

COMMUNITY WORKSHOP

Monday, May 18, 2026

The attached documents have been submitted by the applicant for the following item:

1. PROJECT NAME: Riverpark Specific Plan Amendment; PLANNING AND ZONING PERMIT NO. 26-630-01 (Specific Plan Amendment); Riverpark Neighborhood

A request to amend the Riverpark Specific Plan to change the land use designation of “Public Facilities” to “Commercial: Regional” within Planning District E of the Riverpark Specific Plan located at 250 Riverpark Boulevard (APN: 132-0-033-010). There is no proposed development. The project is subject to review under an Addendum to the Final Environmental Impact Report (FEIR No. 00-03).

Applicant: David Metchis, City of Oxnard
City Contact: Jamie Peltier, Case Planner

Phone: (805) 385-7932
Phone: (805) 385-7952

For additional project information, please direct your inquiry to the listed contacts, or call the Planning Division at (805) 385-7858

Para información en español, favor de llamar al (805) 385-7858

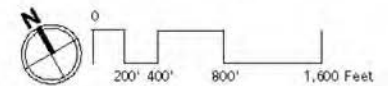
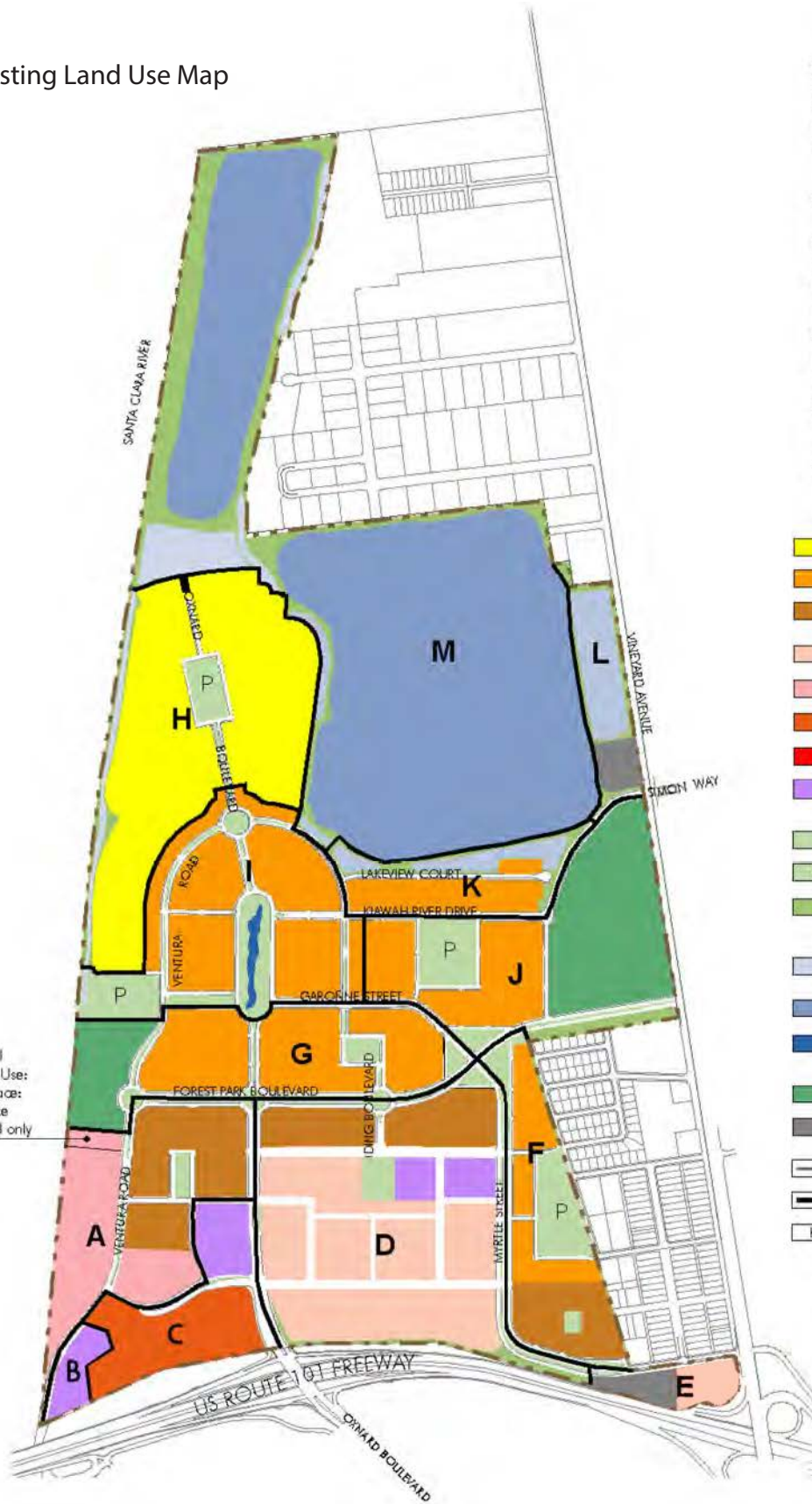
Existing Land Use Map

RIVERPARK LAND USE PLAN:
 PERMITTED USES
 Land Use Plan Date: August 2020

Legend

- Planning Districts**
- A Mixed Use/Office District
 - B West Peripheral Commercial District
 - C West Corridor Commercial District
 - D Town Square Commercial District
 - E East Peripheral Commercial District
 - F Vineyards Neighborhood District
 - G Village Square Neighborhood District
 - H RiverPark Crescent Neighborhood District
 - I RiverPark Loop Neighborhood District
 - J RiverPark Mews Neighborhood District
 - K Lakeside Neighborhood District
 - L Public Facility District
 - M Water Storage/Recharge Basins & Storm Water Control District
- Land Use**
- Residential: Low Medium (8-12 DU/gross acre)
 - Residential: Medium (12-18 DU/gross acre)
 - Residential: High (18-30 DU/gross acre)
 - Commercial: Regional
 - Commercial: Office
 - Commercial: Convention Hotel
 - Commercial: Retail/ Office
 - Residential: Very High (30-80 DU/gross acre) or Commercial: Regional
 - Open Space: Park Space *
 - P Open Space: Neighborhood Parks
 - Open Space: Landscaped Buffer
 - Open Space: Miscellaneous: Dry Swales/ Detention Basins
 - Open Space: Miscellaneous: Water Storage/ Recharge Basins
 - Open Space: Miscellaneous: Water Feature
 - Schools/ Community Park
 - Public Facilities
 - Specific Plan Area
 - Planning District Boundary
 - K Planning District Designation

Optional Permitted Use:
 Open Space:
 Park Space
 (this parcel only)



* Specific location of Open Space to be determined prior to final development of the district



LAND USE PLAN: PERMITTED USES

2.B

August 27, 2002
 update through 3/2012
 Modified in
 SPA 2015

prepared for RiverPark Development, LLC by AC Martin Partners with
 RTKL / EDSA / CRAIN AND ASSOCIATES / WILLIAM HEZMALHALCH ARCHITECTS / HUITT-ZOLLARS

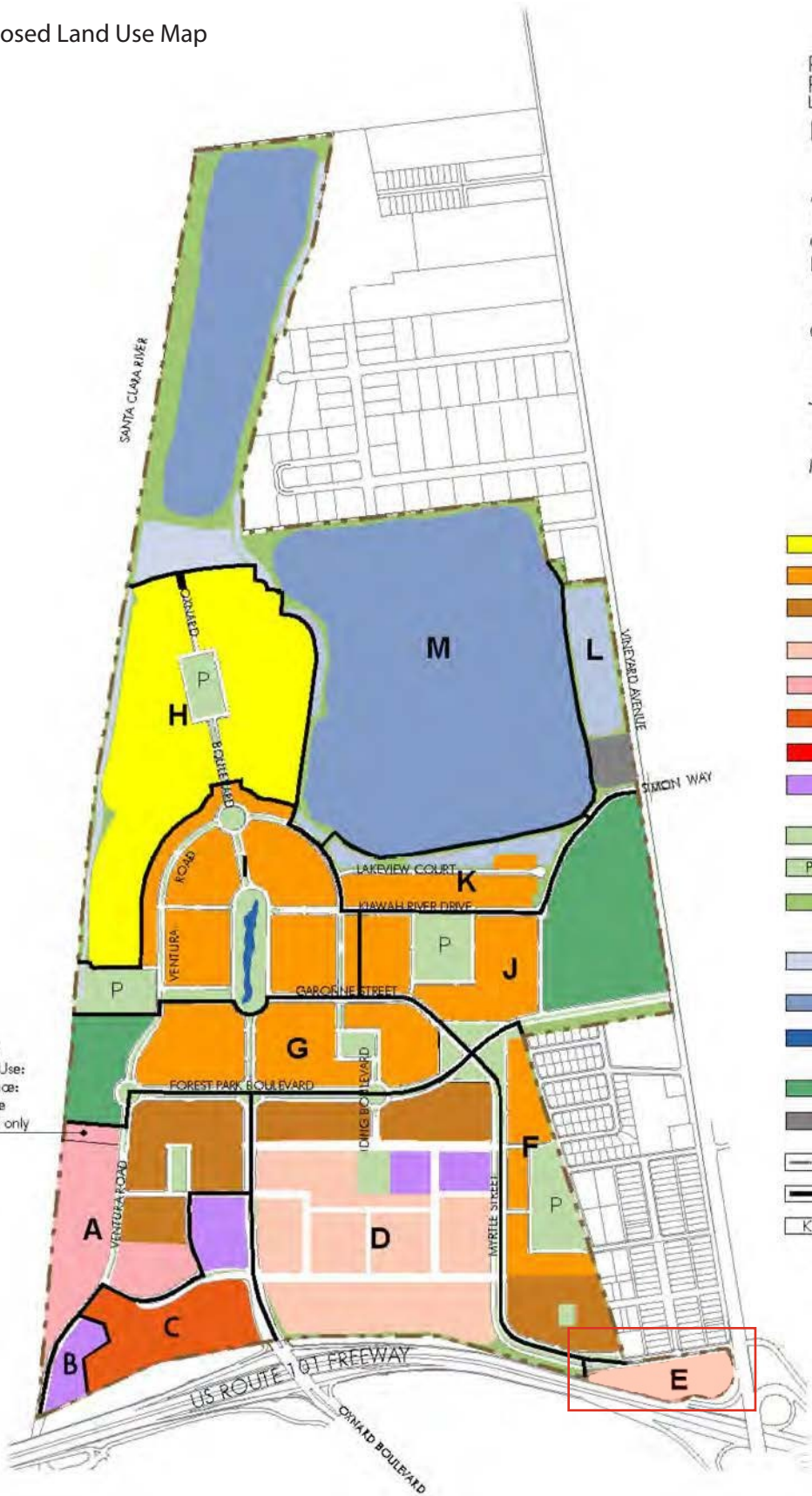
Proposed Land Use Map

RIVERPARK LAND USE PLAN:
 PERMITTED USES
 Land Use Plan Date: August 2020

Legend

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LAND USE PLAN: PERMITTED USES

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COMMUNITY WORKSHOP

Monday, May 18, 2026

The attached documents have been submitted by the applicant for the following item:

1. PROJECT NAME: Bumble Bee's Preschool & Childcare; PLANNING AND ZONING PERMIT NO. 25-520-01 (Special Use Permit); Southwinds Neighborhood

A request to permit the operation of a child care and preschool within an existing 8,640 square foot commercial tenant space on a 0.59-acre site located at 527 West Hueneme Road (APN: 222-0-082-625) within the General Commercial (C-2) zone. Proposed development includes both interior tenant improvements, as well as exterior improvements to the existing parking area and rear yard area (resurfacing and restriping). The project is exempt from environmental review pursuant to Section 15301 (Existing Facilities), Class 1 of the California Environmental Quality Act (CEQA) Guidelines.

Applicant: Cesilia Valle
City Contact: Rogelio Solis, Case Planner

Phone: (805) 921-9294
Phone: (805) 385-7850

For additional project information, please direct your inquiry to the listed contacts, or call the Planning Division at (805) 385-7858

Para información en español, favor de llamar al (805) 385-7858

Division 1
A. GENERAL CONDITIONS:
 1. AIA Document A201, "General Conditions of the Contract for Construction" shall govern work performed under this Contract.
 2. The contractor shall be responsible for providing all materials and workmanship in accordance with all applicable State and City building codes and requirements.
 3. As approved by building owner, the contractor and all subcontractors shall purchase and maintain certificates of insurance with respect to workmen's compensation, public liability and property damage for the limits as required by law. The contractor shall be responsible for initiating, maintaining, and supervising all safety precautions in connection with the work.
 4. The contractor is required to secure and pay for all building permits, plan check or any other fees required to complete this project and all fees shall be included in the contractor's pricing proposal. All pricing submittals shall be completely itemized for each sub-trade.
 5. The contractor and all sub-contractors shall thoroughly examine the premises and shall base their bids on the existing conditions. The contractor shall notify owner's representative immediately of any discrepancies between field conditions and construction documents prior to construction, or the contractor shall be held responsible.
 6. Upon submittal of the final construction costs, the general contractor shall also submit a specific construction schedule indicating the required construction time for all subcontractors' and general contractors' work. This schedule shall confirm approximate on-site delivery dates for all construction materials by the construction documents and shall immediately notify owner's representative, in writing, of all construction delays that may arise due to the availability of the specified products which will affect scheduled occupancy.
 7. Substitutions, revisions, or changes must have prior written approval by the owner's representative. There shall be no substitution of materials where a manufacturer is specified. Where the term "or approved equal" is used, the owner's representative shall determine equality based upon complete information submitted by the contractor.
 8. No work defective in construction or quality or deficient in any requirements of the drawings will be acceptable. The owner's or owner's representative failure to discover or point out defects or deficiencies during construction shall bear no consequence to the owner or owner's representative. Defective work revealed during the construction period or during the guarantee period shall be replaced by work conforming with the intent of the contract. No payment, either partial or final shall be construed as an acceptance of defective work or improper materials.
 9. The general contractor shall not proceed with any additional compensation beyond the contract amount without written authorization from the owner or the owner's representative. Failure to obtain authorization shall invalidate any claim for extra compensation.
 10. The general contractor shall be responsible for the distribution of drawings to all trades under his jurisdiction.
 11. The contractor shall provide strict control of job cleaning and prevent dust and debris from emanating from construction areas. Keep corridors and adjacent occupied areas clean and clear. Do not disrupt operations of adjacent occupied areas.
 12. "Typical" means identical for all similar conditions unless otherwise noted.
 13. Contractor is responsible for coordinating all design & engineering work to assure that all lighting, mechanical, electrical, plumbing & sprinkler work has the proper clearances for installation and maintenance. Resolve all conflicts before proceeding.

B. SUBMITTALS
 1. Contractor shall submit samples and shop drawings to the owner's representative for review prior to fabrication. The owner's representative will review and approve submittals in an orderly sequence to prevent delay. Inform owner's representative in writing at the time of submission of any proposed deviation in submittals from the requirements of the Contract Documents. By approving and submitting shop drawings and samples, the Contractor represents that he has determined and verified field measurements, field construction criteria, materials, catalogue numbers and similar data, and that each submittal has been checked and coordinated with the requirements of the Contract.
 2. Samples
 a. Provide three samples of each item as required. Contractor shall ship samples prepaid.
 b. Rejected samples shall be resubmitted as soon as possible and shall be identified as "Resubmitted Samples".
 c. Provide samples of actual piece of the appropriate material for the following:
 1. Points (8" x 10")
 2. Vinyl Composite Tile (1' x 1')
 3. Plastic laminates (8" x 10")
 4. Wood Finishes (8" x 10")
 5. Rubber Base (3")
 6. Carpet (1' x 1')
 3. Shop Drawings --Submit shop drawings, equipment/product cut sheets, and samples to owner's representative for approval.
 a. Submit one reproducible and two prints of each shop drawing. Drawings shall include title block, reference to architectural drawing and required information.
 b. Corrections and notations will be made on the reproducible. When required, revision shall be incorporated and resubmitted.
 c. The owner's representative review of shop drawings shall be for design concept only. The Contractor is responsible for the accuracy of shop drawings, proper fittings, coordination of work, construction techniques, materials and work required by the Contract Documents.
 d. The owner's representative review of shop drawings shall not be construed as approving departures from contract requirements.
 e. Provide shop drawings for the following:
 1. Finish carpentry/millwork.
 2. HVAC system.
 3. Electrical system.
 4. Life Safety system.
 5. Sprinkler system.
 6. Carpet seaming diagrams.
 4. Contractor shall submit a detailed hardware schedule for the owner's representative approval prior to submitting order. Finish hardware samples shall be submitted at the request of owner.

Division 2 - Site Access
A. SITE WORK:
 1. Receive approval from Building Owner regarding access to space, debris removal routes, and other necessary construction functions prior to commencing construction.
 2. Coring and other work which might affect other tenants shall be scheduled through the office of the Building Owner.
 3. Submit shop drawings, equipment/product cut sheets, and samples to owner's representative for approval.

Division 3 - Concrete
A. CUTTING & PATCHING
 1. All concrete cutting and patching to conform to the provisions of ACI Standard 318 for concrete construction.
 2. Submit shop drawings, equipment/product cut sheets, and or samples to owner's representative for approval.

DIVISION 4: MASONRY
 This Section not used.

DIVISION 5: MISCELLANEOUS METALS
 This Section not used.

DIVISION 6: WOOD AND PLASTIC
A. ROUGH CARPENTRY
 1. Wood for rough carpentry shall be graded by an agency certified by the National Forest Products Association (NFPA) and shall be of the type recommended for the application involved.
 a. Fire treat all wood for rough carpentry.

