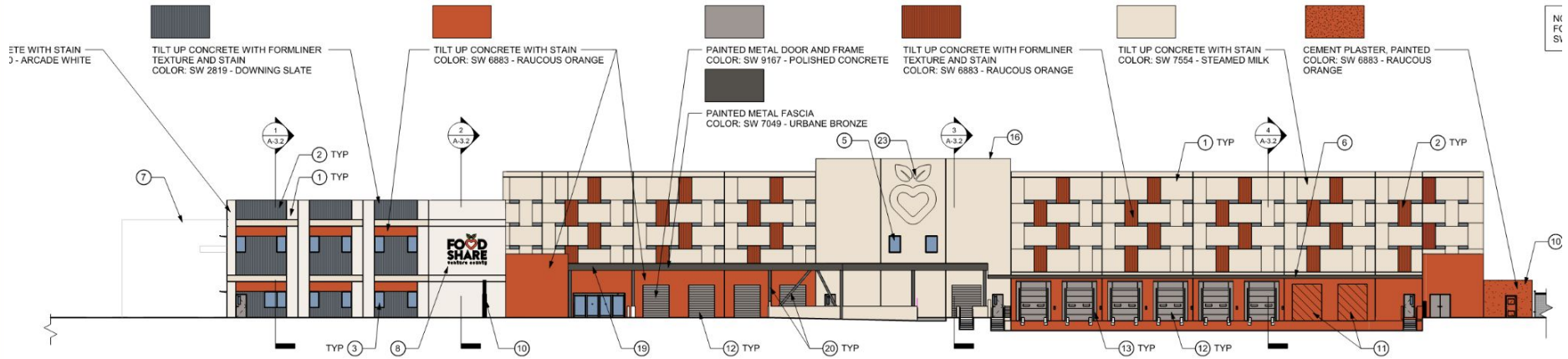
- Three subdivisions (two tract maps and a parcel map).
- The parcel map in 2004 created the two subject lots.
- A Special Use Permit was approved for a 86,740 sq. ft. industrial building on the southern subject parcel. This permit expired. No construction.
- In 2011, another Special Use Permit was approved for a 90,414 sq. ft. industrial building on the southern parcel, which also expired.
- On November 20, 2024 the current industrial development was proposed and an application was filed.



