



**DOWNTOWN DESIGN REVIEW COMMITTEE
STAFF REPORT**

TO: Downtown Design Review Committee

FROM: Jose Coyotl, Associate Planner

DATE: October 14, 2021

SUBJECT: **Project Name: Blooming Organics, dba Elevate Downtown Oxnard;** Planning and Zoning Permit No(s). 21-516-12 (SUP - Cannabis); 156 S. A Street, (APN: 202-0-056-060).

1) Project Description and Applicant: A request to permit architectural revisions associated with the operation of a commercial cannabis retail facility within an existing 2,550 square-foot commercial building on a .08-acre site located at 156 S. A Street (APN: 202-0-056-060) within the Downtown General (DT-G) zone. Proposed development includes tenant improvements: installation of interior wall partitioning, plumbing upgrades, upgrades to an existing fire alarm system, security upgrades to the existing building, installation of new secure doors/windows, removal of service doors, construction of a new service door, and providing exterior facade improvements. The proposed project is exempt from environmental review, pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act. Filed by Mario Rios on behalf of Blooming Organics, LLC., 15431 San Jose Street, Mission Hills, CA 91345.

For purposes of this staff report, the foregoing project description shall be referred to as the “**Project**”. Please see the reduced Project plans (Attachment A) for more details.

2) Existing & Surrounding Land Uses: The following table describes the General Plan Land Use Designations, Zoning designations, and existing land uses of the Project site and adjacent properties:

LOCATION	GENERAL PLAN	ZONING	EXISTING LAND USE
Project Site	Downtown (DTN)	Downtown-General (DT-G)	Commercial building.
North	DTN	DT-G	Commercial building.

South	DTN	DT-G	Multi-tenant commercial building.
East	DTN	DT-G	Fast food commercial restaurant.
West	DTN	DT-G	Vacant commercial building.

3) Background Information:

- a) There are no land use entitlements as the building predates the Oxnard City Code Zoning requirements. A City of Oxnard Building Permit was issued on April 29, 1955 for the construction of a 2,500 square foot commercial building (Building Permit No. 3-1-56). The site currently is legal nonconforming.

4) Analysis:

- a) **Conformance with Zoning Development Standards:** Pursuant to the Downtown Code, the proposed development is located in the Downtown - General zone. Applicable development standards of the Downtown- General zone have been compared with the proposed project in Attachment B.

Attachments:

- A. Reduced Project Plans
- B. Downtown Code Consistency Table

ELEVATE, DOWNTOWN OXNARD

RETAIL TENANT IMPROVEMENT

studio ren
ARCHITECTURE

1882 N LOS ROBLES AVENUE
PASADENA, CA 91104
o: 323/469.8107
e: info@studiorren.com
www.studiorren.com

TENANT:
BLOOMING ORGANICS LLC
DBA ELEVATE, OXNARD
20010 VENTURA BLVD.
WOODLAND HILLS, CA 91364
P: 818/489-8471
E: kevin@bloomings.com

PROJECT DATA:

SCOPE OF WORK:

TENANT IMPROVEMENT OF EXISTING COMMERCIAL SPACE AND CHANGE OF USE TO DISPENSARY RETAIL. INTERIOR PARTITION AND DOORS, MILLWORK, & ELECTRICAL. ALL ACCESSIBILITY UPGRADES PER OWNER'S CORE AND SHELL IMPROVEMENT PROJECT.