B. FINISH CARPENTRY
 1. Finish carpentry and millwork shall conform to the following standard: Woodwork Institute of California:
 Custom Grade.
 2. Wood Casework:
 a. Plastic laminate shall be NEMA LD-3 general purpose type. Thickness as follows:
 a) Counter tops: 0.05"
 b) Vertical surfaces: 0.038"
 c) Back-up sheets: 0.020"
 See Finish Schedule.
 b. Paint finish millwork shall be paint grade solid wood or edge banded plywood or particle board. See Millwork Details.
 c. Doors, shelves, drawer fronts 3/4" plywood with 1/4" hardwood cabinet sides, base: edgeboard on all exposed edges. See Details.
 d. Cabinet back: 1/4" plywood
 e. Countertop (at Coffee Area): 3/4" particle board with plastic laminate on all exposed surfaces.
 f. Materials for transparent finish: Cabinets to receive transparent finish ore to be fabricated from premium grade American maple or cherry wood with matching edge band, U.O.N. Transparent finish to be scheduled on plans.
 g. Materials for opaque finish: Cabinets to receive paint ore to be fabricated from point grade materials. See Finish Schedule.
 3. Casework Hardware
 a. Concealed Hinges: Match existing.
 b. Pulls: Match existing.
 c. Standards: KV #255 w/KV #256 rests, finish: zinc.
 d. Grommets: 1-3/4". Manufacturer: Doug Mockett & Co. Finish: brushed chrome.
 e. Take field measurements as required. Discrepancies between drawings and field dimensions shall be reported to the architect.
 f. Millwork shall be installed under supervision of factory trained mechanics.
 g. After installation, check and adjust woodwork and cabinetwork hardware.
 4. Submit shop drawings, equipment/product cut sheets, and or samples to owner/owner's representative for approval.

DIVISION 7: THERMAL AND MOISTURE PROTECTION
A. ACOUSTICAL INSULATION
 1. Low density acoustic batt insulation to be 3/4 lb./cu.ft., 3-1/2" unfaced fiberglass acoustical insulation Owens-Corning noise barrier, SG thermfiber or approved equal. Minimum thickness: 3-1/2", (or approved equal).
 2. Submit shop drawings, equipment/product cut sheets, and or samples to Owner for approval.

DIVISION 8: DOORS AND WINDOWS
A. DOORS AND FRAMES
 See Door Schedule and Construction Details.
 1. Aluminum Frames: factory finish aluminum, see door schedule for additional finish information, 20 min. rated where required or shown on plans. See drawings for layout of doors. Submit frame color sample to architect for approval.
 2. Hollow Metal Frames: One piece knock down, primed to receive finish. Color: See Finish Schedule for additional finish information. Fire rated where required or shown on plans.
 3. Tenant Doors: Solid core wood door, premium wood veneer with matching rails. See door schedule for additional finish information. Fire rated where required by code or indicated on the plan.
 4. Doors and frames shall be straight, square and undamaged.
 5. Installation is to be in accordance with the manufacturer's latest printed instructions. Gaps between frame sections greater than 1/64" to be redone.
 6. Submit shop drawings, equipment/product cut sheets, and or samples to owner for approval.

B. GLAZING
 1. Glass and glazing shall be installed per published specifications standards, test or recommended methods of industry or governmental organizations which apply to work m this project.
 a. Flat glass: Standard Specification C 1036-85 of the ASTM.
 b. Safety Standard for Architectural Glazing Materials (16 CFR 1201) issued by the Consumer Product Safety Commission.
 c. ANSI Z97-1-1975 of the American National Standards Institute, Inc.
 2. Where glass and glazing is designated on the construction plan, details and elevations, the materials shall be as follows:
 Glass: Factory cut fully tempered plate glass or laminated glass (as required).
 Glazing Tape: Performed, pre-shimmed polyisobutylene-butyl Tremco 440 or approved equal.
 Setting Blocks: Shore A Neoprene, 4" min. length.
 Spacers: Shore A Neoprene.
 Vinyl Glazing Strips: match existing.
 Submit sample. Silicone: General Electric Silicone Sealant, color to match existing.
 3. Submit shop drawings, equipment/product cut sheets, and or samples to owner for approval.

DIVISION 9: FINISHES:
A. METAL FRAMING SYSTEMS: To be installed per code and construction details.
B. GYPSUM WALLBOARD SYSTEMS: To be installed per code and construction details. Use U.S. Gypsum, Gold Bond or Georgia Pacific. Fire rated assemblies shall be listed and labeled by U.L.
C. FLOORING:
 1. Carpet: Install per manufacturer's recommendations over pad. See Finish Notes and Schedule.
 2. Pad: Install per manufacturer's recommendations. See Finish Notes and Schedule.
 3. Vinyl1 Flooring: Install per manufacturer's recommendations. See Finish Schedule and Schedule.
 4. Base: Install per manufacturer's recommendations. See Finish Schedule and Schedule.
 5. Submit shop drawings, equipment/product cut sheets, and or samples to architect for approval.

D. PAINT:
 1. Minimum two-coot application spread as recommended by the point manufacturer to obtain true, even color. For deepone colors provide additional coots as needed.
 a. Primer: As recommended by manufacturer for the substrate and finish required.
 b. Paint: As indicated. Two coots eggshell finish at all wall surfaces. Semi-gloss work at all millwork, typical. See Finish Schedule for color and manufacturer.
 2. Submit shop drawings, equipment/product cut sheets, and or samples to owner for approval.

F. ACOUSTICAL CEILING:
 1. Grid: Match existing. Color: Match existing ..
 2. Tile: Match existing.
 3. Installation: Install per code and manufacturer's recommendations. See Construction Details.
 4. Finished ceiling to be level within the tolerances of 1/8" in 12'-0".
 5. Submit shop drawings, equipment/product cut sheets, and or samples to architect for approval.

DIVISION 10: SPECIALTIES
 This section not used.

DIVISION 11: EQUIPMENT
A. EQUIPMENT SPECIFICATIONS AND OPERATING INSTRUCTIONS BINDER:
 1. Contractor to provide equipment specifications and operating instructions binder for all equipment installed. Contractor to provide binder to tenant and building owner prior to final punchlist and application for final payment.

DIVISION 12: FURNISHINGS
A. BLINDS: to match existing window treatments on tenant's existing space on floor above.

DIVISION 13: SPECIAL CONSTRUCTION
 This Section not used.

DIVISION 14: CONVEYING SYSTEMS
 This Section not used.

DIVISION 15: PLUMBING/FIRE PROTECTION
A. PLUMBING: Engineering to be "Design/Build."
 1. Installation: Install plumbing in accordance with applicable codes, standards and ordinances.
 2. Provide cold and hot water lines. Verify location and type.
 3. Submit shop drawings, equipment/product cut sheets, and or samples to architect for approval

B. FIRE PROTECTION: Engineering to be "Design/Build."
 1. Design Sprinkler System to meet state and local codes.
 2. Complete Sprinkler system design to be approved by Architect prior to purchase or fabrication of equipment.
 3. Submit shop drawings, equipment/product cut sheets, and or samples to architect for approval

C. AIR DISTRIBUTION: Engineering to be "Design/Build."
 1. Design air distribution to meet state and local codes.
 2. HVAC system to conform to Title 24 regulations.
 3. Complete HVAC system design (including ducts, vents, thermostats, etc.) to be approved by Architect prior to purchase or fabrication of equipment.
 4. Mechanical contractor to provide Title 24 documentation.
 5. Submit shop drawings, equipment/product cut sheets, and or samples to architect for approval

DIVISION 16: ELECTRICAL A. ELECTRICAL: Engineering to be "Design/Build."
 1. Electrical design to meet state and local codes.
 2. Electrical design to conform to Title 24 regulations.
 3. Complete electrical system design to be approved by owner.
 4. Submit shop drawings, equipment/product cut sheets, and or samples to architect for approval.

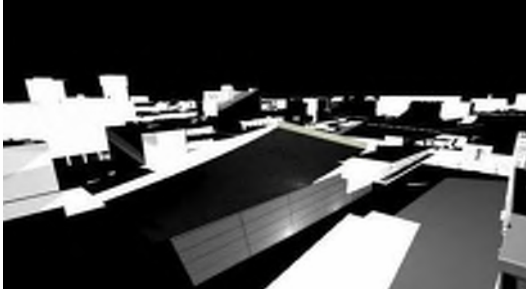
B. LIFE SAFETY: Engineering to be "Design/Build."
 1. Life safety design to meet state and local codes.
 2. Complete life safety design to be approved by architect prior to purchase or fabrication of equipment.
 3. Submit shop drawings, equipment/product cut sheets, and or samples to Owner for approval.

No.	Description	Date

Project number
 Date
 Drawn by
 Checked by

Project Number
 Issue Date
 Author
 Checker

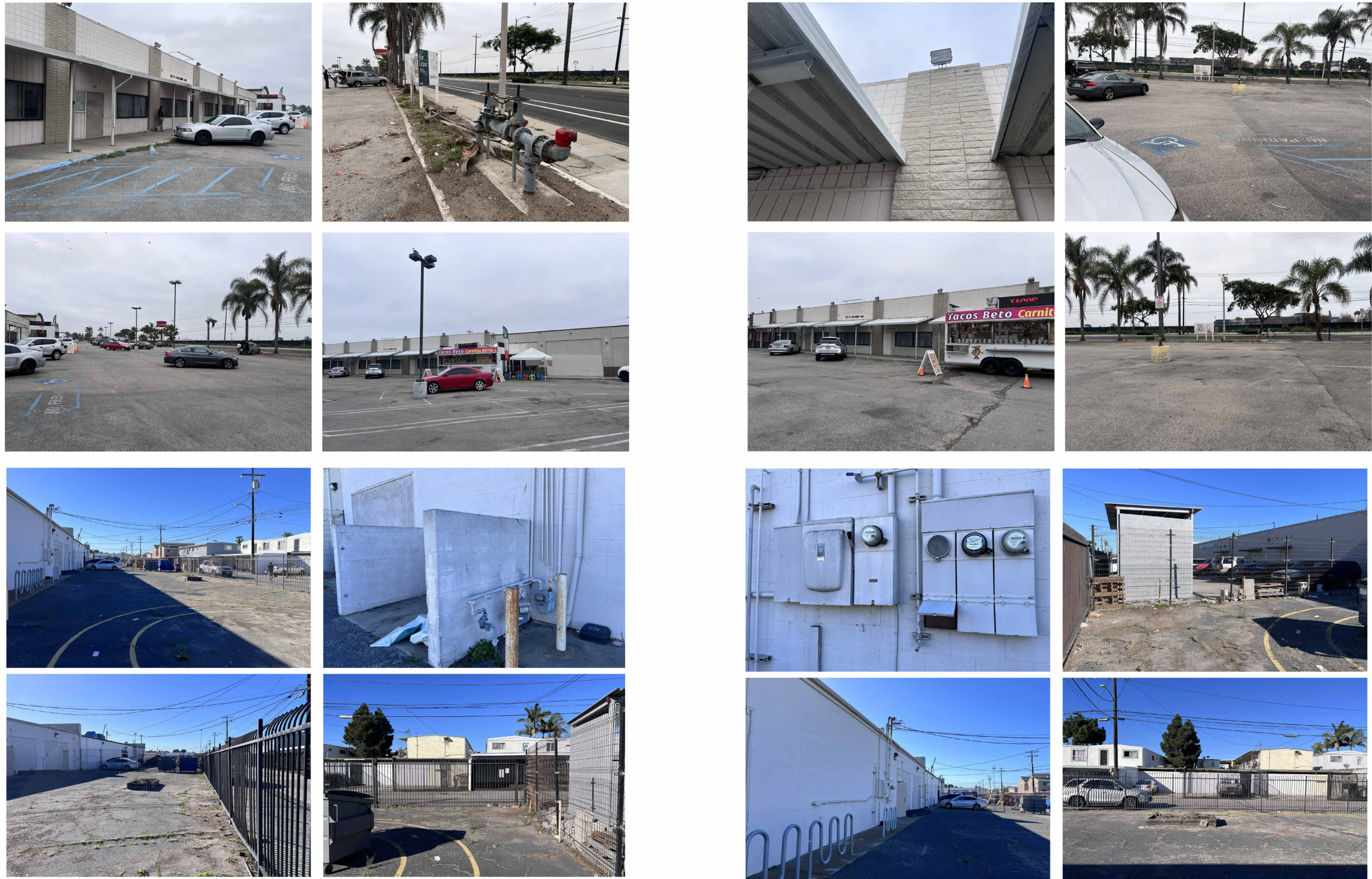
Consultant
 Address
 Address
 Phone
 Fax
 e-mail



**STITCH
 STUDIO**
 Contact: Jorge Escamilla
 4082 Pomona Street
 Ventura, California 93003
 Direct: 818.523.7201
 Email: info@stitchstudio3d.com

Bumble Bee's Pre-Shool
 Change In Use Project
 527-531 W Hueneme Rd
 Oxnard, CA
 GENERAL CONDITIONS

.G101
 Scale 12" = 1'-0"



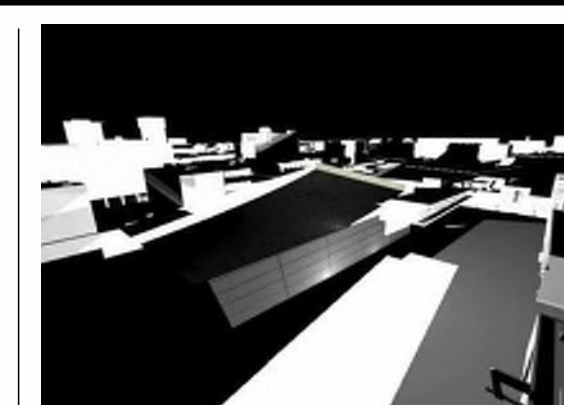
① Photos
12" = 1'-0"

No.	Description	Date

Project number
Date
Drawn by
Checked by

Project Number
Issue Date
Author
Checker

Consultant
Address
Address
Phone
Fax
e-mail



**STITCH
STUDIO**
Contact: Jorge Escamilla
4082 Pomona Street
Ventura, California 93003
Direct: 818.523.7201
Email: info@stitchstudio3d.com

Bumble Bee's Pre-School
Change In Use Project
527-531 W Hueneme Rd
Oxnard, CA
Site Photos

.G102

Scale

12" = 1'-0"

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Parking Schedule	
Shared Parking Count for Existing Stalls	Count
Parking Space: 8.5' x 16' - 90 deg	24
Parking Space: 9' x 16' - 90 deg	5
Parking Space: 9' x 18' - 45 deg	144
Parking Space: 9' x 18' - 45 deg (ADA)	2
Parking Space: 9' x 18' - 90 deg	2
Parking Space_Accessible Parking Stall: 9' x 20' - 90 deg	2
Grand total:	179

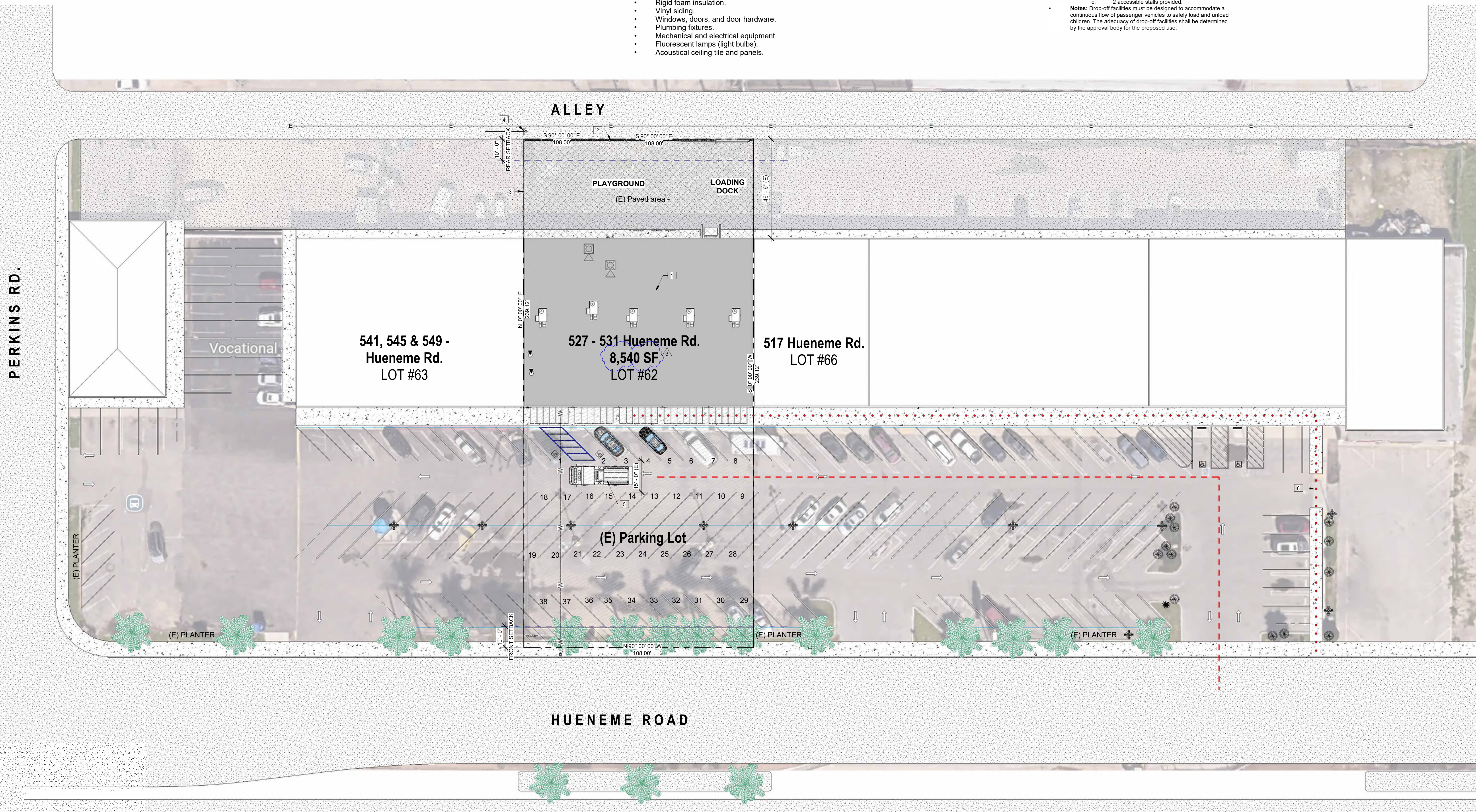
WASTE MANAGEMENT REQUIREMENTS

- Owner requires that this project generate the least amount of trash and waste possible.
- Employ processes that ensure the generation of as little waste as possible due to error, poor planning, breakage, mishandling, contamination, or other factors.
- Minimize trash/waste disposal in landfills; reuse, salvage, or recycle as much waste as economically feasible.
- Owner may decide to pay for additional recycling, salvage, and/or reuse based on Landfill Alternatives Proposal specified below.
- Required Recycling, Salvage, and Reuse: The following may not be disposed of in landfills or by incineration:
 - Aluminum and plastic beverage containers.
 - Corrugated cardboard.
 - Wood pallets.
- Clean dimensional wood: May be used as blocking or furring.
- Land clearing debris, including brush, branches, logs, and stumps; see Section 31 1000 -Site Clearing for use options.
- Concrete: May be crushed and used as riprap, aggregate, sub-base material, or fill.
- Bricks: May be used on project if whole, or crushed and used as landscape cover, sub-base material, or fill.
- Concrete masonry units: May be used on project if whole, or crushed and used as sub-base material or fill.
- Precast concrete panels: May be used for erosion control or landscape features.
- Asphalt paving: May be recycled into paving for project.
- Metals, including packaging banding, metal studs, sheet metal, structural steel, piping, reinforcing bars, door frames, and other items made of steel, iron, galvanized steel, stainless steel, aluminum, copper, zinc, lead, brass, and bronze.
- Glass.
- Gypsum drywall and plaster.
- Plastic buckets.
- Carpet, carpet cushion, carpet tile, and carpet remnants, both new and removed.
- DuPont (<http://flooring.dupont.com>) and Interface (www.interfaceinc.com) conduct reclamation programs.
- Asphalt roofing shingles.
- Paint 18, Plastic sheeting.
- Rigid foam insulation.
- Vinyl siding.
- Windows, doors, and door hardware.
- Plumbing fixtures.
- Mechanical and electrical equipment.
- Fluorescent lamps (light bulbs).
- Acoustical ceiling tile and panels.