# Proposed Project Elevations

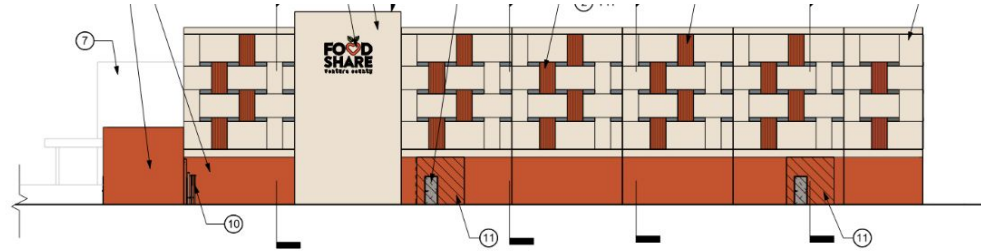


3 SOUTH ELEVATION  
1/16" = 1'-0"

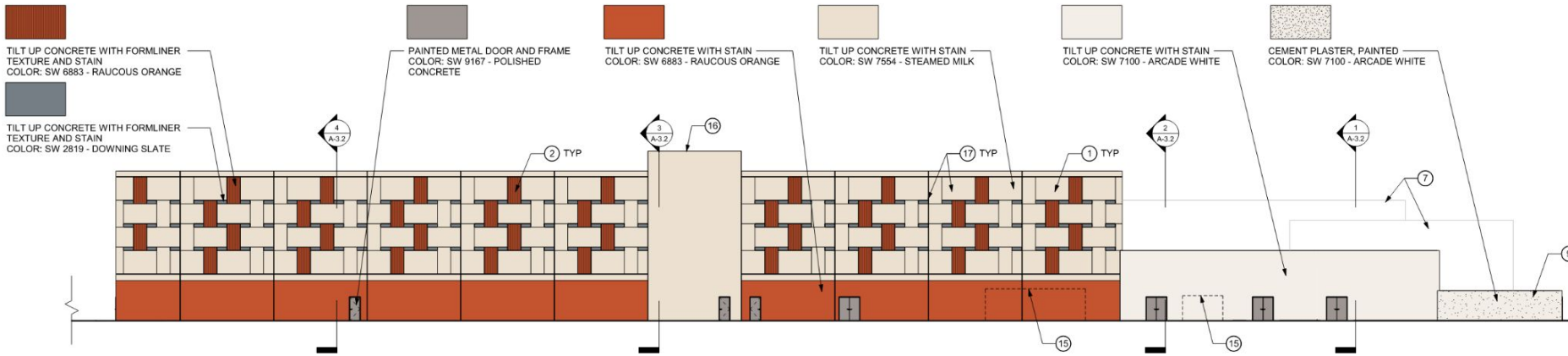


2 EAST ELEVATION  
1/16" = 1'-0"

# Proposed Project Elevations



1 NORTH ELEVATION  
1/16" = 1'-0"



4 WEST ELEVATION  
1/16" = 1'-0"

The development of the proposed Project furthers many of the policies identified in the 2030 General Plan, as identified in the staff report. Some of the key policies are:

POLICY	LEVEL	POLICY OR TITLE	EXPLANATION
SC-5.5	I	Local Food Partnerships: Foster the development of a local foods program in cooperation with the agricultural industry and food wholesalers and retailers that reduces the “carbon footprint” of harvesting, processing, and delivering food to Oxnard and area residents, especially for schools and other large scale operations.	The industrial use proposed by the applicant is a food bank that has an established role in local food distribution and works with established local connections. The new facility would allow their capacity to dramatically increase to serve more people and further support their connections to the local food industry.
CD-1.2	I	Infill Development: Promote the efficient use of larger vacant parcels and vacant areas of the City by encouraging infill development, with a priority to mixed uses that reduce vehicle trips and GHG emissions and promote sustainable development goals and objectives.	The Project uses large vacant parcels within a developed area.
CD-5.1 CD-5.2	I	Industrial Clustering: Encourage the clustering of industrial uses into areas that have common needs and are compatible in order to maximize their efficiency.  Compatible Land Use: Ensure adequate separation between sensitive land uses (residential, educational, open space, healthcare) to minimize land use incompatibility associated with noise, odors, and air pollutant emissions.	The proposed industrial development is located in a compatible industrial area and located away from sensitive receptors, such as residential uses.
CD-9.4	II	View Corridor Preservation	The Project will provide significant screening to shield the loading area from public view. There is also an abundance of trees within a significant landscape buffer along Wooley road, which is a local scenic corridor. The buffer is well beyond the 30 foot minimum in the general plan.
CD-18.1 CD-18.10	II	Attract New Business, Existing Businesses	The proposed development is a local business currently operating just outside the City of Oxnard within the jurisdiction of Ventura County. This would not only bring a new business into the City, but would help maintain an important local business that is clearly compatible with the community.

# Zoning Code Compliance

DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	COMPLIES?
Max. building height (OCC 16-164)	35 feet, except that building heights can increase by one foot for every additional foot of setback distance.	The height for the building is generally at 44'9", with a peak of 48'9". The closest setback is 56 feet.	Yes.
Front yard setback (OCC 16-165)	20 ft.; 30 ft. if adjacent to designated thoroughfares.	The front corner of the building is over 275' from the frontage along Mariner Drive and Voyager Place.	Yes
Side yard setback (OCC 16-165)	Requires the height of the building as the minimum.	The height for the building is generally at 44'9", with a peak of 48'9". The closest Side setback is 56'	Yes
Rear yard setback (OCC 16-165)	Requires the height of the building as the minimum.	The height for the building is generally at 44'9", with a peak of 48'9". The rear property line is 285' from the closest building wall.	Yes
Maximum Lot Coverage (OCC 16-164)	50%	19.11%	Yes
Maximum Floor Area Ratio (OCC 16-164)	60%	20.5%	Yes
Off-street parking (16-623)	147 spots based on square footage of uses	178 parking spaces	Yes