ADDRESS: 156 S. A. STREET
APN: 202-0-056-060
LOT AREA: 0.08 ACRES
COVERAGE: 2,550 SF
ZONING: DOWNTOWN GENERAL
(E) OCCUPANCY: B
(N) OCCUPANCY: M
FLOOR AREA: 2,550 SF
CONSTRUCTION TYPE:
FIRE PROTECTION: SPRINKLERED
PARKING: IN-LIEU PARKING PROGRAM

CAL GREEN:
CAL-GREEN MANDATORY MEASURES AS APPLIES TO REMODEL

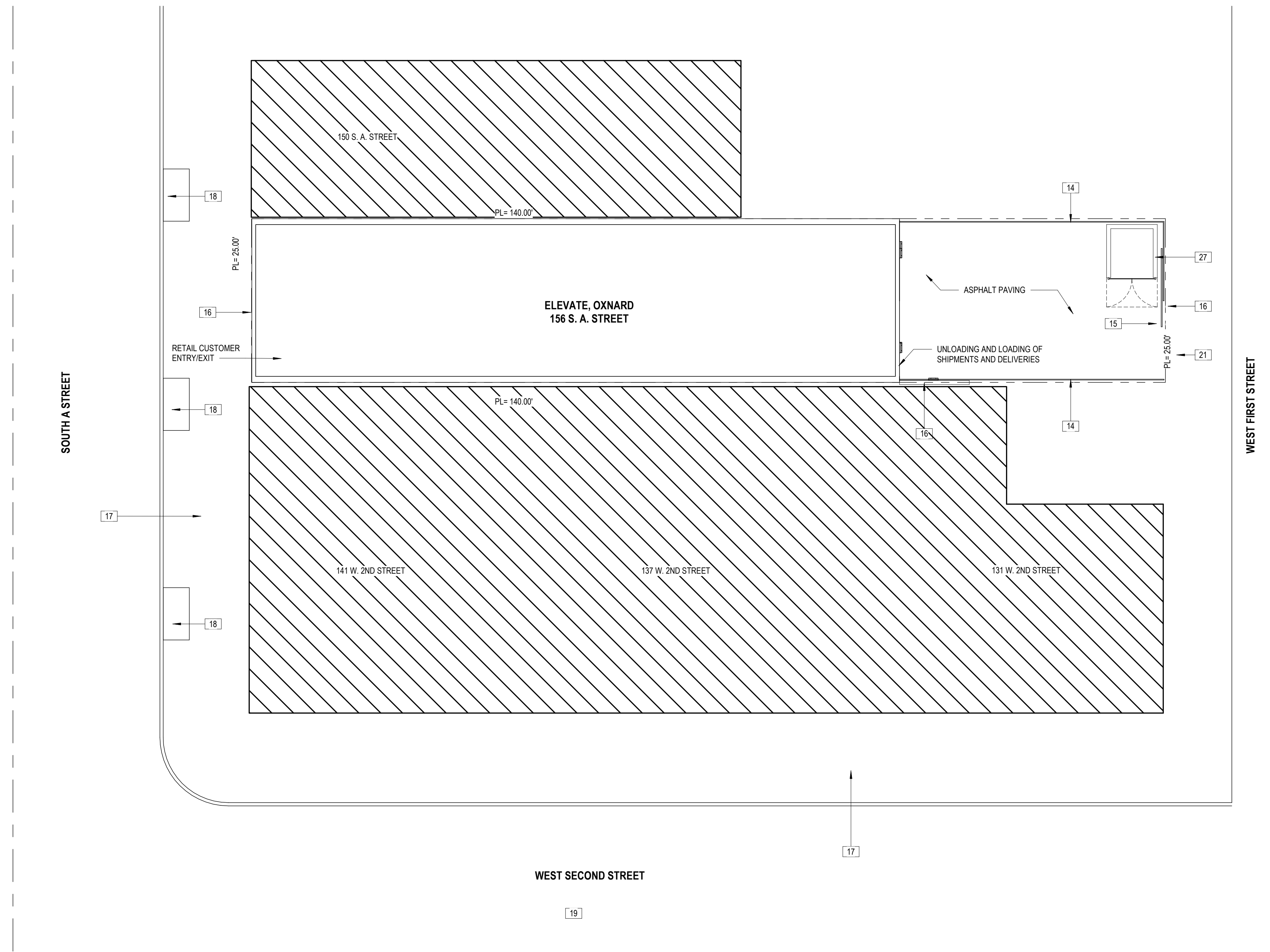
APPLICABLE CODES:
THE CITY OF OXNARD ADOPTS THE FOLLOWING CODES ORDINANCES, RULES & REGULATIONS (INCLUDING ERRATA AND SUPPLEMENTS TO THE FOLLOWING)