- E - Electrical Panel
- W - Water Meter
- G - Gas Meter
- S - Backflow Preventer
- P - Power Pole
- (E) Neighboring Residence
- Dense Landscape - Succulents

City Of Oxnard Zoning Code
 SEC. 16-622 SCHEDULE OF VEHICLE OFF-STREET PARKING REQUIREMENTS.
 minimum vehicle off-street parking requirements
 • **Uses:** Day-care preschool and nursery schools
 • **Minimum Off-Street Parking Requirements:** One space per staff member, plus one space per five children or one space per ten children if adequate drop-off facilities are provided.
 1. **38 standard stall spaces provided**
 a. 10 staff members required,
 • 10 Stalls provided
 b. 50/5 = 10 stalls required
 • 26 provided
 c. 2 accessible stalls provided.
 • **Notes:** Drop-off facilities must be designed to accommodate a continuous flow of passenger vehicles to safely load and unload children. The adequacy of drop-off facilities shall be determined by the approval body for the proposed use.

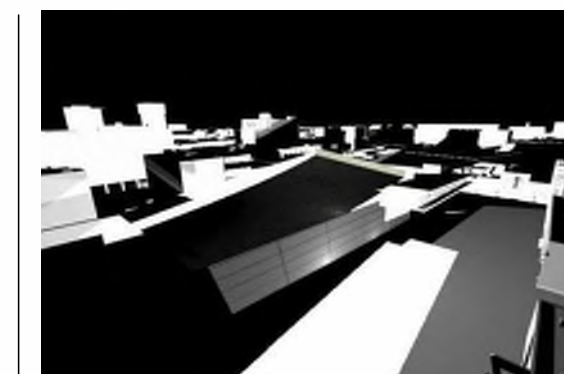
Key Value	Keynote Text
00	Keynote Legend
1	Existing single-story masonry building.
2	Protect in place existing 7'-2" high, perimeter ornamental steel fence panels and columns, powder-coated black.
3	Protect in place existing 8'-0" high, perimeter fencing, pre-fabricated steel wire fence panel with 2 x 2 supporting tubes, powder-coated black.
4	Protect in place the existing power pole, its corresponding overhead lines, and pole-mounted equipment, including transformers and other Edison equipment components.
5	Emergency vehicle access road.
6	Pedestrian public site access, path of travel; this path of travel has been previously permitted by the owner of the development.



1 Site Plan
 1" = 20'-0"

No.	Description	Date
1	Revision 1 - Planning	02/09/26
2	Revision 2 - Planning Responses	03/20/26
3	Revision 3 - Planning	05/04/26

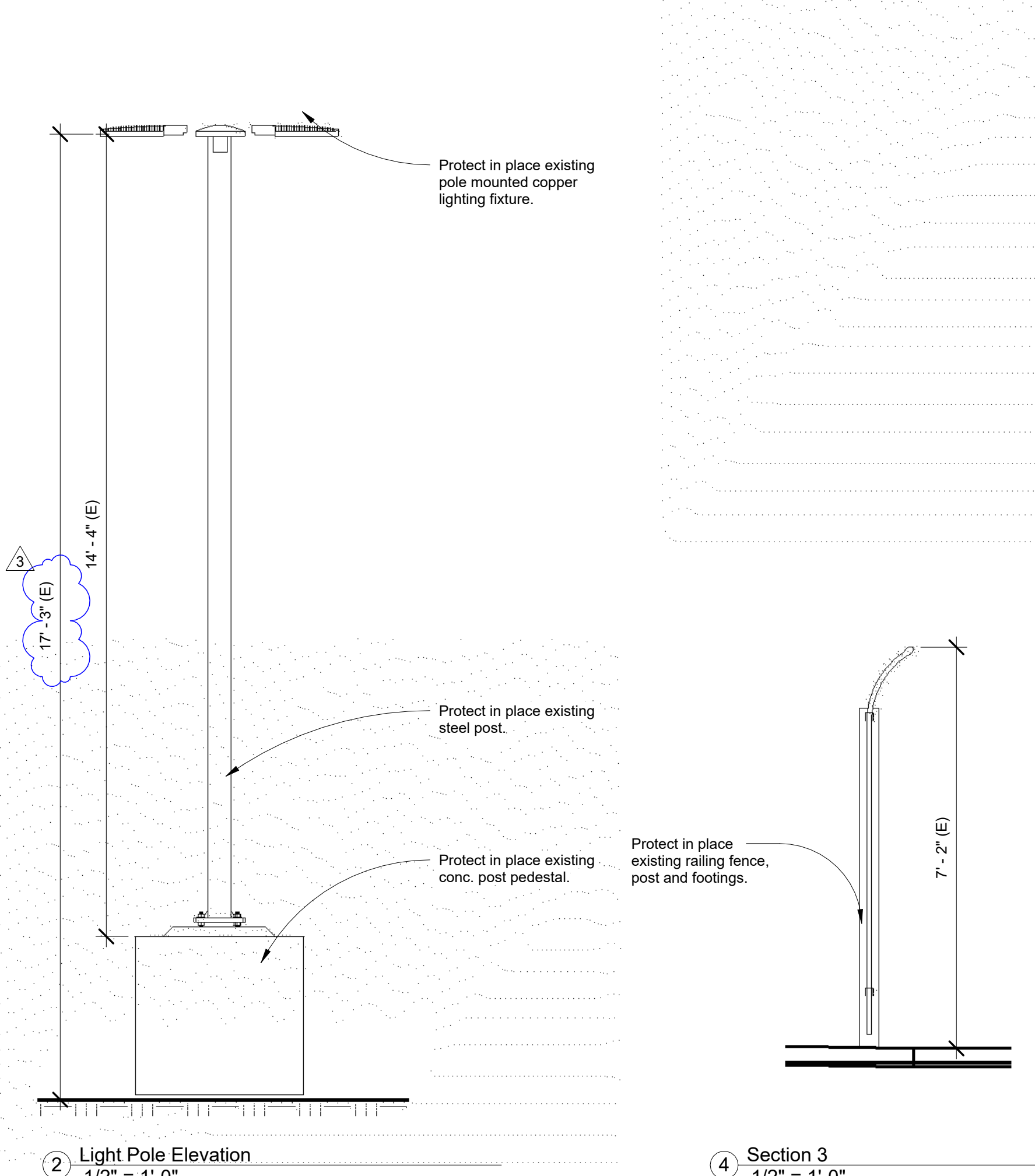
Project number	Project Number	Consultant
Date	Issue Date	Address
Drawn by	Author	Phone
Checked by	Checker	e-mail



**STITCH
 STUDIO**
 Contact: Jorge Escamilla
 4082 Pomona Street,
 Ventura, California 93003
 Direct: 818.523.7201
 Email: info@stitchstudio3d.com

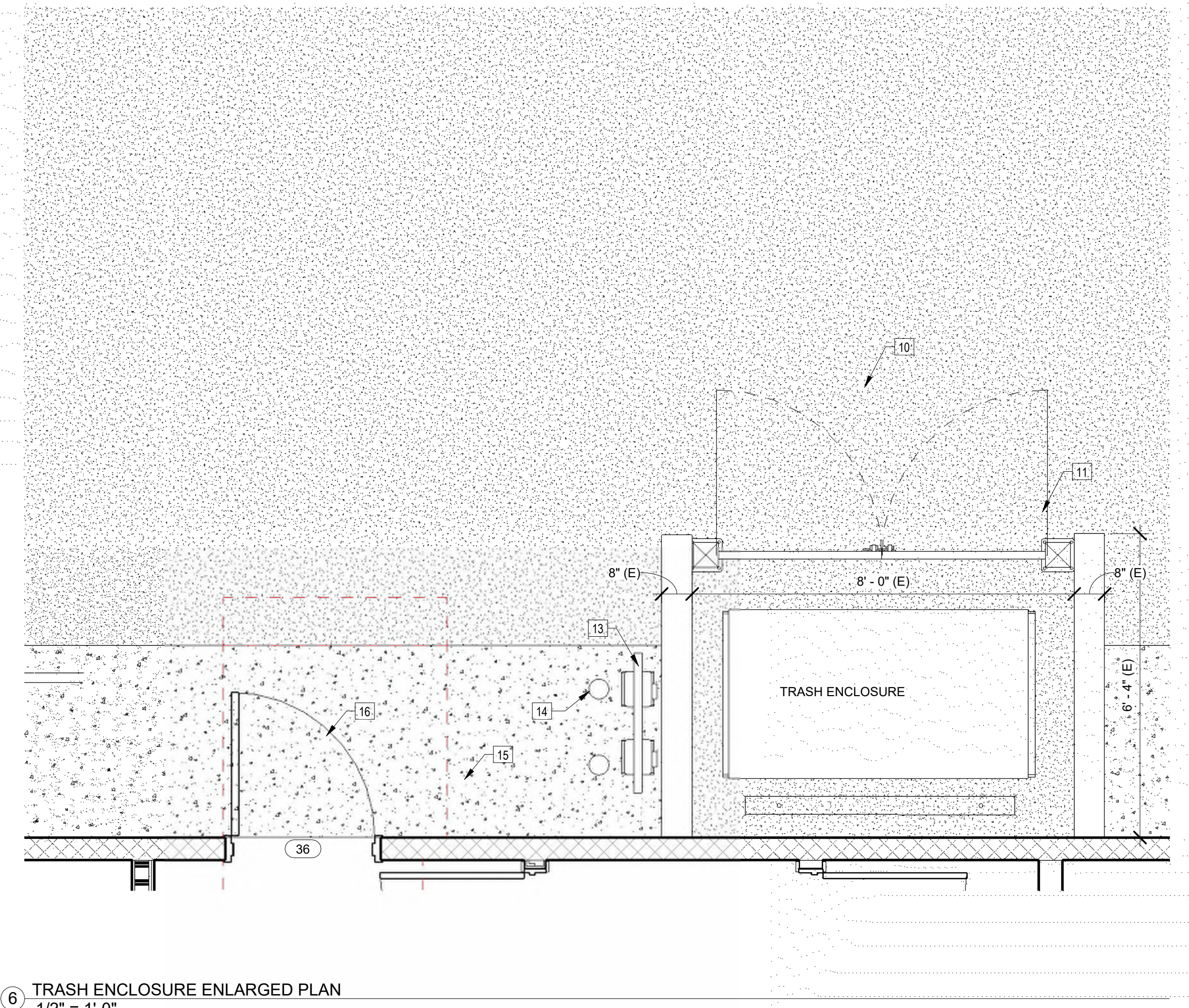
Bumble Bee's Pre-School
 Change In Use Project
 527-531 W Hueneme Rd
 Oxnard, CA
 SITE PLAN

A1.01

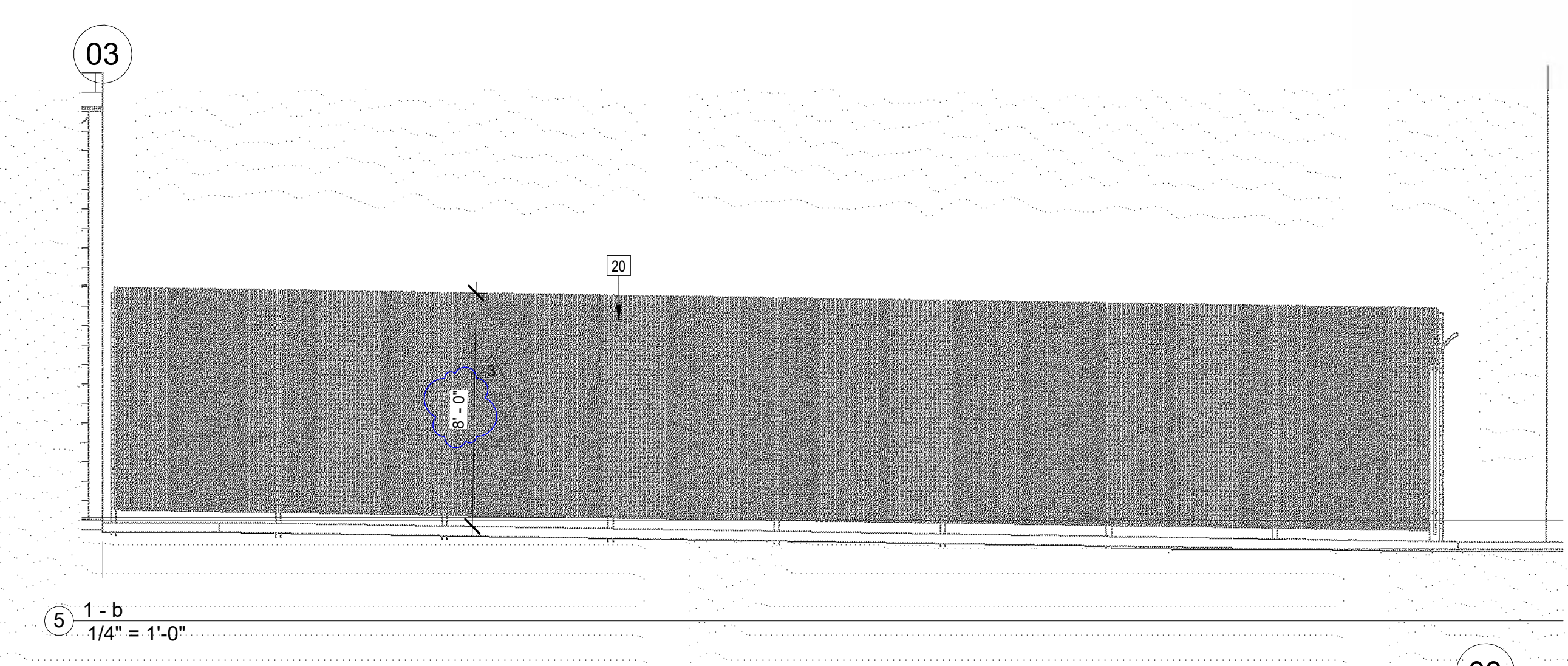


2 Light Pole Elevation
1/2" = 1'-0"

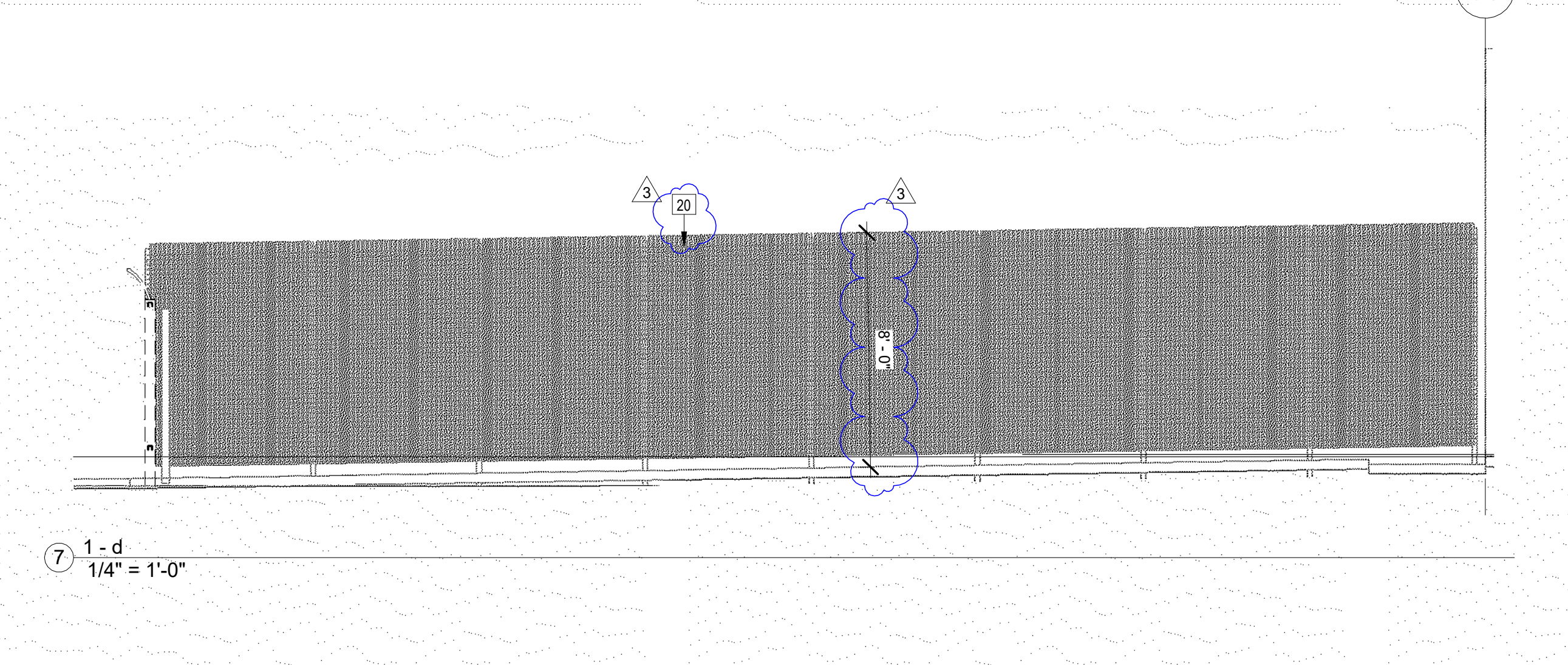
4 Section 3
1/2" = 1'-0"