In accordance with § 21080.69 (Statutory Exemption) of the State CEQA Guidelines, “a project that consists exclusively of a nonprofit food bank or food pantry, defined as a nonprofit organization that is exempt from federal income taxation under Section 501(c)(3) of the Internal Revenue Code of 1986, as amended (26 U.S.C. Sec. 501(c)(3)), that solicits, stores, and distributes sufficient food to their defined service area, if the project is located on a site that is zoned exclusively for industrial uses.” may be found to be exempt from the requirements of the California Environmental Quality Act (CEQA). This proposal is on a parcel zoned exclusively for industrial use and includes a non-profit food bank that solicits, stores, and distributes food.

- Notice of PC hearing was provided:
  - Newspaper,
  - On-site posting; and
  - Mailed to property owners within 300 feet.
- To date, no public comment has been submitted in support or in opposition of the project.

That the Planning Commission:

- a) Find the project Exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 21080.69 (Statutory Exemption); and
- b) Adopt Resolution 2025-XX approving PZ 24-540-02 (Planned Development Permit) and 24-310-03 (Lot Line Adjustment), subject to certain findings and conditions.



CITBC

## RESOLUTION NO. 7051

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF OXNARD APPROVING THE DEVELOPMENT PLAN FOR THE CHANNEL ISLANDS BUSINESS CENTER (INCLUSIVE OF TRACTS 4065, 4164, 4225 AND TENTATIVE TRACT 4355) APPLIED FOR BY TOLD CORPORATION, 2587 TELLER ROAD, NEWBURY PARK, CALIFORNIA, 91320, TO PROVIDE GUIDELINES FOR THE ORDERLY DEVELOPMENT OF A LIGHT INDUSTRIAL SUBDIVISION, (CHANNEL ISLANDS BUSINESS CENTER) LOCATED IN THE M-L (LIMITED INDUSTRIAL) AND BRP (BUSINESS RESEARCH PARK) ZONE, SOUTH OF WOOLEY ROAD AND WEST OF ROSE AVENUE, SUBJECT TO CERTAIN CONDITIONS.

WHEREAS, the Planning Commission of the City of Oxnard has considered an application for a development plan, filed by TOLD Corporation in accordance with Section 34-146 through 34-157.1 of the Oxnard City Code.

WHEREAS, the Community Development Director has provided public notice that the project covered by this application will produce no significant impact on the environment and of the intent of the City to adopt a declaration to this effect, and whereas the Planning Commission has reviewed this notice along with the initial study and staff report and hereby finds that there will be no significant environmental impact and adopts said negative declaration in accordance with the California Environmental Quality Act, and with the guidelines established by the City Council; and

WHEREAS, the Commission finds that, after due study, deliberation and public hearing, the following circumstances exist:

1. That the proposed use is in conformance with the General Plan and other adopted standards of the City of Oxnard.
2. That the proposed use will not adversely affect or be materially detrimental to the adjacent uses, buildings or structures or to the public health, safety or general welfare.
3. That the site for the proposed use is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other items as required.
4. That the site for the proposed use will be served by streets and highways adequate in width and structure to carry the kind and quantity of traffic such use will generate.
5. That the site for the proposed use will be provided with adequate sewerage, water, fire protection and storm drainage facilities.

## RESOLUTION NO. 7051

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Oxnard hereby approves said development plan subject to the following conditions. The decision of the Planning Commission is final unless appealed in accordance with the provisions of Section 34-155 of the Oxnard City Code.