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA GREEN BUILDING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE
CITY OF OXNARD MUNICIPAL CODE

DEFERRED APPROVALS/PER SEPERATE PERMIT:
FIRE SPRINKLER
FIRE ALARM

SHEET INDEX:

A0.00 COVER SHEET AND SITE DIAGRAM
A2.01 PREMISE DIAGRAM AND ELEVATION

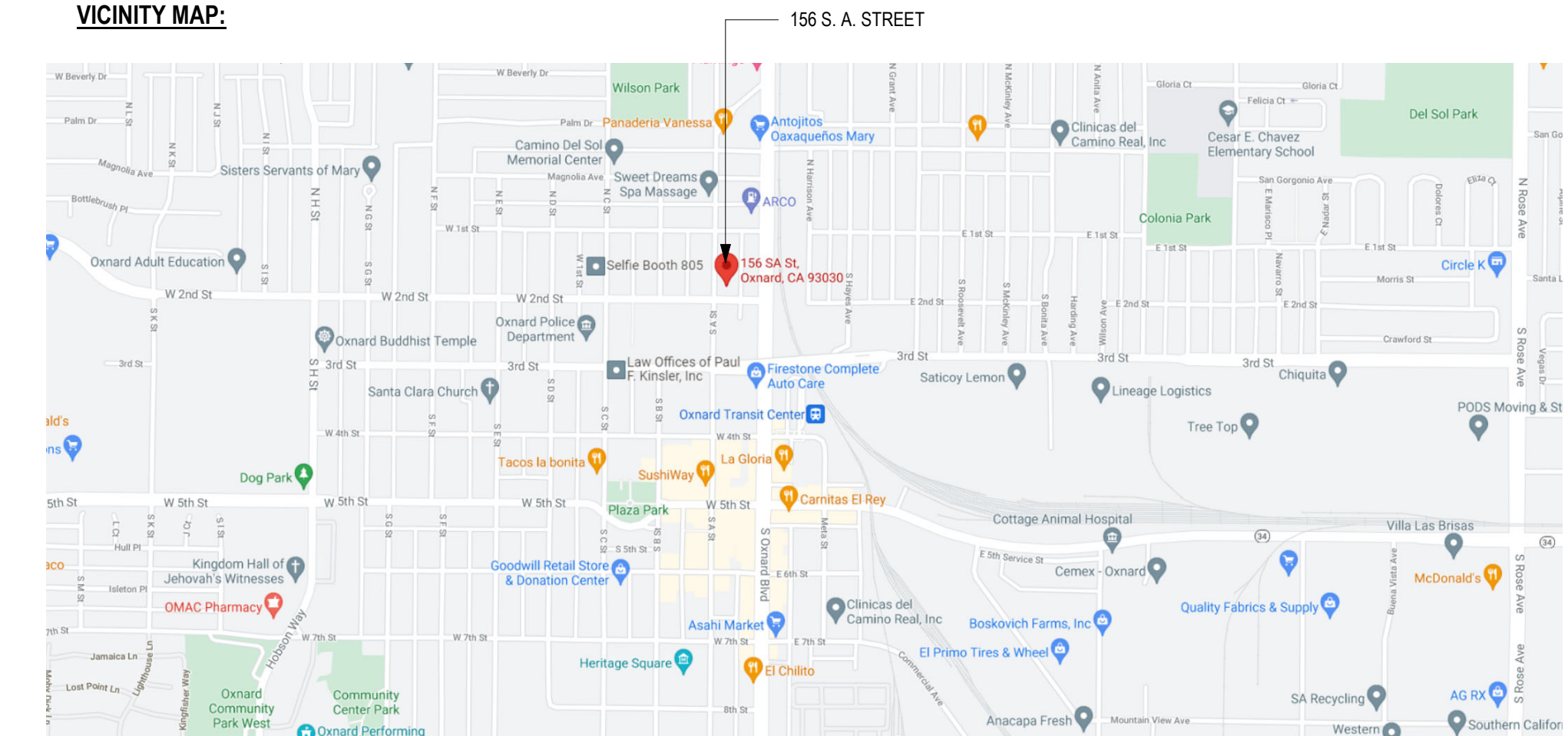


1 SITE PLAN
1" = 10'-0"

KEYNOTES:

- 14 SECURE IRON FENCE, MAX. ALLOWABLE HEIGHT
- 15 SECURE IRON SLIDING GATE
- 16 PROPERTY LINE
- 17 SIDEWALK
- 18 PLANTER
- 19 PARKWAY
- 20 ALLEY
- 21 VEHICULAR PROPERTY ENTRY
- 27 CMU BLOCK TRASH ENCLOSURE PER PLATE 606, CITY OF OXNARD

VICINITY MAP:



PROJECT:
ELEVATE OXNARD

156 S. A. ST.
OXNARD, CA 93030

NO.	ISSUE/REVISION	DATE
	SUP RESUBMITTAL	07/06/21

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SHEET TITLE:
COVER SHEET AND SITE DIAGRAM

PLANS AT SCALE NOTED WHEN PRINTED AT 24"X36"
PLANS HALF THE SCALE NOTED WHEN PRINTED AT 12X18"