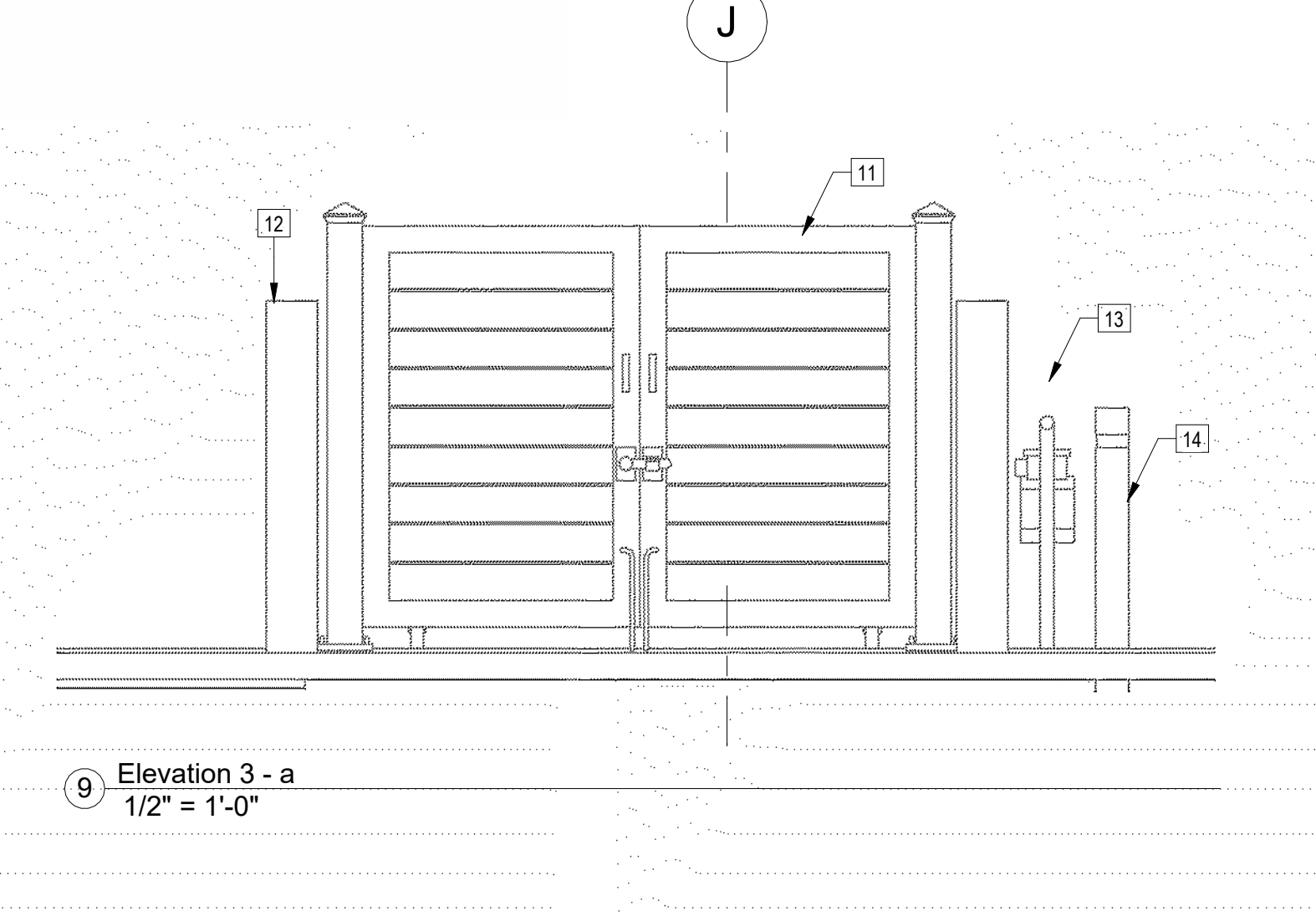
6 TRASH ENCLOSURE ENLARGED PLAN
1/2" = 1'-0"



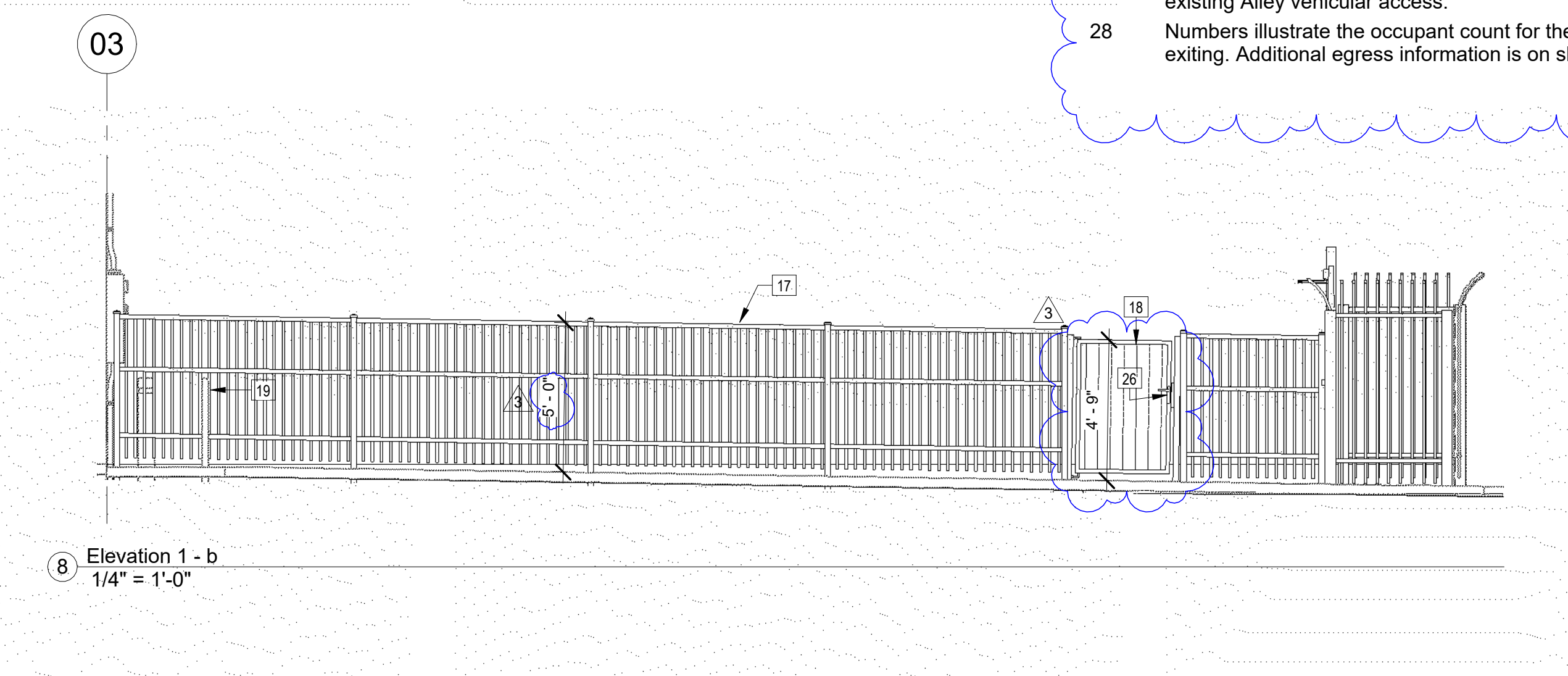
5 1-b
1/4" = 1'-0"



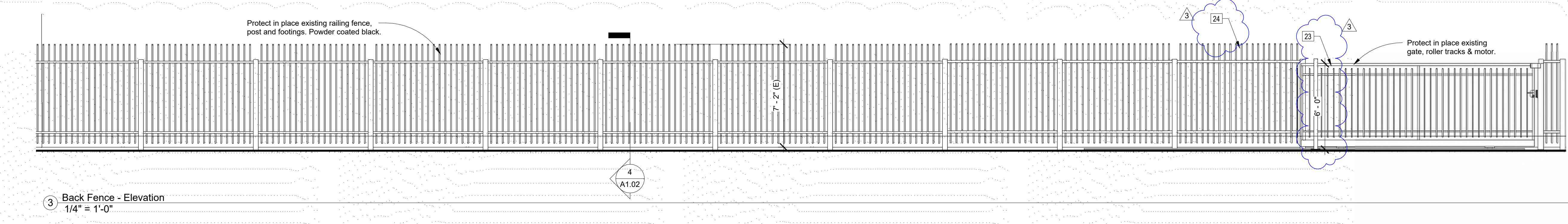
7 1-d
1/4" = 1'-0"



9 Elevation 3 - a
1/2" = 1'-0"

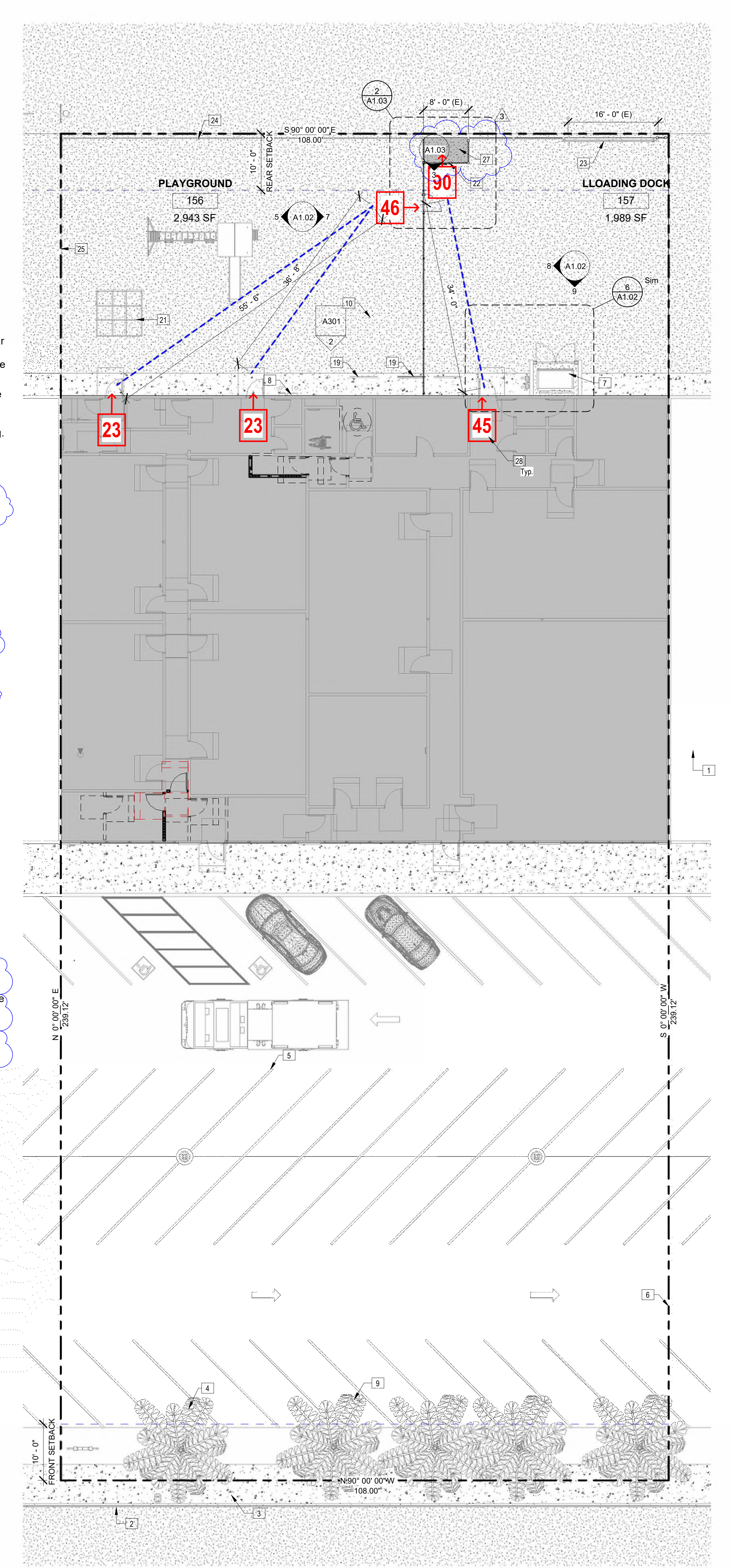


8 Elevation 1 - b
1/4" = 1'-0"



3 Back Fence - Elevation
1/4" = 1'-0"

- 00 Keynote Legend
- | Key Value | Keynote Text |
|-----------|--|
| 1 | Neighboring tenant spaces. |
| 2 | Protect the existing curb and gutter in place. |
| 3 | Protect the existing public sidewalk in place. |
| 4 | Protect in place existing landscaping, planting, and irrigation systems to remain. |
| 5 | Asphalt-paved parking lot, re-stripe all parking stalls. |
| 6 | Property lines, typical. |
| 7 | Protect in place the existing trash enclosure. |
| 8 | Existing electrical main feed switch gear panel w/ overhead powerline feed (verify existing conditions). |
| 9 | Protect in place existing mature trees and shrubs. |
| 10 | Protect in place existing asphalt paving and substructure. Sealcoat over the existing asphalt paving, similar grade to Henry's 532 Driveway Asphalt Resurfacing, installed per manufacturer's installation instructions. |
| 11 | Prefabricated gates, 8'-0" high, similar grade to Cityscapes International Inc. Powder Coated or Painted Metal Panels, Fabricated from rigid aluminum panels in multiple thicknesses. Panel Design-Metal Series. 7.2 Rib Horizontal. Components Required Framing Anchorage, Fabricate anchors and related components, including material and finish, as required or as specifically noted, black paint. Similar in grade to Rust-Oleum high-performance, ROC-Thane Fine Finish Urethane 9400, this two-component polyester urethane offers an ultra-high-gloss finish. |
| 12 | Protect in place the existing 8" wide masonry trash enclosure wall, concrete fill, patch, prep., prime, and paint the existing wall assembly. |
| 13 | Protect in place existing gas meter, shut-off valve, and piping. |
| 14 | Protect in place existing steel bollards and their corresponding paving anchorage. |
| 15 | Protect in place existing concrete paving. |
| 16 | Protect in place the existing exterior door assembly. |
| 17 | Prefabricated steel fencing, 5' high, 1" x 1" square tube pickets 4" o.c. w/ 2" x 2" square tubes @ 8'-0" o.c., Black paint. Similar in grade to Rust-Oleum high-performance, ROC-Thane Fine Finish Urethane 9400, this two-component polyester urethane offers an ultra-high-gloss finish. Similar grade to Beta-fence products, Landmark ornamental steel, 4'-9" high. Latching hardware w/ closer. |
| 18 | Prefabricated steel gate, 2" x 2" square tubes, black paint. Similar in grade to Rust-Oleum high-performance, black paint. Similar in grade to Rust-Oleum high-performance, ROC-Thane Fine Finish Urethane 9400, this two-component polyester urethane offers an ultra-high-gloss finish. Similar grade to Beta-fence products, Landmark ornamental steel, 4'-9" high. Latching hardware w/ closer. |
| 19 | Protect in place existing ground-mounted bike racks, typ. |
| 20 | Protect in place existing prefabricated steel fencing. Similar grade to Beta-fence products, Prism 3-D Fence System, 8' high w/ vertical bars of 1.2", mesh sizes are 6" x 2", black paint. Similar in grade to Rust-Oleum high-performance, ROC-Thane Fine Finish Urethane 9400, this two-component polyester urethane offers an ultra-high-gloss finish. |
| 21 | Playground equipment, shown for reference only, owner-selected equipment (N.I.C.). |
| 22 | 42" wide x 7'-6" tall, Stainless steel gate, similar grade to Alvarado 304 Satin Powder Coated. Installed as per the manufacturer's installation instructions. |
| 23 | Protect in place existing 6' high, mechanical steel, track, wheels, and motor. Sand, prep., prime, and coat the existing gate with black paint. Similar in grade to Rust-Oleum high-performance, ROC-Thane Fine Finish Urethane 9400, this two-component polyester urethane offers an ultra-high-gloss finish. |
| 24 | Protect in place existing 7'-2" high, perimeter ornamental steel fence panels and columns, powder-coated black. |
| 25 | Protect in place existing 8'-0" high, perimeter fencing, pre-fabricated steel wire fence panel with 2 x 2 supporting tubes, powder-coated black. |
| 26 | Steel gate Alvarado, provide surface-mounted panic hardware, latching locking hardware at the strike side, and closer per manufacturer. |
| 27 | Proposed gate landing area, provided for the protection of the existing Alley vehicular access. |
| 28 | Numbers illustrate the occupant count for the purpose of exiting. Additional egress information is on sheet A2.2. |



1 Site Plan - Enlarged Site Plan
3/32" = 1'-0"

No.	Description	Date
1	Revision 1 - Planning	02/09/26
2	Revision 2 - Planning Responses	03/20/26
3	Revision 3 - Planning	05/04/26