1. The development plan is granted for the land described as the Channel Islands Business Center (inclusive of Tracts 4065, 4164, 4225 and 4355) and shall be applicable to all future development thereon. (PL)
2. Any covenants, conditions and restrictions applicable to the subject property shall be reviewed and approved by the City Attorney. (CA)
3. The development or use by the developer of any activity or structure authorized by this development plan shall constitute acceptance of all of the conditions and obligations imposed by the City on this permit. The developer by said acceptance waives any challenge as the validity of these conditions. (CA)
4. Prior to the issuance of a building permit, a reproduction of all conditions of this permit approval as adopted by resolution of the Planning Commission and the City Council shall be part of, and incorporated into, all sets of the construction documents and specifications for all buildings constructed within this tract. A reproduction of all conditions shall be included on each set of the job/construction documents. (PL)

## UTILITIES

5. Trash and refuse enclosures shall be constructed in accordance with the approved plate and standards on file in the Public Works Department. Enclosures shall be located as shown in the approved plans. Final location of enclosures shall be subject to the approval of the Public Works Department. Enclosures shall be constructed and finished in a manner to match the major design element of the main structure. Such finish shall be indicated on the building plans and is subject to approval of the Planning Division. Trash and refuse enclosures shall be a minimum height of six feet. Enclosures shall be provided with solid metal gates, matched to building colors. Trash and refuse enclosures for multi-story buildings shall be provided with overhead screening where visible from upper stories. (PW,PL/PW,B)
6. Eight foot wide easements are provided on each side of the interior streets for utilities. In the M-L zone where sidewalks are provided, total landscape area, including the easement, shall be a minimum of 20 feet. (PW/PW)

## RESOLUTION NO. 7051

7. All utility lines shall be underground. No pipe, conduit, cable or line for water, gas, sewage, drainage, electricity, or any other energy or service line shall be installed or maintained upon any lot (outside of any building) above the surface of the ground. However, transformers or high voltage lines of such capacity as to preclude undergrounding, as well as hoses, movable pipes used for irrigation and temporary services used during construction shall be permitted above the surface of the ground. (PW)
8. Transformers, building backflow preventers, and other appurtenant devices shall be completely screened with full height and density landscaping at the time of installation, with the exception of Fire Department connections. Determination of such appurtenant devices requiring screening shall be made by the Director of Community Development. (PL/PL)

## PARKING AND ACCESS

9. Off-street parking, including number of spaces, stall size, paving, striping, location and access shall comply with the Oxnard City Code. (PL/B)
10. Driveways within parking lots shall have a minimum width of 25 feet. Curb cuts shall be 36 feet wide. Minimum driveway throat requirement shall be 37 feet for all lots with more than forty (40) cars.

## LOADING AND OUTDOOR STORAGE

11. Loading spaces shall be provided in accordance with Section 36-7.1.26 of the City of Oxnard Municipal Code and shall be a minimum of 50 feet away from any residential zone. Loading spaces shall be reserved exclusively for loading purposes, not used for storage. (PL)
12. Such loading dock areas, ramps, and entries shall be screened by a solid wall, and landscaping from any public roadway or residential area. Such wall or fence shall not be less than 8 feet in height. (PL)
13. Requirements for outdoor storage shall be considered in the design of a individual buildings. Outdoor loading and storage areas, where otherwise permitted, shall be placed in side or rear yards only and shall be screened by a solid wall or fence and landscaping of not less than 8 feet in height. (PL)

## SCREENING AND WALLS

14. Walls shall be utilized to visually screen and/or physically enclose the following outdoor storage areas, loading docks and

## RESOLUTION NO. 7051

mounts and mechanical equipment and other appurtenant items of poor visual quality. Where walls cannot be attached to a structure, full-height and density landscape screening shall be provided as an alternative screening device subject to approval of the Parks Division and Director of Community Development. (PL)

15. Wall heights shall be as tall as those objects or areas that are intended to visually screen, however, no wall shall exceed forty-two inches in height within any required front setback area. (PL)
16. Solid screening and enclosure walls or fences shall be constructed of materials and textures and/or colors to match or complement the architectural features of the primary structure. (PL)

## LANDSCAPING

17. Four copies of landscape and irrigation plans prepared in accordance with Commercial/Industrial Landscape Standards shall be submitted to Parks Division for approval prior to issuance of building permit or initiation of the proposed use. (PK, PL/PK)
18. Landscaping and irrigation shall be installed per plans as approved by the Parks division. (PK, PL/PK)
19. Landscaping and irrigation installation on individual lots shall be inspected and approved by Parks Division prior to issuance of Certificate of Occupancy on that lot. (PK, PK/B)
20. Four copies of median and parkway plans prepared in accordance with the median and parkway landscape standards shall be submitted to the Parks Division for approval prior to issuance of a building permit.