PROJECT NUMBER: 2008
DATE: 04/01/2020
DRAWN BY: Author

SUP RESUBMITTAL - 01.12.2020

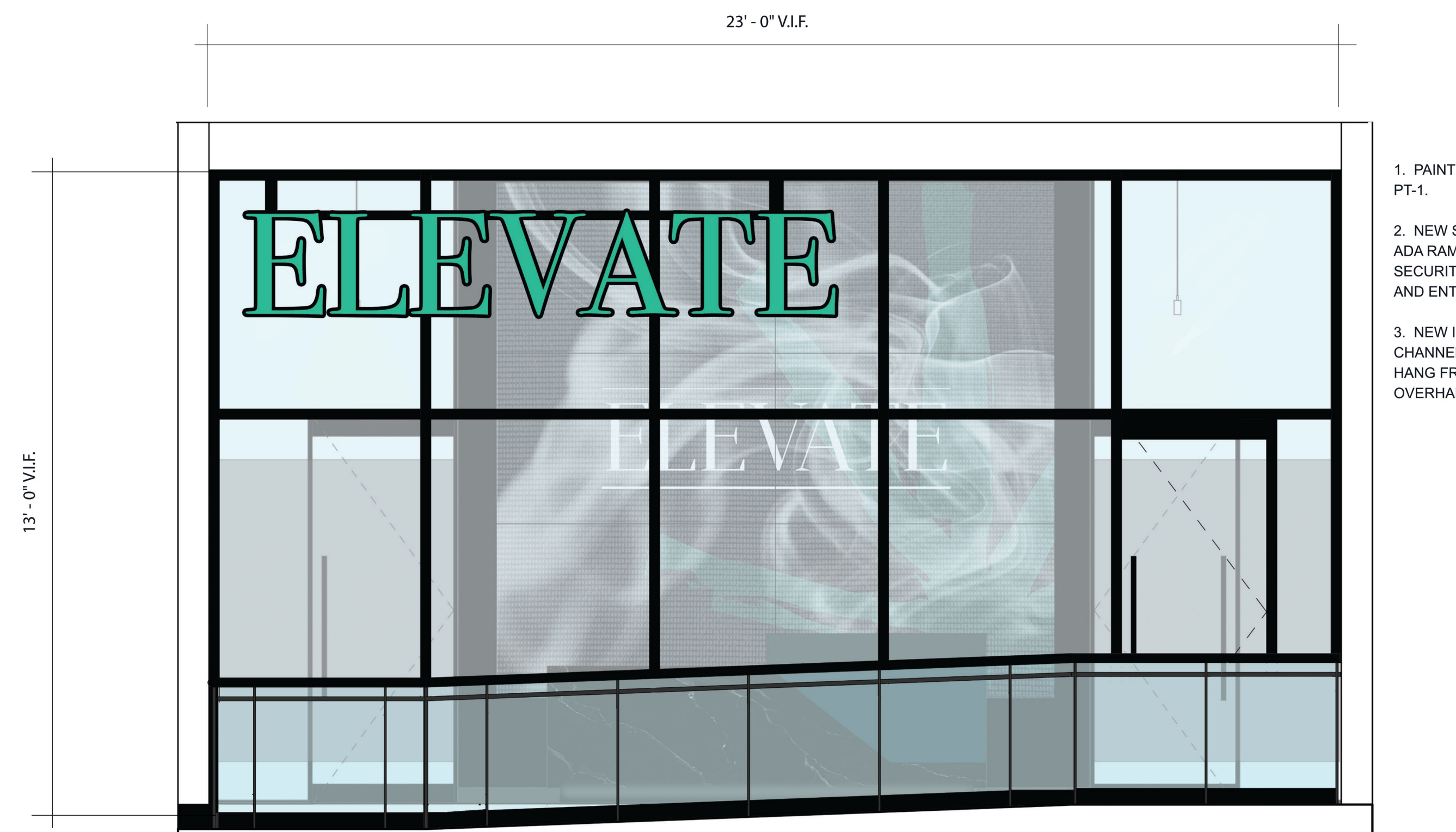
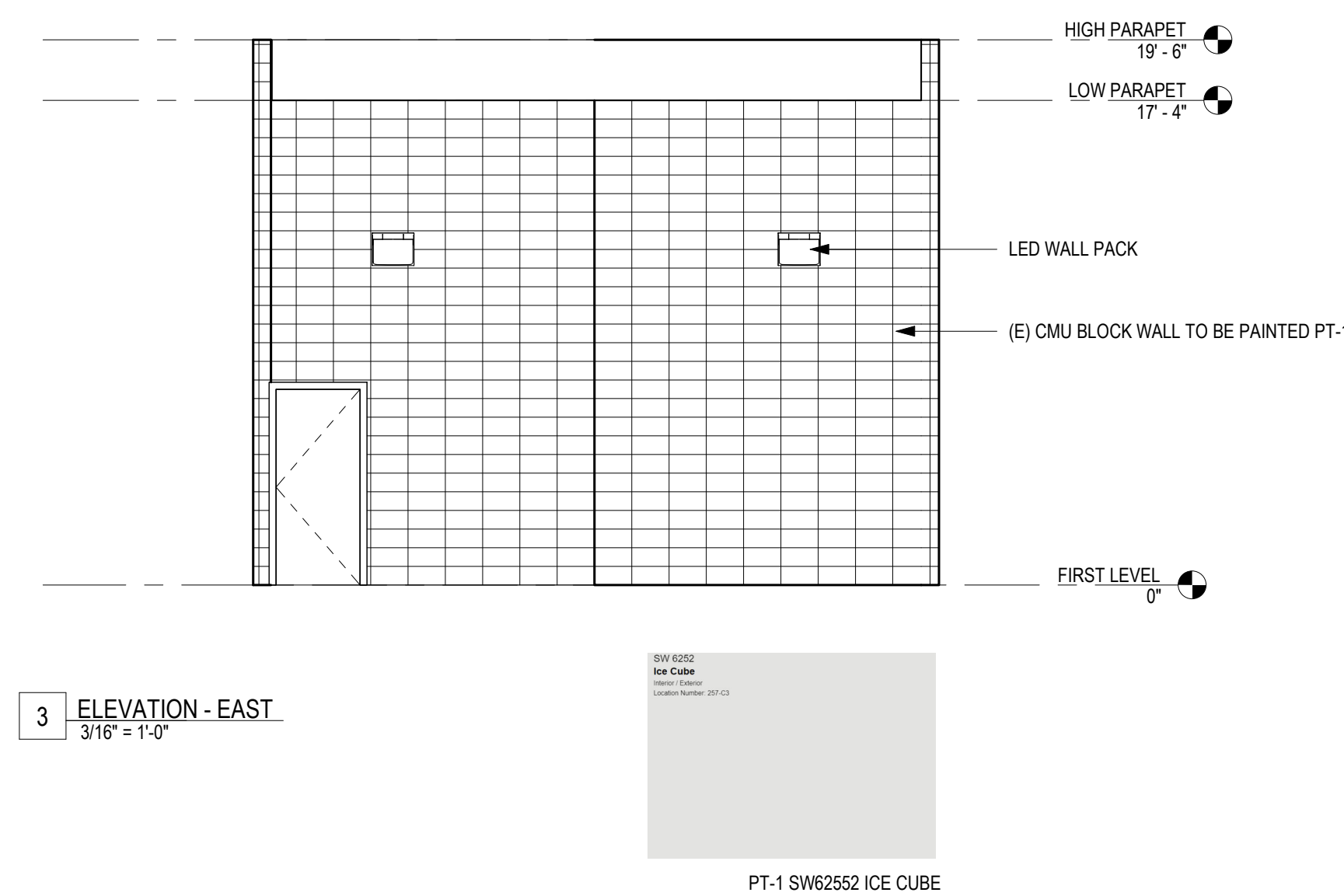
A0.00