Project number
Date
Drawn by
Checked by

Project Number
Issue Date
Author
Checker

Consultant
Address
Phone
Fax
e-mail

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STUDIO**

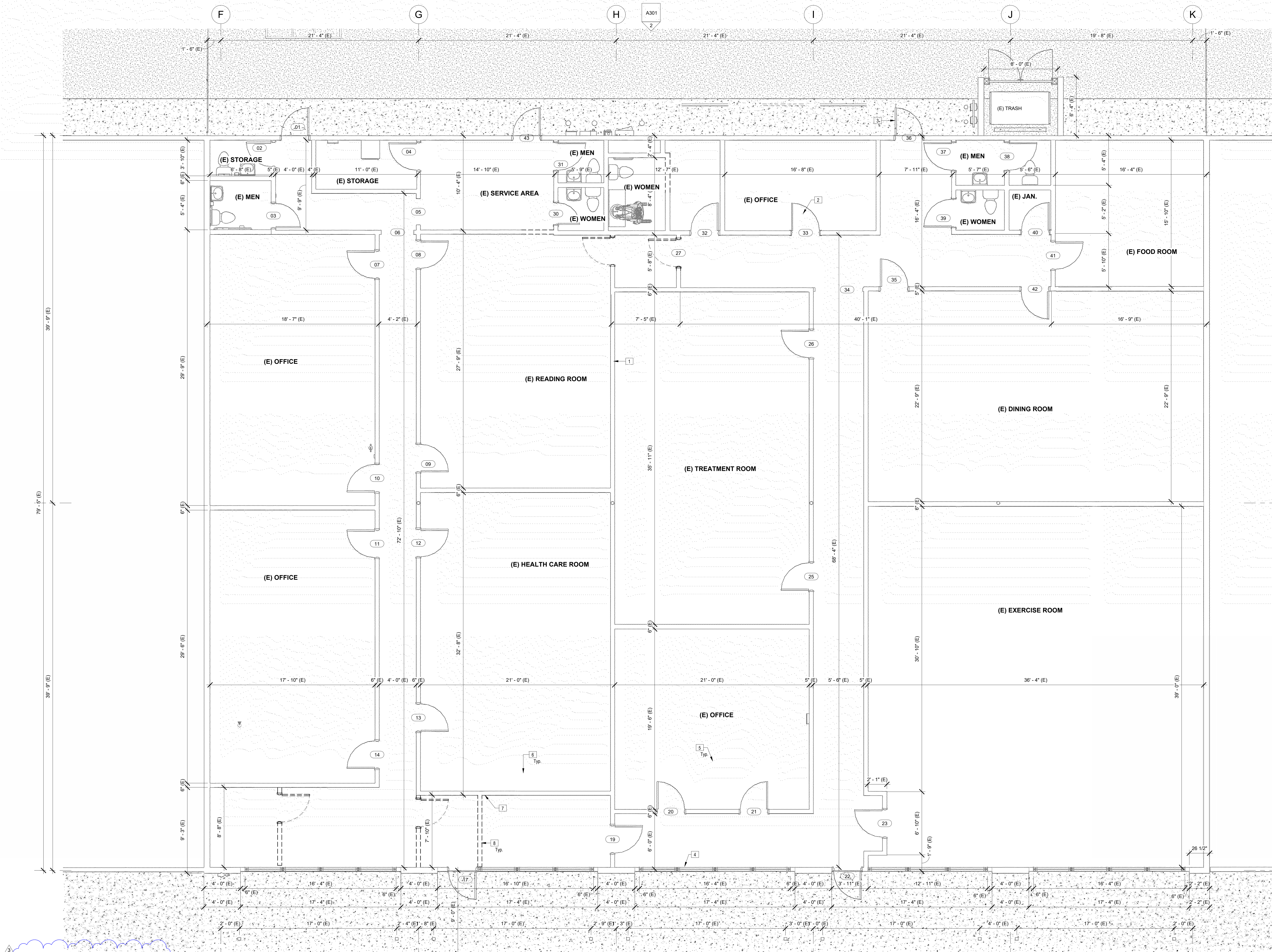
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Email: info@stitchstudio3d.com

Bumble Bee's Pre-School

Change In Use Project
527-531 W Hueneme Rd
Oxnard, CA
Enlarged Site Plan

A1.02

Scale As indicated



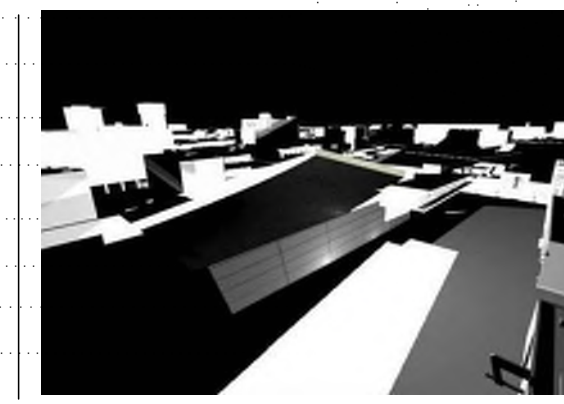
- 00 Keynote Legend**
- | Key Value | Keynote Text |
|-----------|--|
| 1 | Protect in place the existing interior wood stud wall assembly. Field verify top connections and support; additional support may be required. Refer to structural drawings for additional information. |
| 2 | Protect in place existing interior door assembly (frame and leaf to be evaluated for code compliance and new veterinarian use). |
| 3 | Protect in place the existing exterior door assembly. |
| 4 | Protect in place the existing window assembly and corresponding flashing, typ. |
| 5 | Protect in place existing flooring and substructure. |
| 6 | Protect in place existing interior finishes. |
| 7 | All cutting and patching in the existing building shall be done by the contractor to provide for exterior load-bearing walls and a new roof configuration. |
| 8 | Remove and discard existing interior wall assembly in its entirety, demolition to include wood framing, electrical componentry, insulation, interior finishes, wall-hung equipment, cabling casework, and cabinetry. |

- WALL LEGEND**
- REMOVE AND DISCARD EXISTING WOOD STUD WALLS.
 - EXISTING 2 X 4 WOOD STUD WALL (INTERIOR)
- Note:
 • Interior finish requirements based on group. Interior wall and ceiling finish shall have a flame spread index not greater than that specified in Table 803.9 for the group and location designated. Interior wall and ceiling finish materials tested in accordance with NFPA 286 and meeting the acceptance criteria of Section 803.1.2.1, shall be permitted to be used where a Class A classification in accordance with ASTM E 84 or UL 723 is required.
 • TABLE 803.9-INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (SPRINKLERED)

00 FLOOR PLAN (Demolition)
 -14" = 1'-0"

No.	Description	Date
3	Revision 3 - Planning	05/04/26

Project number	Project Number	Consultant
Date	Issue Date	Address
Drawn by	Author	Phone
Checked by	Checker	Fax
		e-mail



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Bumble Bee's Pre-School

Change In Use Project
 527-531 W Hueneme Rd
 Oxnard, CA

FLOOR PLAN (DEMOLITION)

A2.01

- | Key Value | Keynote Text |
|-----------|--|
| 1 | Protect in place existing toilet room partitions and corresponding mounting brackets and anchors. |
| 2 | Protect in place existing electrical sub-panel (recessed), before the disturbance of any electrical componentry, the contractor shall verify the existing conditions and coordinate the work with the electrical engineering team. |
| 3 | Protect in place the existing exterior masonry wall assembly, its corresponding rebar, and footings. All cutting and the disturbance of existing wall assembly shall comply with the requirements noted in the structural drawings. |
| 4 | Protect in place the existing interior wood stud wall assembly. Field verify top connections and support; additional support may be required. Refer to structural drawings for additional information. |
| 5 | Protect the existing floor slab and footings in place. |
| 6 | Protect in place existing interior finishes. |
| 7 | All cutting and patching in the existing building shall be done by the contractor to provide for exterior load-bearing walls and a new roof configuration. |
| 8 | Contractor shall verify existing conditions at the site, examine adjoining work, and identify what will affect the completion of this work. The designer shall be notified in writing if the contractor has questions about existing conditions that will affect the work. |
| 9 | Protect in place existing flooring and substructure. |

WALL LEGEND

- REMOVE AND DISCARD EXISTING WOOD STUD WALLS.
- EXISTING 2 X 4 WOOD STUD WALL (INTERIOR)
- PROPOSED 2 X 4 WOOD STUD WALL (INTERIOR)
- 1 HOUR RATED WALL ASSEMBLY.
- 2 X 6 WOOD STUD WALL (INTERIOR)
- 2 X 4 WOOD STUD WALL (EXTERIOR)
- 2 X 4 WOOD STUD WALL (EXTERIOR - 2 SIDE FINISH)
- MANSORY WALL (SEE STRUCTURAL)
- CIP CONCRETE WALL (SEE STRUCTURAL)

Fire Notes:

- Interior finish requirements based on group. Interior wall and ceiling finish shall have a flame spread index not greater than that specified in Table 803.9 for the group and location designated. Interior wall and ceiling finish materials tested in accordance with NFPA 286 and meeting the acceptance criteria of Section 803.1.2.1, shall be permitted to be used where a Class A classification in accordance with ASTM E 84 or UL 723 is required.

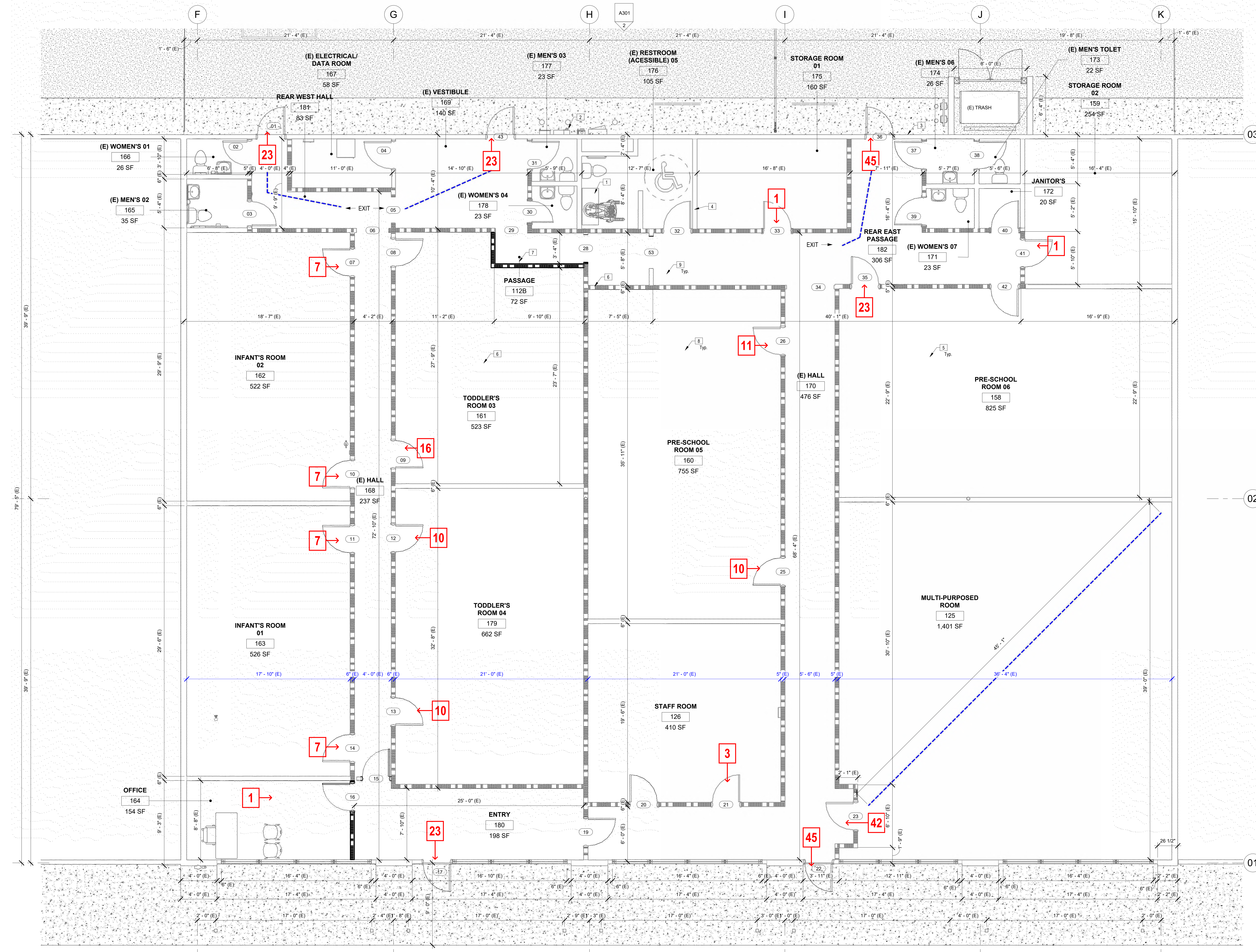
Green Code Notes:

- Showers and shower-tubs shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance/thermostatic mixing valve type that provide scald and thermal shock protection [§408.3 CPC].
- Provide a permanently accessible 12-inch square bathtub trap access or note on plan that a non-slip-paint trap will be used. [§402.11 CPC].
- Water Closet = 1.28 Gallons per flush max. Showerheads = 2.0 GPM max. Lavatory Faucets = 1.2 GPM max. Sink Faucets = 1.8 GPM max.

Green Code Notes:

- a. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and donations.
- b. Public transportation and/or carpool options available in the area.
- c. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity in that range.
- d. Information about water-conserving landscape and irrigation design and controllers which conserve water.
- e. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
- f. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
- g. At the time of rough installation or during storage on the construction site and until final startup of the heating and cooling equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods. CGBSC 4.504.1.
- h. Openings in the building envelope separating conditioned space from non-conditioned space must be sealed as per California Energy Code. Annual space around pipes, electrical conduits, and other openings in the exterior shall be protected against the passage of rodents (CGBSC 4.406). For each dwelling unit with attached garage install a listed raceway to accommodate a dedicated 208/240 Volt branch circuit. The raceway shall not be less than trade size 1 (Nominal 1 inch inside diameter). The raceway shall originate at the main service or sub-panel and shall terminate into a listed cabinet, box or other enclosure in close proximity of the proposed location of an EV charger (CGBSC 4.406.4.1).

- All 125-volt, 15-amp, and 20-amp receptacles shall be listed as tamper-resistant receptacles. [§ 406.1.2 CEC].
- Countertop receptacles, in the kitchen, shall be GFCI protected and shall be located in a wall every 48 linear inches.
- Arc-fault circuit interrupter protection for all outlets, not just receptacles, for the entire dwelling unit. [§210.12 CEC].
- Generally, receptacles are to be located in a wall every 12 linear feet so that a fixture will not be more than 6 feet from any receptacle. [§210.52 CEC].



02

01

TRUE

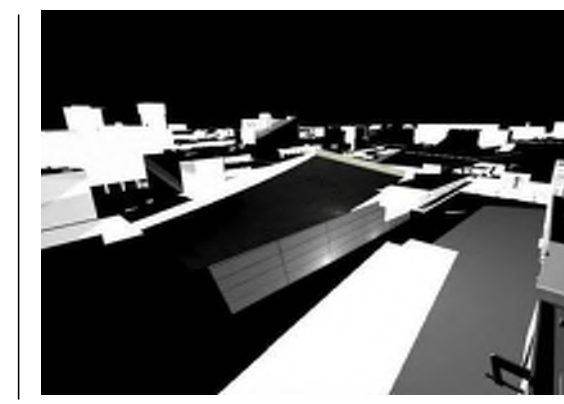
00 FLOOR PLAN
1/4" = 1'-0"

No.	Description	Date
3	Revision 3 - Planning	05/04/26

Project number
Date
Drawn by
Checked by

Project Number
Issue Date
Author
Checker

Consultant
Address
Phone
Fax
e-mail



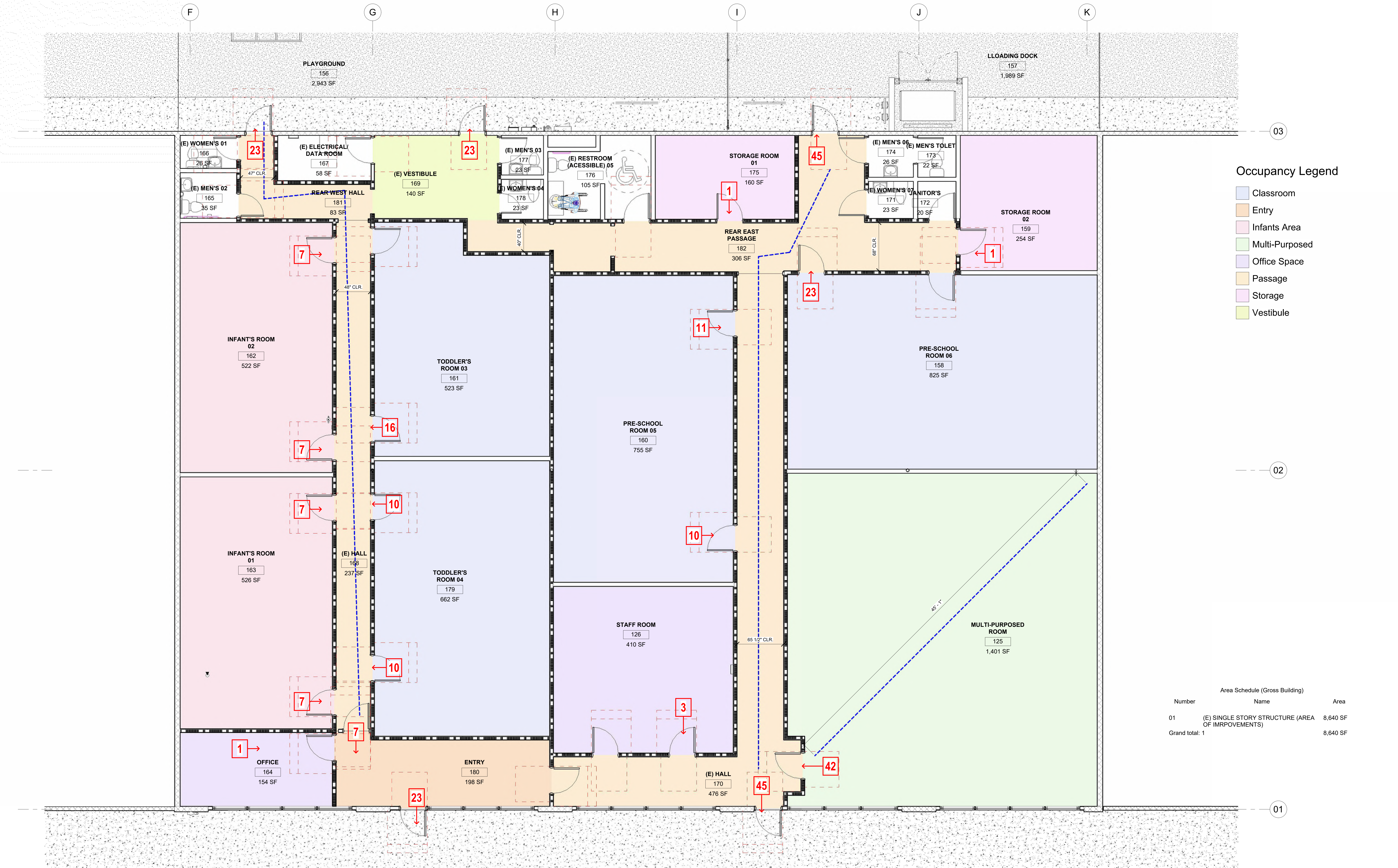
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Bumble Bee's Pre-School