The parkway shall include a 30 foot landscape strip measured from the property line along the following streets: Wooley Road and Rose Avenue. Parkway shall be mounded to an average height of 36 inches.

Street trees and median trees shall be planted, per Parks Division specifications and approval, on all City streets. Medians are to be constructed along Wooley Road (along the project frontage only) and Rose Avenue south of Emerson (to complete the median). (PK, PL/PK)

21. A streetscape design element shall be incorporated into the proposed streetscape plan. The streetscape plan shall provide for subdivision identification and entrance features at street intersections. (PK, PL/PK)

## RESOLUTION NO. 7051

22. All required trees shall be 24 inch box size (minimum), all shrubs and vines shall be 5 gallon size (minimum) except as specified by the Parks Division. Thirty-six inch box trees are required at all entries of lots having 40 or more parking spaces in accordance with the Commercial/Industrial Landscape Guidelines. (PK/PK)
23. All perimeter landscaping, including street medians, shall be maintained through the landscape maintenance district established through Tract 4065. Interior landscaping shall be maintained through the tract's covenants, conditions and restrictions. (PK,PL/PK)
24. In order to achieve a uniform landscape theme within the Business Center, the areas within the street medians and streetscape setback areas have an established landscape materials palette as described in Exhibit "A". (PK,PL/PK)
25. A permanent water conserving, low gallonage automatic underground sprinkler system shall be installed in all required landscape areas and raised planters. It shall be capable of providing the proper amount of precipitation for the type of (drought tolerant) plant materials used. (PK/PK)
26. A 36-inch high screen shall be provided for all parking areas by a landscape berm or a combination of landscaping and berm. (PK,PL/PK)
27. All irrigation backflow prevention systems shall be screened by landscaping. (PK,PL/PK)
28. Landscape planters at minimum 5 feet wide shall be provided on each side of the trash and refuse enclosures where parking is adjacent. Landscape planters shall be located throughout the rear parking areas for the purpose of providing a treescape. Cumulative square footage of such landscape planters throughout the parking areas shall be at least equivalent to the total square footage of a five foot wide landscape planter along the entire length of the rear wall of the building minus loading and entry areas and trash enclosures. Design, location, and square footage of the rear parking area treescape planters and the landscape planters beside trash and refuse enclosures shall be included in a landscape and irrigation plans and subject to the approval of the Parks Division. (PK,PL/PK)
29. A sidewalk plan shall be submitted by the developer and approved by the Community Development Director prior to issuance of building permits. (PL)

## RESOLUTION NO. 7051

## SIGNS AND APPURTENANT STRUCTURES

In addition to the provisions of City Code, the following shall apply:

30. Building and monument signs shall be as shown in Exhibit "A." All signs shall utilize raised, recessed or applied individual letters. Other types of building or monument signs may be allowed, subject to approval of the Community Development Director. No "Can" type signs are allowed. (PL)
  31. Each parcel shall have not more than one monument sign on each street frontage. No monument sign shall be located closer than 10 feet to any property line and shall not exceed a height of 6 feet above adjacent curb nor 5 feet above top of adjacent berms. Maximum monument sign area shall be 50 square feet per side or a total of 100 square feet. (PL)
  32. No freestanding signs shall be allowed. (PL)
  33. In addition to the permitted monument sign, each parcel shall be permitted directional signs to promote smooth traffic flow. No directional sign shall exceed four square feet in area nor six feet in height. Directional signs may display text or logos other than that normally associated with circulation, but not advertising of any kind. The developer shall provide a program for sign standard treatment compatible with design elements of the CIBC subject to approval by the Planning Division. (PL)
- Compact stall signs shall be required to designate compact parking where compact parking spaces are grouped in clusters of 5 or more. (PL)
34. A lot, building or complex occupied by two or more businesses shall be permitted tenant identification signs in addition to the permitted monument sign. Such tenant identification signs shall not exceed eight square feet in area and shall be attached to the building. Building addresses shall be placed on the rear as well as front of the buildings. Design of address numbers shall be as shown in Exhibit A. (PL)
  35. Lights within a site shall not be placed to cause glare or excessive light spillage on neighboring sites. Light colors shall be uniform within a single lot or development. Light poles shall not exceed twenty feet in height and in no case shall they exceed the height of buildings on-site. The design of light fixtures and their structural supports shall be as shown in Exhibit "A" (Development Plan). (PL)