ELEVATE / DOWNTOWN OXNARD - NEW STOREFRONT



EXTERIOR ELEVATION

WITH ADA RAMP



KEYNOTES

1. PAINT BUILDING TO MATCH PT-1.
2. NEW STOREFRONT WITH ADA RAMP AND RAILING, SECURITY GLASS WINDOWS, AND ENTRY DOOR.
3. NEW ILLUMINATED CHANNEL LETTER SIGN TO HANG FROM UNDERSIDE OF OVERHANG.

PROJECT:

ELEVATE OXNARD
156 S. A ST.
OXNARD, CA 93030

NO.	ISSUE/REVISION	DATE
	SUP SUBMITTAL	03/22/21
	SUP SUBMITTAL_REV 1	04/29/21
	HDL SUBMITTAL	05/25/21
	SUP RESUBMITTAL	07/06/21

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2 ELEVATION - WEST

1/2" = 1'-0"

KEYNOTES:

- | | |
|--|--|
| 01 RETAIL CUSTOMER ENTRY/EXIT | 23 FIREPROOF SAFE |
| 02 CHECK-IN | 24 UPPER/LOWER STORAGE SHELVING |
| 03 ACCESS CONTROLLED DOOR (SELF CLOSING, SELF LATCHING W/ COMMERCIAL GRADE LOCKS AS PERMITTED BY GOVERNING BUILDING AND ACCESSIBILITY CODES) | 25 POINT OF SALE |
| 04 SECURITY REINFORCED STOREFRONT GLAZING | 26 ATM |
| 08 DEMISING WALL OF ADJACENT TENANT | 27 CMU BLOCK TRASH ENCLOSURE PER PLATE 606, CITY OF OXNARD |
| 10 STEEL REINFORCED WALLS AND CEILINGS OR SECURITY MESH UNDER DRYWALL SURFACE | |
| 11 VIDEO SURVEILLANCE AND MONITORING STORAGE | |
| 12 RECORD STORAGE | |
| 13 ACCESSIBLE RAMP | |
| 14 SECURE IRON FENCE, MAX. ALLOWABLE HEIGHT | |
| 15 SECURE IRON SLIDING GATE | |
| 22 REFRIGERATOR | |