Change In Use Project
527-531 W Hueneme Rd
Oxnard, CA
FLOOR PLAN (PROPOSED)

A2.02



- Occupancy Legend**
- Classroom
 - Entry
 - Infants Area
 - Multi-Purposed
 - Office Space
 - Passage
 - Storage
 - Vestibule

Area Schedule (Gross Building)		
Number	Name	Area
01	(E) SINGLE STORY STRUCTURE (AREA OF IMPROVEMENTS)	8,640 SF
Grand total: 1		8,640 SF

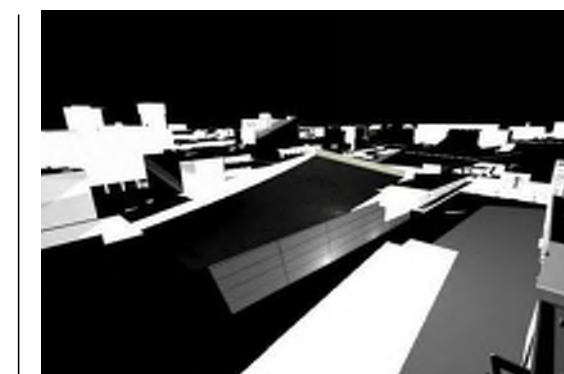
00 FLOOR PLAN (EGRESS ANALYSIS)
1/4" = 1'-0"

No.	Description	Date
1	Revision 1 - Planning	02/09/26

Project number
Date
Drawn by
Checked by

Project Number
Issue Date
Author
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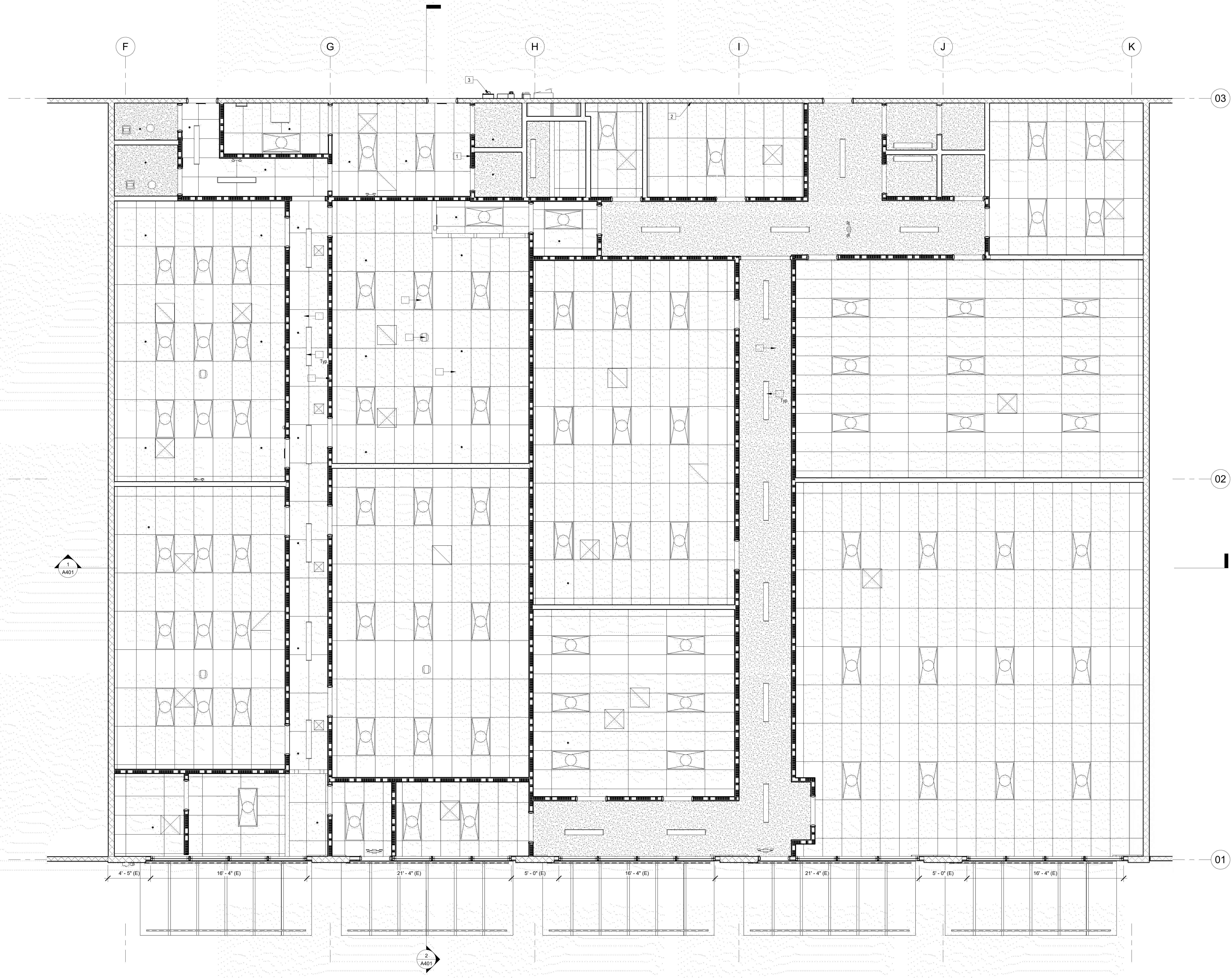
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Bumble Bee's Pre-School


















Change In Use Project
527-531 W Hueneme Rd
Oxnard, CA
EGRESS PLAN

A2.03

00 Keynote Legend	
Key Value	Keynote Text
<varies>	
1	Protect in place the existing attic access panel.
2	Protect in place existing electrical subpanel, conceal all exposed conduit as needed, field verify existing conditions, panel shall be flush-mounted with the existing wall.
3	Protect in place the existing electrical main panel, switches, breakers, power distribution conduit & wiring along with the corresponding overhead lines(400amp).



REFLECTED CEILING SYMBOLS

-  SMOKE DETECTOR HARDWIRED (CRC R314.23, R314 & R315)
-  CARBON MONOXIDE ALARM - HARDWIRED (CRC R314.23, R314 & R315)
-  EXHAUST FAN - Each bathroom that contains a bathtub, shower or similar source of moisture shall have an exhaust fan ducted to the outside with a minimum ventilation rate of 100 cfm. The ducting shall be sized according to ASHRAE Standard 62.2 Table 7.1. [§150(i) CEC/C]
-  DOUBLE POLE SWITCH
-  SINGLE POLE SWITCH
-  DUPLEX RECEPTACLE
-  GFCI GROUND FAULT RECEPTACLE
-  THERMOSTAT
-  RECESSED LIGHTING FIXTURE
-  SURFACE MOUNTED ROUND LIGHTING FIXTURE
-  SCONCE LIGHTING FIXTURE
-  WALL MOUNTED LIGHTING FIXTURE (SQUARE)
-  CEILING MOUNTED FAN
-  1' X 4' FLOURESCENT LIGHTING FIXTURE
-  AIR SUPPLY REGISTER
-  UNDER-CABINET MOUNTED LINEAR LIGHTING
-  PENDANT LIGHTING FIXTURE, OWNER SELECTED.

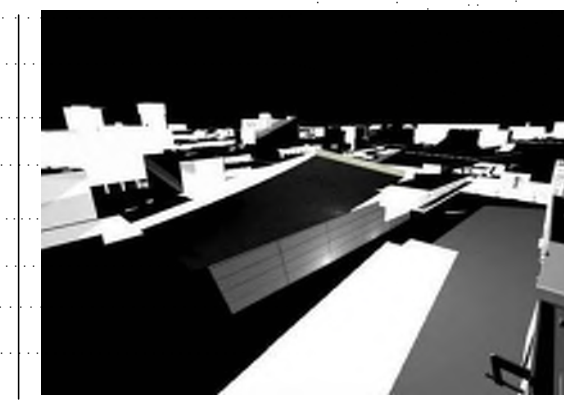
00 REFLECTED CEILING PLAN (Existing)
1/4" = 1'-0"

No.	Description	Date

Project number
Date
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Project Number
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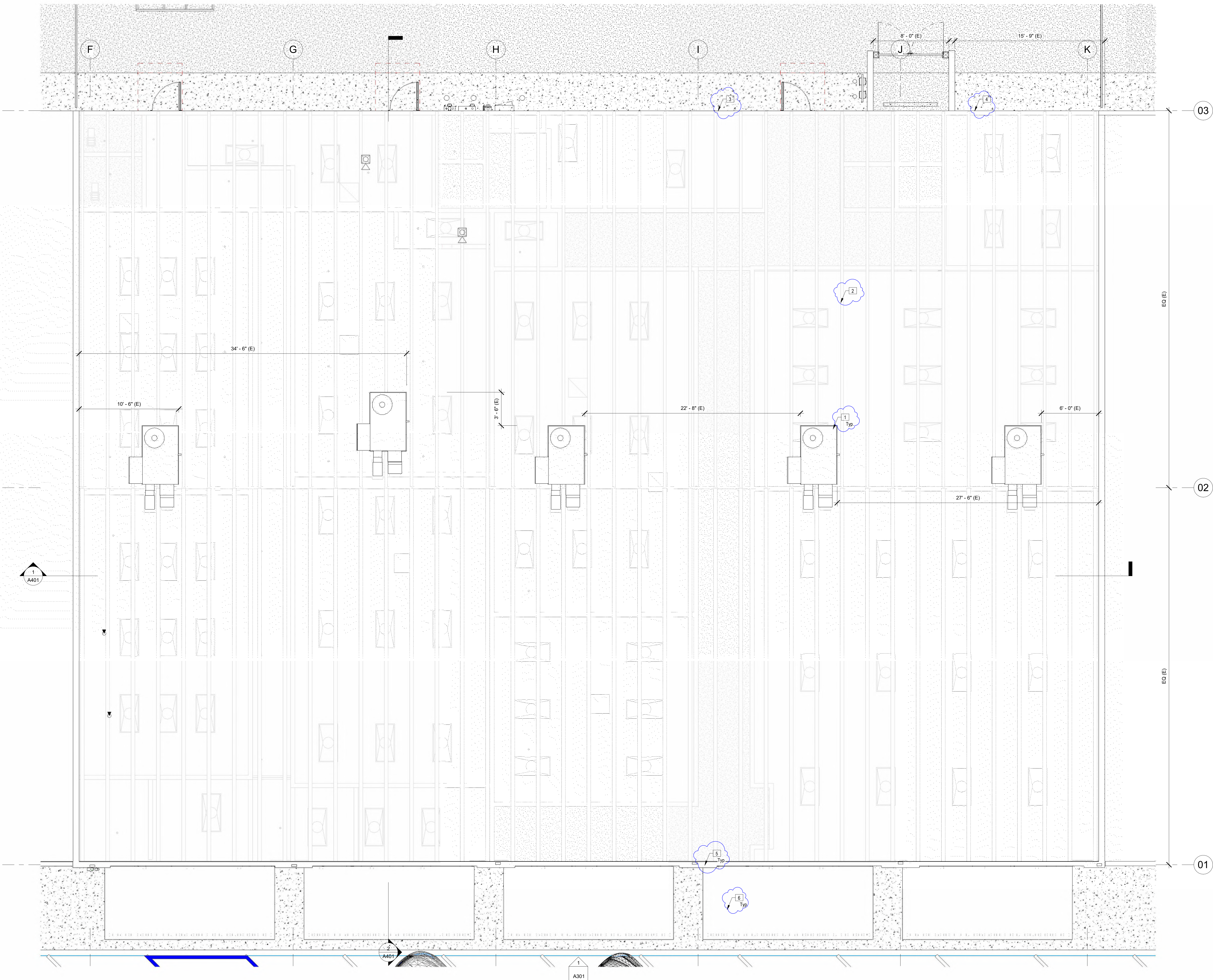
Bumble Bee's Pre-School
Change In Use Project
527-531 W Hueneme Rd
Oxnard, CA
REFLECTED CEILING PLAN

A2.05

Scale As indicated

5/11/2026 12:56:12 PM

00 Keypoint Legend	
Key Value	Keypoint Text
1	Protect in place existing mechanical package units, their corresponding utilities, gas lines, power distribution, roof-mounted curbs, along with the main trunk.
2	Protect in place the existing roof built-up roofing system, its corresponding flashing and continuous counterflashing at all periphery parapet walls.
3	Protect in place existing continuous sheet metal gutters and corresponding downspouts, connect to below-ground storm drainage piping.
4	Facia board and exposed wood members shall be rough-sawn wood, primed, painted, and sealed as per the manufacturer's installation instructions.
5	Protect in place the existing masonry parapet wall, its corresponding coping cap, and counter flashing roofing system.
6	Protect the existing pre-fabricated painted steel sunscreens.



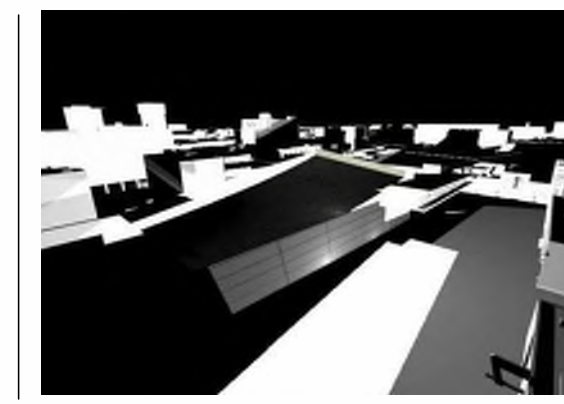
01 ROOF PLAN (EXISTING)
1/4" = 1'-0"

No.	Description	Date
3	Revision 3 - Planning	05/04/26

Project number
Date
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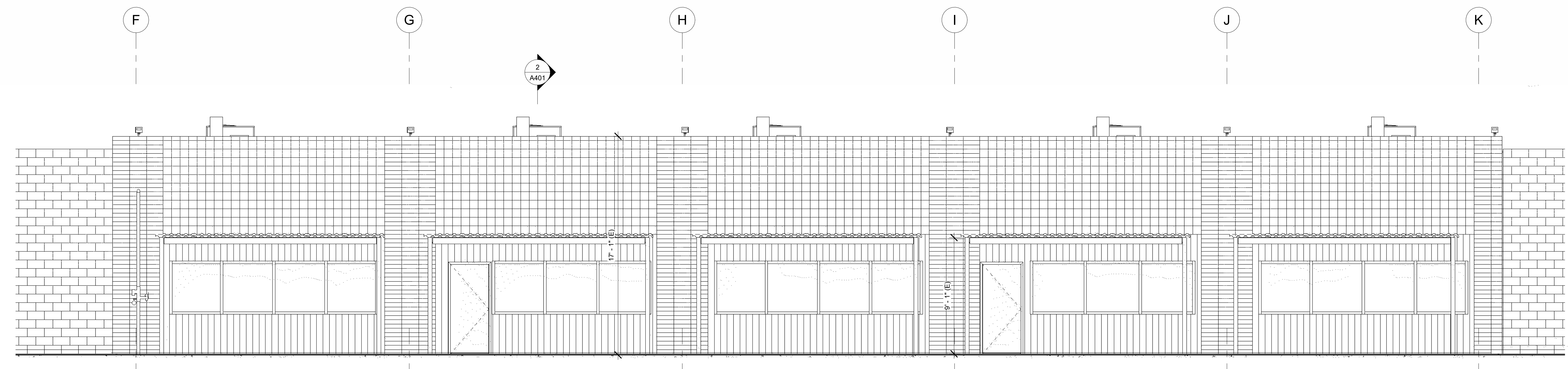


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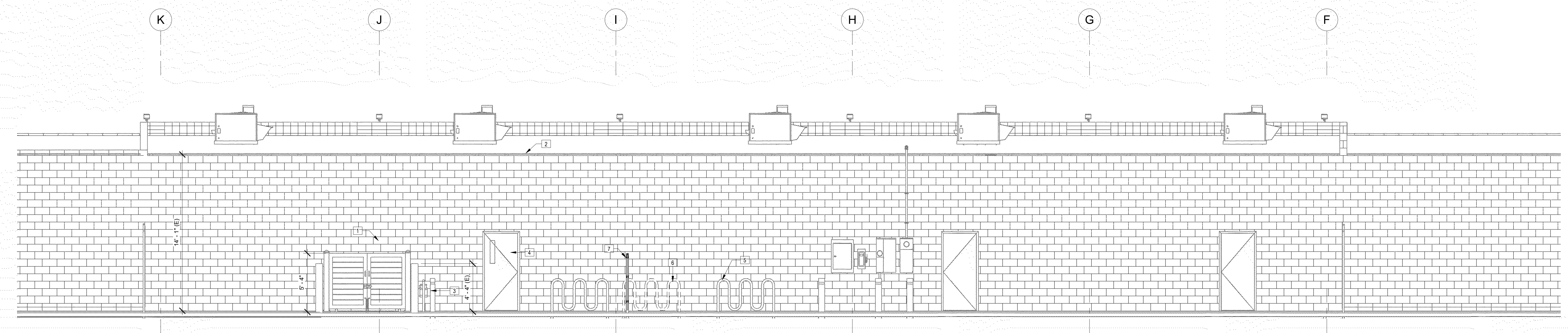
Bumble Bee's Pre-School
Change In Use Project
527-531 W Hueneme Rd
Oxnard, CA
ROOF PLAN

A207

Key Value	Keynote Text
1	Protect in place the existing exterior masonry wall assembly, its corresponding rebar, and footings. All cutting and the disturbance of existing wall assembly shall comply with the requirements noted in the structural drawings.
2	Protect in place existing fascia and exposed wood members. Sand, patch, prep, prime, and paint all existing exposed wood members.
3	Protect in place the existing gas meter and underground line. Call the gas company to locate the existing underground line.
4	Protect in place the existing exterior door assembly.
5	Protect in place existing galv. steel bike racks.
6	Relocate the existing ground-mounted bike rack to accommodate proposed perimeter fencing.
7	Prefabricated steel gate, 2" x 2" square tubes, black paint. Similar in grade to Rust-Oleum high-performance, ROC-Thane Fine Finish Urethane 9400, this two-component polyester urethane offers an ultra-high-gloss finish. Similar grade to Beta-fence products, Landmark ornamental steel, 4'-9" high. Latching hardware w/ closer.