## FIRE SAFETY CONDITIONS

36. On-site and/or boundary water mains, fire hydrants, and services shall be installed subject to the specifications of the Fire Department and Water Service Division. (PW, FD/PW)

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37. Before any building permit will be issued, the applicant shall submit a plan to provide fire equipment access and water for fire combat operations to all areas of the property. The plan shall be submitted for approval by the Fire Chief. (FD/FD)
38. All vehicle access driveways shall be a minimum 25 feet wide, and striped and signs posted to Fire Lane Standards. (FD/FD, B)
39. Developer shall provide automatic fire sprinklers as required by City Code. (FD/FD)
40. No burning of combustible refuse on the subject property is permitted. (FD/FD)
41. All roof covering materials shall be of noncombustible or approved fire retardant materials. (FD)
42. In order to provide an adequate turning radius for Oxnard fire fighting apparatus, the turning radius of all drives, courts, cul-de-sacs and turn around areas shall be a minimum of 48 feet. (FD, PL/FD,B)

## GENERAL DEVELOPMENT CONDITIONS

43. All roof mounted equipment, plumbing vents, ducts, and other appurtenances protruding from the roof shall be integrated in such a manner that they will not be viewed from any public street, the front of property or otherwise highly visible vantage points. A note shall be included on construction plumbing drawings of elevations to indicate to contractors that roof features shall be grouped and located in the described manner. All roof mounted equipment and vents shall be shown on construction drawings. (B/B)
44. Security devices and measures, including walkway and vehicle control gates, entrance phones, intercoms and other similar features, shall be installed subject to the approval of the Police Department. (PD, PL/PD, B)
45. Access to all parking and other areas held in common shall be of a "barrier free" design permitting access for the handicapped and elderly. (B/B)
46. An art monument shall be installed at Office Building One (Lots 4,6,5,7 of Tract 4065-1) prior to approval of occupancy. The art monument at the corner of Rose Avenue and Highway 1 shall be installed within three years of the approval of the development plan or approval of occupancy of any building constructed on that lot. The final design of the proposed monument at the southwest corner of Wooley Road and Rose Avenue shall be submitted within one (1) year of the approval of this development plan or approval

## RESOLUTION NO. 7051

of occupancy, whichever comes first, and shall be constructed within 180 days of approval of the final design by the Community Development Director. The design of the three art monuments is subject to the approval of the Community Development Director. The three art monuments specified above satisfy the developer's requirement for providing art monuments. (PL/PL)

47. All driveways to the individual lots shall have stamped concrete for the length of the driveway throat, excluding the sloping portion of the driveway and that portion of the throat beyond the beginning of the radius of the planter forming the throat. (PL/PL)
48. All traffic intersection islands shall consist of raised stamped concrete per Parks Division standards. This condition does not require developer to replace existing constructed intersection improvements. (PW)
49. A bicycle/jogging course shall be indicated by signage, striping, and mileage marking throughout the business center within the existing bike lane and sidewalk system and maps of the course made available through the Transportation Center. The time period by which the course shall be marked and mapped shall be determined by the Director of Community Development based on occupancy rates within the park.
50. Outdoor lounge areas in the form of planter seating walls shall be provided at an approximate ratio of one outdoor lounge area per 35,000 to 40,000 square feet of building for speculative industrial buildings in the ML zone. Final design, number, and location of such areas shall be subject to the approval of the Director of Community Development. Provision of outdoor eating areas for build to suit buildings and those buildings constructed in the BRP zone shall be considered in conjunction with individual special use permit requests.
51. The private alley system for each block on which any building is constructed shall be completely installed concurrently with the first building. (PL/PW)
52. All downspouts shall be inside the building. (PL/B)
53. The provisions of the transportation systems management plan shall apply to the entire Channel Islands Business Center and be implemented within two years of the approval of this development plan. Specific requirements are as follows:
  - o Establish a Property Owners Association the purpose of which includes providing owners, tenants, and commuters with transportation informational services. Each member of the association shall provide their own transportation coordinator