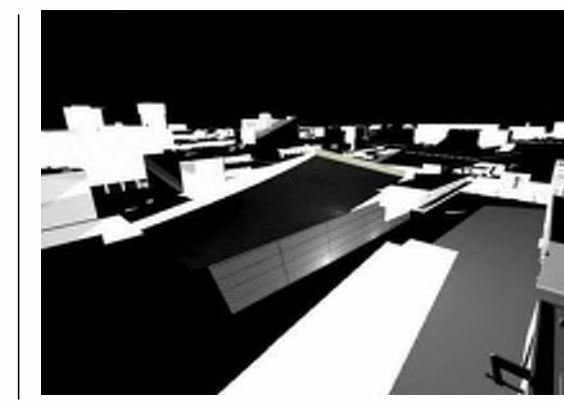
1 Elevation 1 - a
1/4" = 1'-0"



2 Elevation 2 - a
1/4" = 1'-0"

No.	Description	Date
2	Revision 2 - Planning Responses	03/20/26

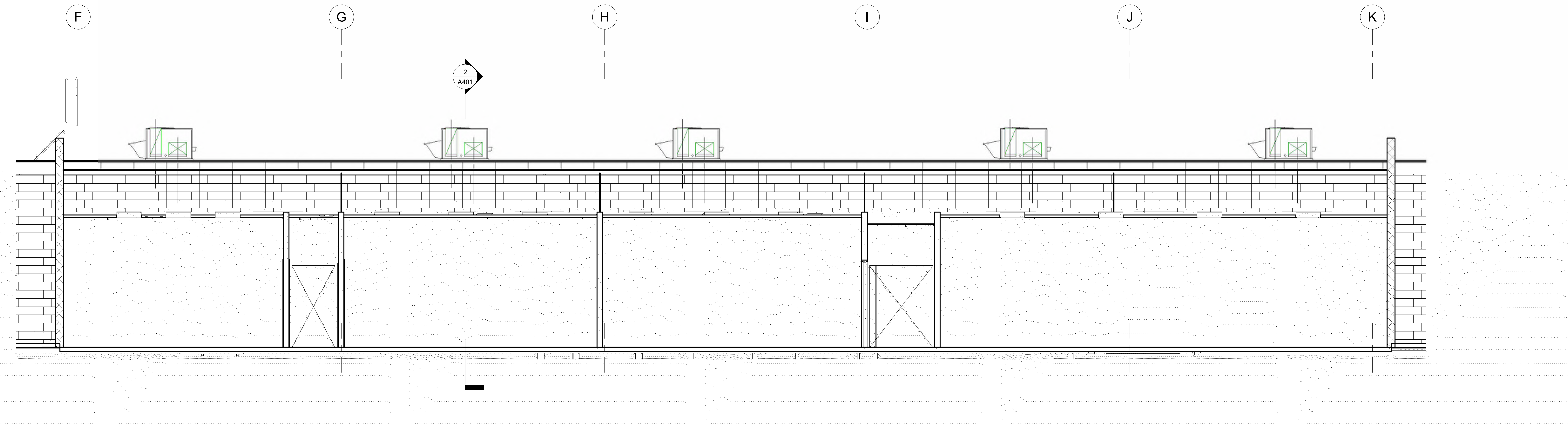
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Date	Issue Date	Address
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		e-mail



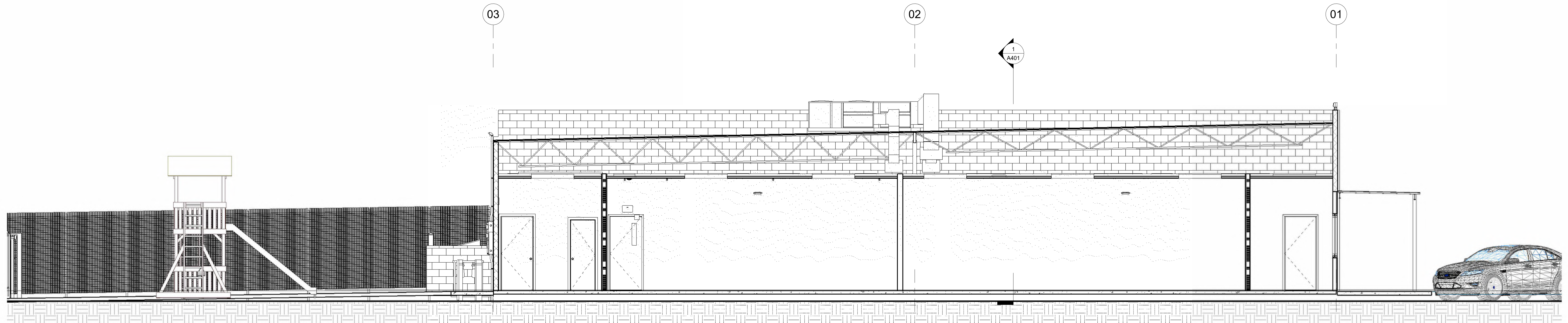
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Bumble Bee's Pre-School
Change In Use Project
527-531 W Hueneme Rd
Oxnard, CA
EXTERIOR ELEVATIONS (EXISTING)

A301



1 Section 1
1/4" = 1'-0"



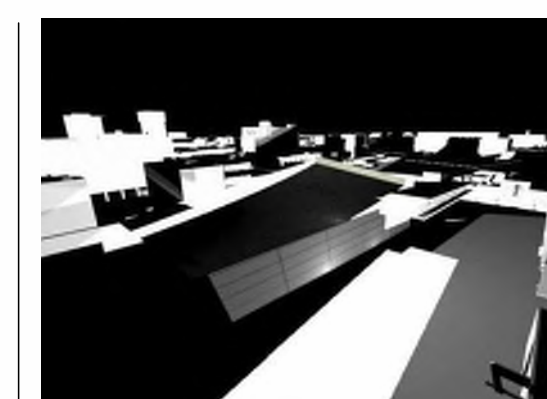
2 Section 2
1/4" = 1'-0"

No.	Description	Date

Project number
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Issue Date
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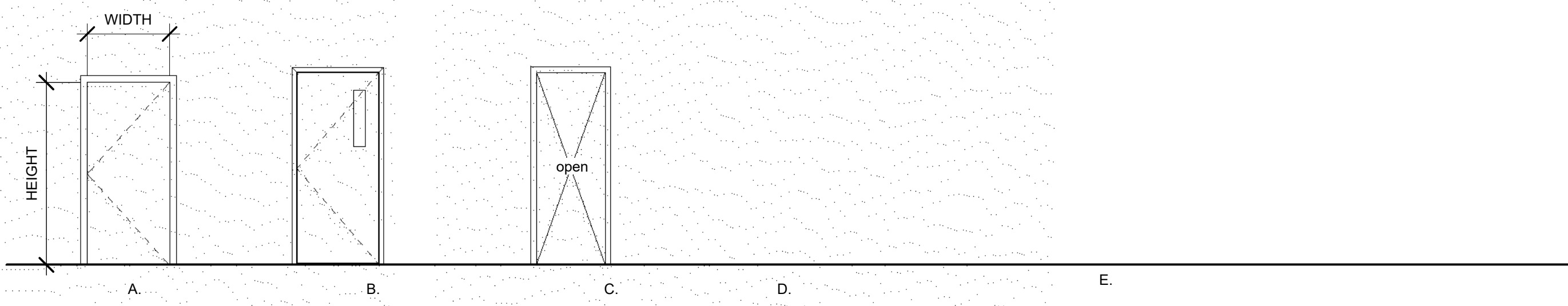
Contact: Jorge Escamilla
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Bumble Bee's Pre-School

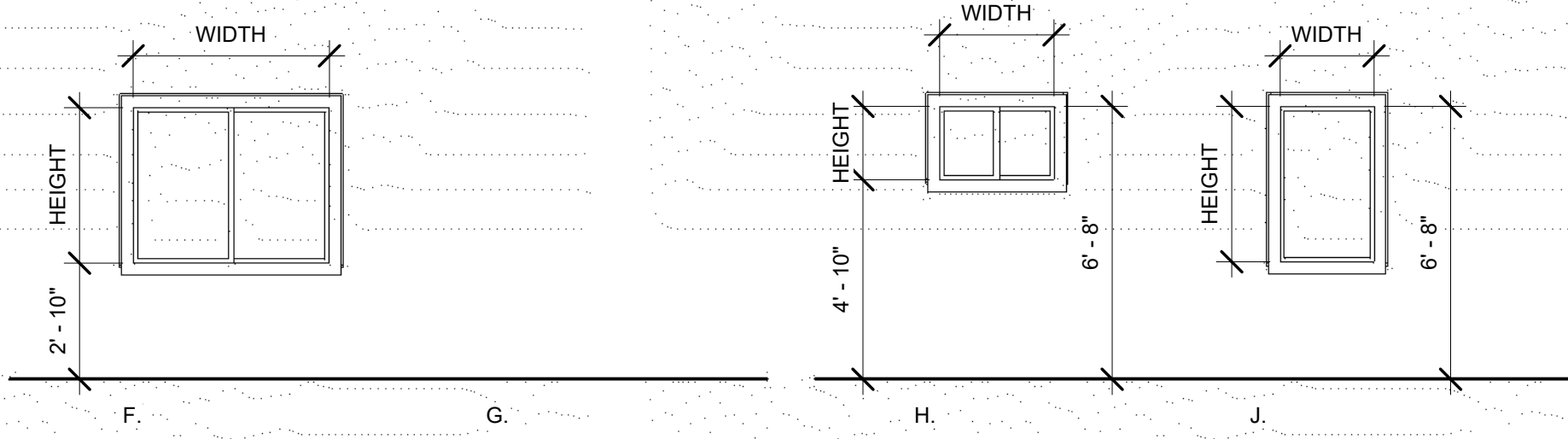
Change In Use Project
527-531 W Hueneme Rd
Oxnard, CA

BUILDING SECTIONS

A401



DOOR ELEVATIONS



WINDOW & DOOR ELEVATIONS

DOOR & WINDOW ELEVATIONS
1/4" = 1'-0"

Door Schedule													
Door Number	Door Type	Door Size	Phase Created	Level	Model	Frame Type	Tempered Glazing	Fire Rating	Details			Finish	
									Head	Jamb	Sill	Frame	Comments
01	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
02	A	Int-F-WDMF-32" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
03	A	Int-F-WDMF-32" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
04	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
05	E	34" x 80"	Existing	00 EXISTING FIRST FLOOR									
06	E	42" x 80"	Existing	00 EXISTING FIRST FLOOR									
07	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
08	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
09	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
10	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
11	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
12	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
13	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
14	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
17	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
19	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
20	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
21	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
22	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
23	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
25	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
26	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
27	B	Ext-N-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-N-WDMF-36" x 84"								
30	153	30" x 80"	Existing	00 EXISTING FIRST FLOOR									
31	115	36" x 84"	Existing	00 EXISTING FIRST FLOOR									
32	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
33	115	36" x 84"	Existing	00 EXISTING FIRST FLOOR									
34	64	62" x 80"	Existing	00 EXISTING FIRST FLOOR									
35	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
36	B	Ext-N-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-N-WDMF-36" x 84"								
37	115	36" x 84"	Existing	00 EXISTING FIRST FLOOR									
38	115	36" x 84"	Existing	00 EXISTING FIRST FLOOR									
39	115	36" x 84"	Existing	00 EXISTING FIRST FLOOR									
40	115	36" x 84"	Existing	00 EXISTING FIRST FLOOR									
41	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
42	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
43	A	Int-F-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-F-WDMF-36" x 84"								
49	B	Ext-N-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-N-WDMF-36" x 84"								
50	B	Ext-N-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-N-WDMF-36" x 84"								
51	B	Ext-N-WDMF-36" x 84"	Existing	00 EXISTING FIRST FLOOR	Int-N-WDMF-36" x 84"								

		MSG-1	New Construction	00 EXISTING FIRST FLOOR	MSG-1								
15	B	Ext-N-WDMF-36" x 84"	New Construction	00 EXISTING FIRST FLOOR	Int-N-WDMF-36" x 84"								
16	B	Ext-N-WDMF-36" x 84"	New Construction	00 EXISTING FIRST FLOOR	Int-N-WDMF-36" x 84"								
28	57	36" x 84"	New Construction	00 EXISTING FIRST FLOOR									
29	E	42" x 80"	New Construction	00 EXISTING FIRST FLOOR									
44	F	Egidia SQ20 W1000 x H1000	New Construction	00 EXISTING FIRST FLOOR	Egidia SQ20								
53	E	42" x 80"	New Construction	00 EXISTING FIRST FLOOR									

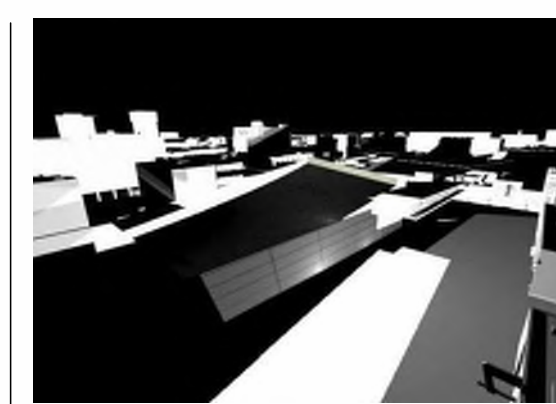
Window Schedule															
Type Mark	Count	Rough Opening		Type	Phase Created	Model	Material	Finish	Detail			Glazing		Head Height	Comments
		Width	Height						Head	Jamb	Sill	Thickness	Type		

No.	Description	Date

Project number
Date
Drawn by
Checked by

Project Number
Issue Date
Author
Checker

Consultant
Address
Address
Phone
Fax
e-mail



**STITCH
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Contact: Jorge Escamilla
4082 Pomona Street
Ventura, California 93003
Direct: 818.523.7201
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Bumble Bee's Pre-School

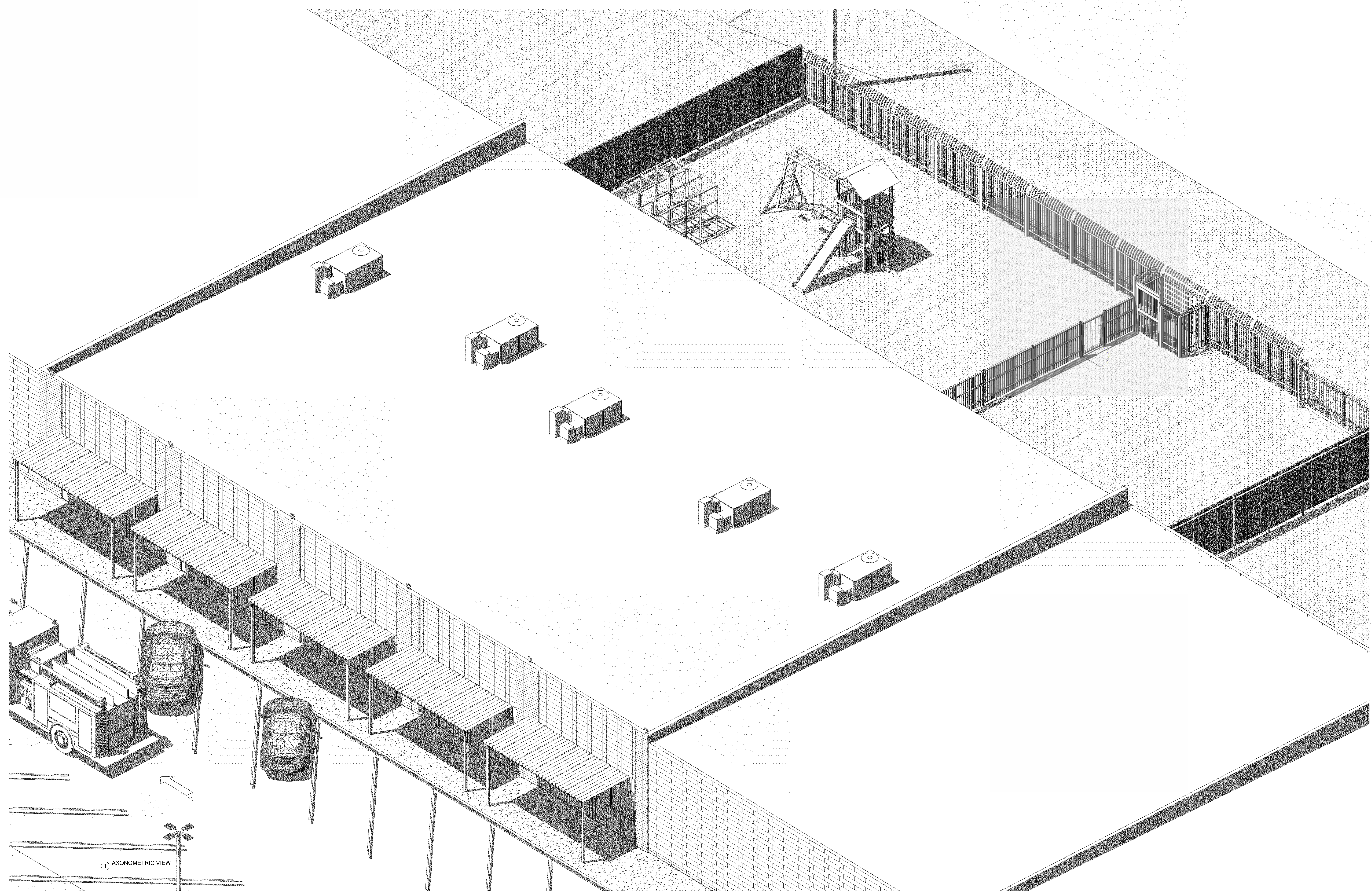
Change In Use Project
527-531 W Hueneme Rd
Oxnard, CA

SCHEDULES AND DETAILS

A402

Scale

1/4" = 1'-0"



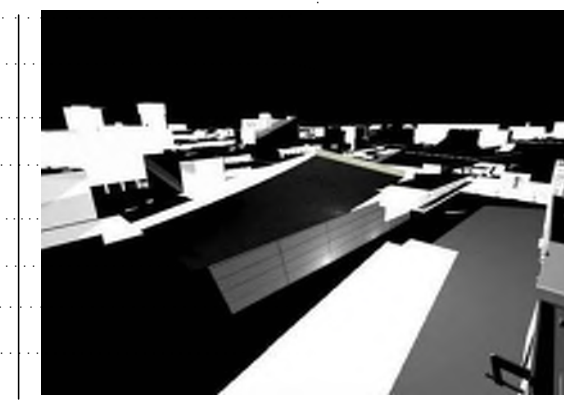
1 AXONOMETRIC VIEW

No.	Description	Date

Project number
Date
Drawn by
Checked by

Project Number
Issue Date
Author
Checker

Consultant
Address
Address
Phone
Fax
e-mail



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Bumble Bee's Pre-School

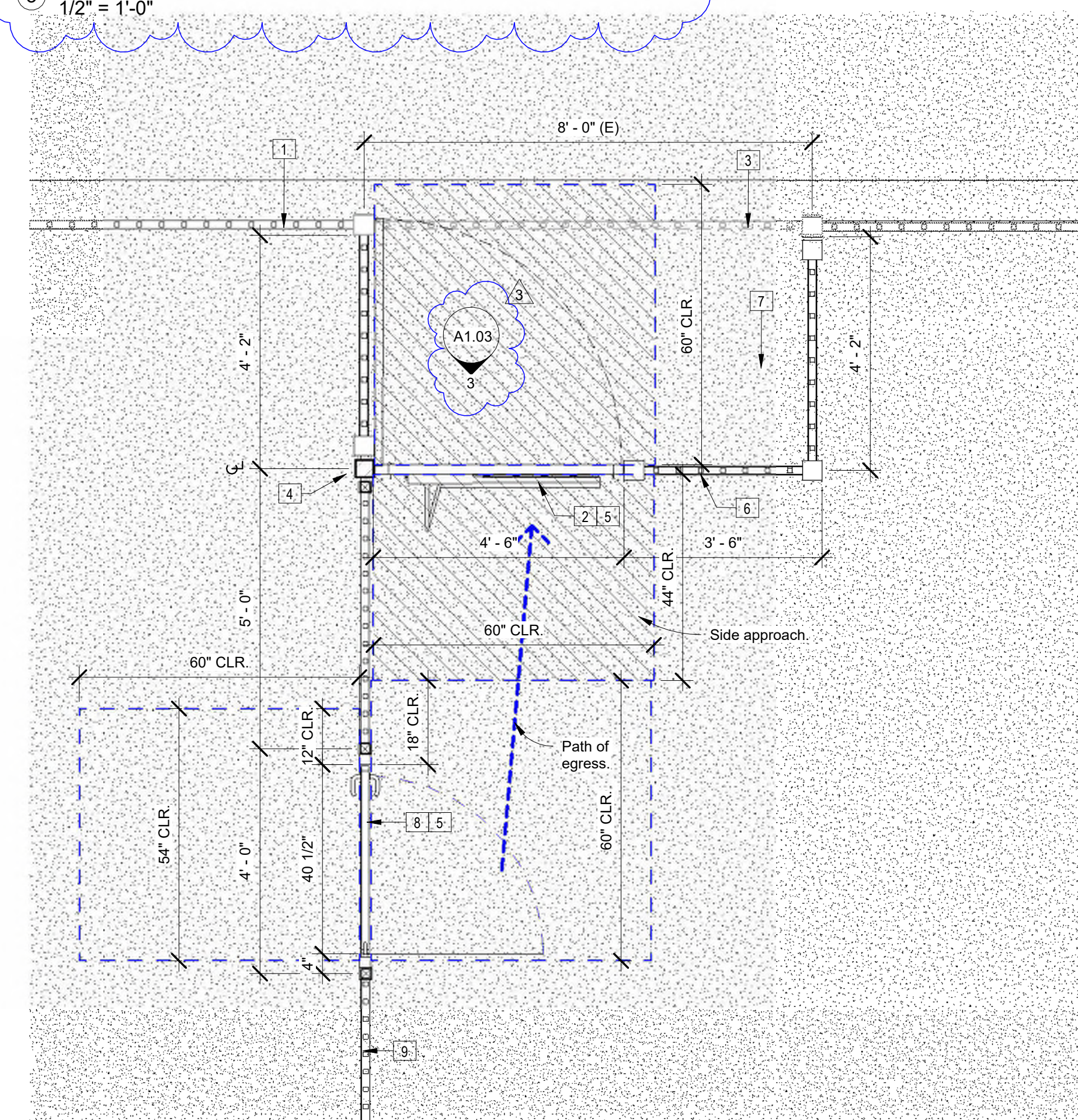
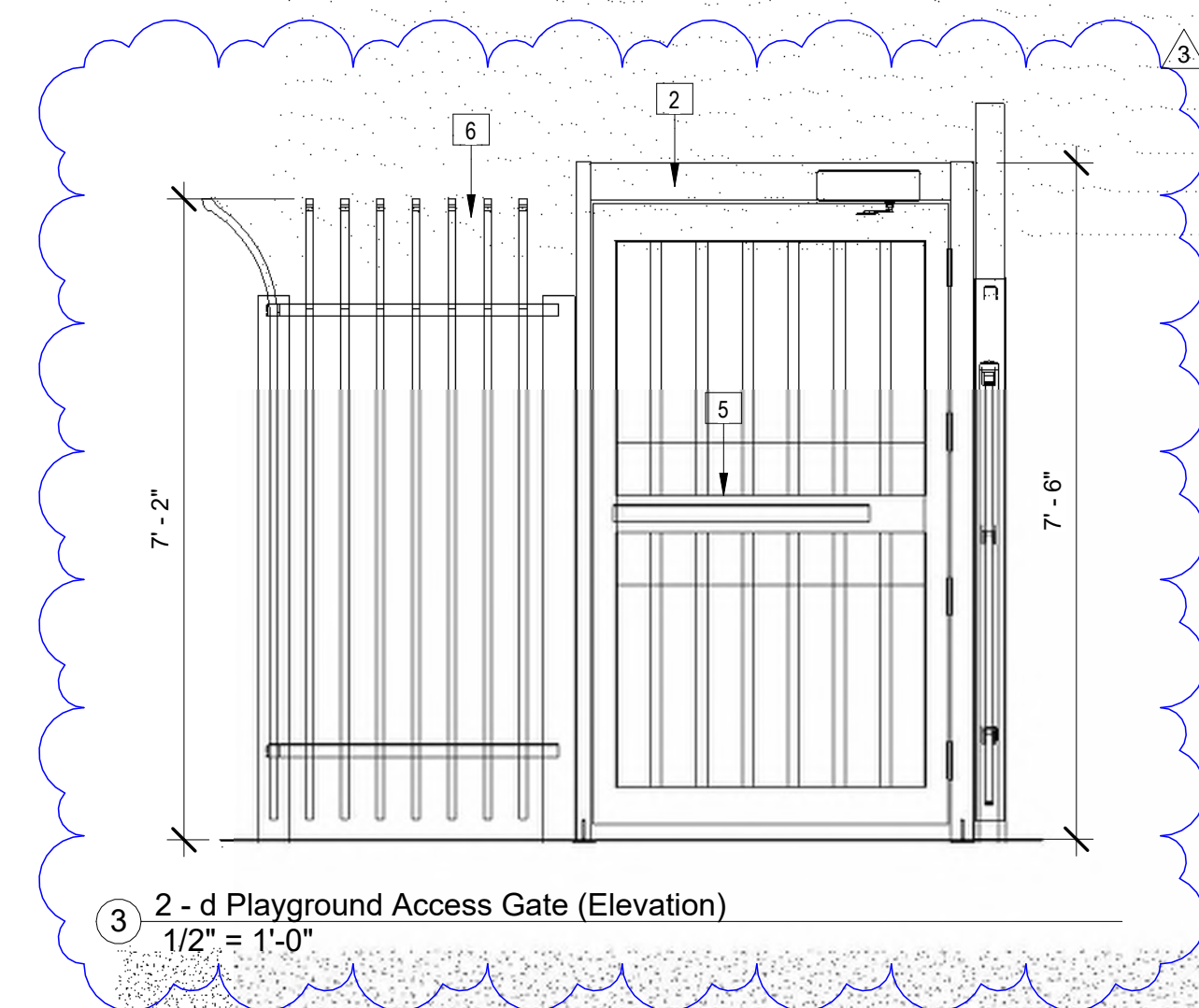
Change In Use Project
527-531 W Hueneme Rd
Oxnard, CA

3D VIEWS / INTERIOR ELEVATIONS

A500

Scale

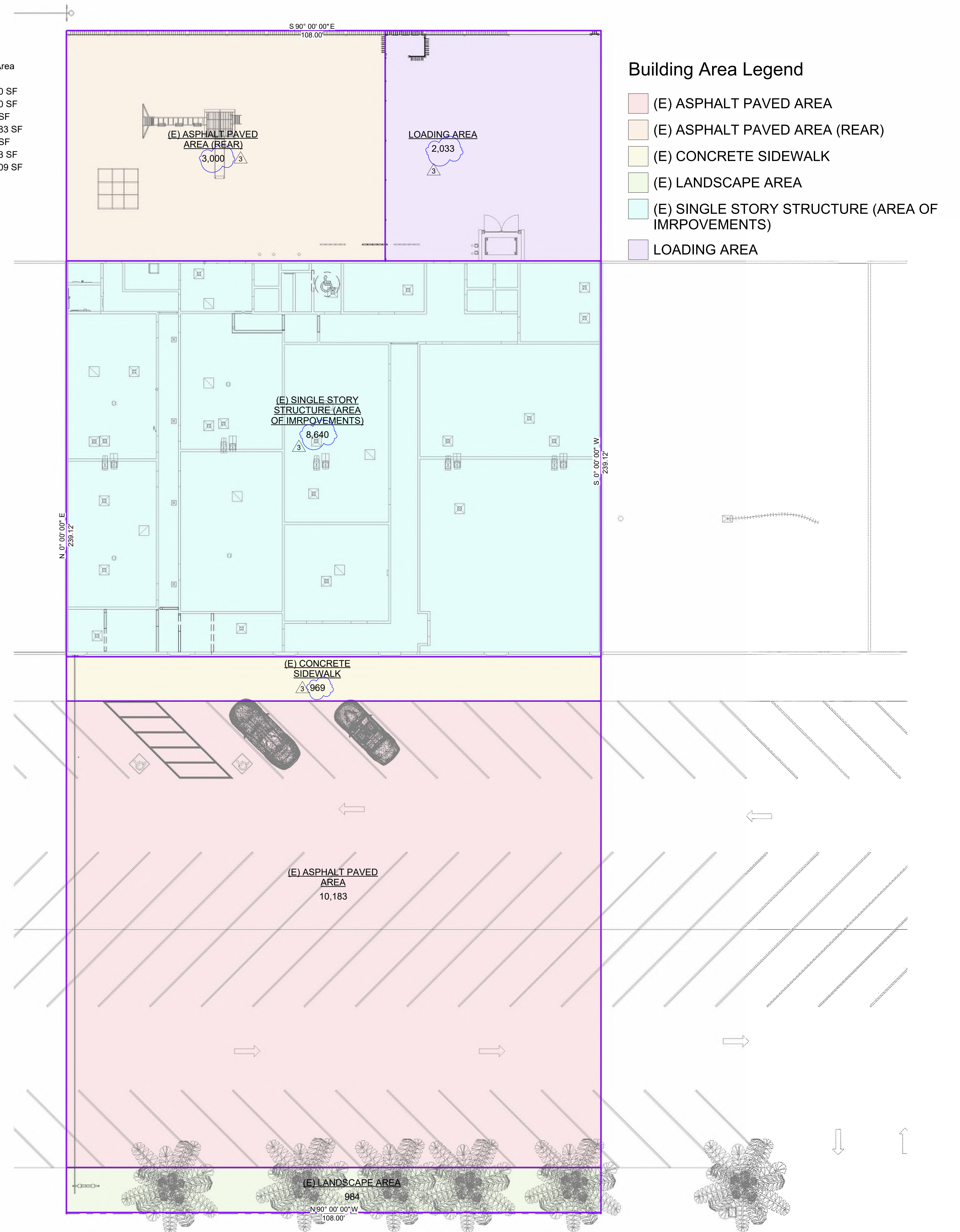
Area Schedule (Gross Building) Lot Coverage		
Number	Name	Area
01	(E) SINGLE STORY STRUCTURE (AREA OF IMPROVEMENTS)	8,640 SF
02	(E) ASPHALT PAVED AREA (REAR)	3,000 SF
04	(E) CONCRETE SIDEWALK	969 SF
05	(E) ASPHALT PAVED AREA	10,183 SF
06	(E) LANDSCAPE AREA	984 SF
03	LOADING AREA	2,033 SF
Grand total:		25,809 SF



2 PLAYGROUND ACCESS GATES
1/2" = 1'-0"

00 Keypoint Legend
Key Value Keypoint Text

- 1 Protect in place existing 7'-2" high, perimeter ornamental steel fence panels and columns, powder-coated black.
- 2 42" wide x 7'-8" tall, Stainless steel gate, similar grade to Alvarado 304 Satin Powder Coated. Installed as per the manufacturer's installation instructions.
- 3 Remove existing fencing panel to accommodate new entry vestibule.
- 4 4" x 4" x 1/4", HSS steel tube, 8' high, anchored into a concrete footing. Tube steel to be coated w/ epoxy, primed, and painted black to match the adjacent wall fencing color.
- 5 Steel gate Alvarado, provide surface-mounted panic hardware, latching locking hardware at the strike side, and closer per manufacturer.
- 6 Perimeter fencing, Metal Fence Panel, similar grade to Beta-Fence Manufacturer (Upgrade Defender), 7'-2" high to match adjacent existing fence height, 8' panels, G90 Galvanized Steel, polyester powder coat finish, 3/4" pickets x 12ga., 1-1/2" 15-ga., rails top & bottom, Post 3" squares x 12ga., installed per manufacturer installation instructions.
- 7 3 Protect in place existing asphalt paving and substructure. Sealcoat over the existing asphalt paving, similar grade to Henry's 532 Driveway Asphalt Resurfacing, installed per manufacturer's installation instructions.
- 8 Prefabricated gates, 8'-0" high, similar grade to Cityscapes International Inc. Powder Coated or Painted Metal Panels. Fabricated from rigid aluminum panels in multiple thicknesses. Panel Design-Metal Series, 7.2 Rib Horizontal. Components Required Framing Anchorage. Fabricate anchors and related components, including material and finish, as required or as specifically noted, black paint. Similar in grade to Rust-Oleum high-performance, ROC-Thane Fine Finish Urethane 9400, this two-component polyester urethane offers an ultra-high-gloss finish.
- 9 Prefabricated steel gate, 2" x 2" square tubes, black paint. Similar in grade to Rust-Oleum high-performance, ROC-Thane Fine Finish Urethane 9400, this two-component polyester urethane offers an ultra-high-gloss finish. Similar grade to Beta-fence products, Landmark ornamental steel, 4'-9" high. Latching hardware w/ closer.



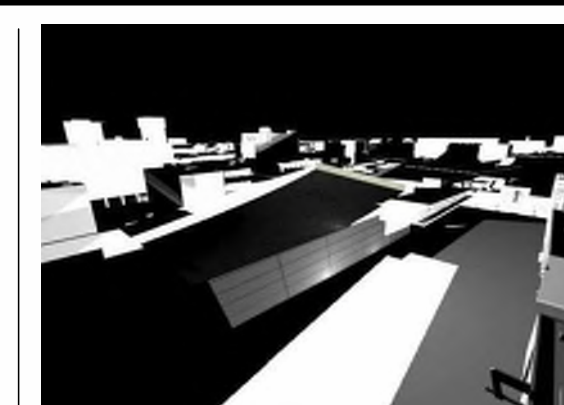
1 Area Site Plan
3/32" = 1'-0"

No.	Description	Date
2	Revision 2 - Planning Responses	03/20/26
3	Revision 3 - Planning	05/04/26

Project number
Date
Drawn by
Checked by

Project Number
Issue Date
Author
Checker

Consultant
Address
Address
Phone
Fax
e-mail



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Bumble Bee's Pre-School

Change In Use Project
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Oxnard, CA
Site Plan Areas

A1.03

Scale As indicated