## RESOLUTION NO. 7051

whose responsibilities include acting as intermediary between commuters and the Transportation Services Center, to distribute and retrieve information and surveys. The Association shall financially support the Transportation Services Center.

- o Establish a Transportation Services Center. The Transportation Services Center shall be established by the Property Owners Association to provide a central location within CIBC to coordinate transportation needs. The Center shall be run by a transportation manager responsible for implementing and maintaining the transportation program and providing the following services:

The owners shall be provided with a transportation policy statement. It shall state the goals of the transportation office, rationale and method of implementation.

- o The Transportation Services Center shall survey the owners, tenants, and their employees about willingness to use alternative modes of transportation and ridesharing; provide a matching service for those commuters wishing to carpool; distribute information about alternate modes of transportation including bus service; survey owners, tenants, and commuters to monitor the program and determine its effectiveness.
- o Owners shall be encouraged to allow their employees to use flex time to enable a greater opportunity to utilize public transportation and ridesharing.
- o Public transportation shall be provided in the Center.
- o Provisions shall be made for non-polluting modes of transportation. All interior streets shall be striped for bicycle lanes, and each building shall be provided with bike racks.
- o Lunch wagons shall be allowed to operate at any site requested by an owner or tenant.
- o Each site shall be provided with the opportunity of using the fiber optic network by giving every building the ability to hook into the fiber optic system.
- o The requirements of this condition shall not prohibit the developer from requesting modifications to this transportation management plan in order to conform with future requirements imposed by the AQMP.

54. Presently, the frontage on Highway 1 is freeway status, which requires a fence. The City and developer are working to eliminate that status. If these efforts are unsuccessful after three years of the date of adoption of the Development Plan, the

## RESOLUTION NO. 7051

developer agrees to install decorative fencing on the perimeter property line and, if Cal Trans permits landscaping within their easement, the developer agrees to provide landscaping within the Cal Trans right of way, subject to approval of the Public Works Department, Parks Division and Cal Trans, or the developer agrees to participate in an in-lieu fee program (for the purpose of providing landscaping in the right-of-way) as may be established by the City and Cal Trans. If the City and developer are successful in eliminating the freeway status of Highway 1, the developer agrees to install full perimeter landscaping and irrigation along the frontage and in the Cal Trans right of way within 180 days of that decision.

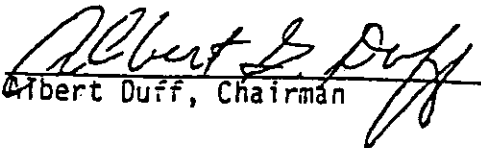
55. The developer shall provide varying levels of enhanced architectural treatment in designated areas of development in the CIBC according to Exhibit 8.
56. Where buildings abut each other, a distinct division shall be created by means of a recessed sheet metal panel painted a darker color, and/or recessing one building. (PL,PL/PK)

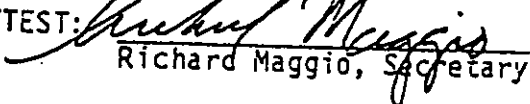
PASSED AND ADOPTED by the Planning Commission of the City of Oxnard on this 6th day of August, 1987, by the following vote:

AYES: Commissioners: Paul, Racine, Perez, Grey, Elias, Duff

NOES: Commissioners:

ABSENT: Commissioners: Flores

  
Albert Duff, Chairman

ATTEST:   
Richard Maggio, Secretary

# AUM

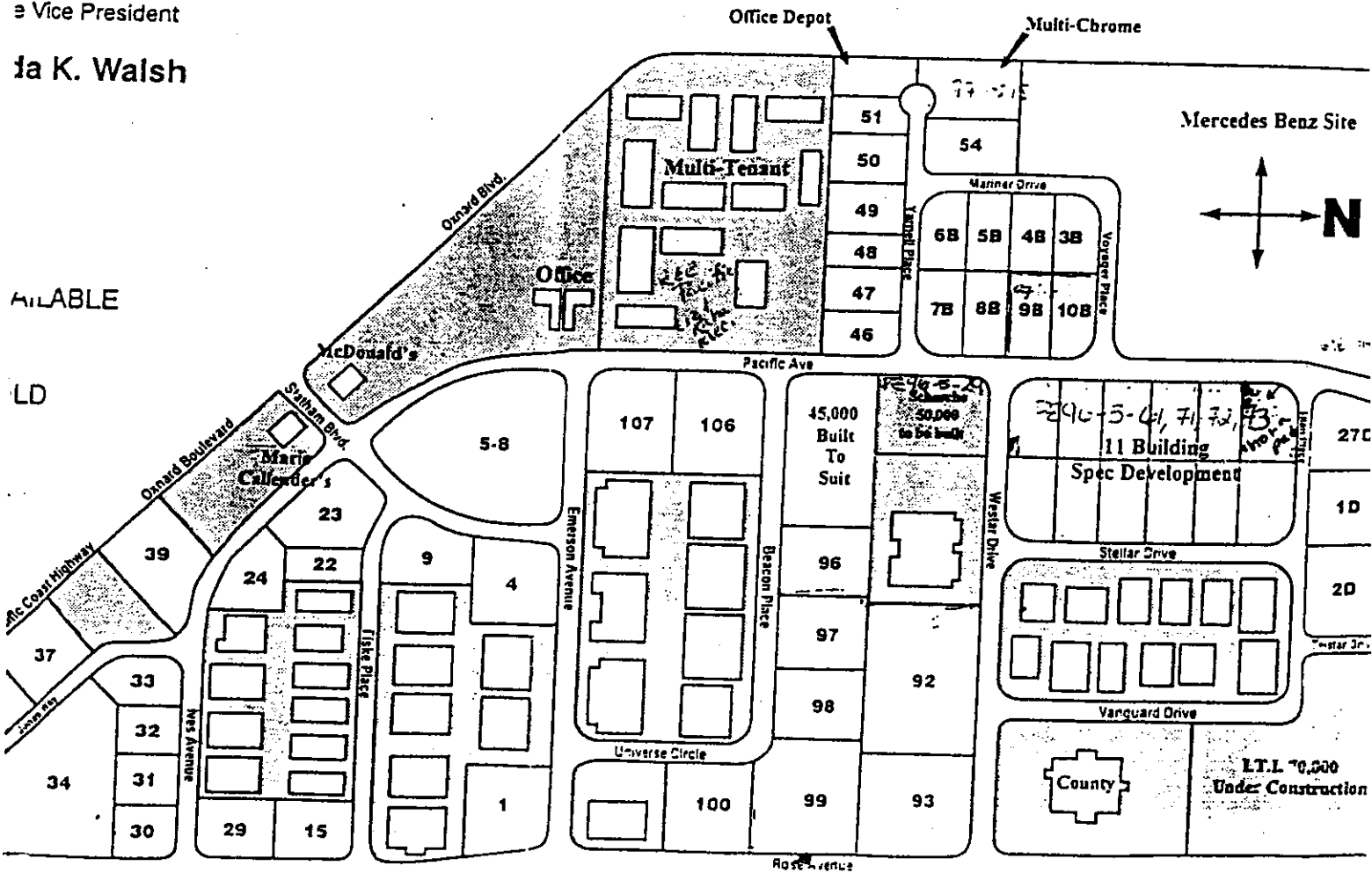
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Michael W. Walsh, SIOR  
Senior Vice President

Debra K. Walsh

## Channel Islands Business Center



AVAILABLE

LD