SHEET NOTES:

1. ALL BUILDING PATCHING SHALL MATCH THE MAIN BUILDING IN COLOR, STYLE, AND TEXTURE

LEGEND:

FIRE PROTECTION:
PORTABLE FIRE EXTINGUISHER SHALL BE PROVIDED; (SIZE AND DISTRIBUTION SHALL BE IN ACCORDANCE WITH SECTIONS 906.3.1-906.3.4) IAFG 906.1
i. IN GROUP A, E, F, H, I, R-2, R-2.1 OCCUPANCIES
ii. ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
iii. WHERE REQUIRED BY 1906.1
iv. SPECIAL-HAZARD AREAS, WHERE REQUIRED BY THE CODE OFFICIAL.

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SHEET TITLE:

PREMISE DIAGRAM AND ELEVATION

PLANS AT SCALE NOTED WHEN PRINTED AT 24"X36"
PLANS SHALL BE THE SCALE NOTED WHEN PRINTED AT 12"X18"

PROJECT NUMBER: 2008
DATE: 04/01/2020
DRAWN BY: Author

A2.01

Oxnard Downtown Code – Downtown General Zone			
PZ-21-156-12: 156 S A St. – Blooming Organics LLC dba Elevate Downtown Oxnard			
DT-G Zone	Required/Allowed		
Overlay Zone	Choose All Applicable: NA	--	--

Allowed Private Frontages and Encroachment Standards
Table 16-150

Standard	Downtown Zones				Min ft Between PL and Façade ³	Encroachment into setbacks	See Guidelines	
	Type	DT E	DT E-O	DT G				DT C
Residential Ground Floor Commercial Ground Floor	Porch	P	P	P	---	12 to 20	Up to 5' of sidewalk	16-150.C
	Stoop	P	P	P	P ¹	4 to 6	Up to 1' of sidewalk	16-150.D
	Terrace	---	---	P	P	7 to 12	Within 1' of sidewalk	16-150.E
	Dooryard	P	P	P	P ¹	7 to 12	Up to 1' of sidewalk	16-150.F
	Common Entry	---	---	P	P	10 to 15	Not applicable	16-150.G
	Shopfront	---	P	P ²	P	0 or 10	Awning / canopy up to 2' of curb	16-150.H
	Gallery	---	---	P ²	P	0	Up to 3' of curb	16-150.I
	Arcade	---	---	---	P	0	Up to 3' of curb	16-150.J

Notes

P Allowed in Zone

--- Not allowed in zone

¹ Not allowed in shopfront overlay.

² Only where shopfront overlay applies.

³ At a massing break, the edge of the required 15' x 15' area is considered the property line for the purposes of applying frontage type(s) standards.

		Private and Public Frontages	
		Required/Allowed	Proposed Project
Table 16-150.H	Shopfront		
	Height to (clear)/top of shopfront	12 feet minimum and 18 feet maximum	Existing to remain @ 13'-10"
	Height to bottom of awning/canopy (clear)	8 feet minimum and 10 feet maximum	NA
	Width of shopfront base	10 feet minimum and 20 feet maximum	Existing to remain @ 23'-0"
	Height of shopfront base	6 inch minimum and 3 feet maximum	6"

	Glass area of ground floor wall area (each facade)	70 percent minimum	79%
	Width of Shopfront on second frontage (corner building)	20 feet minimum	NA
	Awning Depth	5 feet minimum up to within 2 feet of curb	NA
	Awning Location	located over shopfront opening only	NA
	Awning Design	quarter sphere or quarter cylinder configurations not allowed	NA
	Distance between openings in wall	10 linear feet maximum(primary street frontage) 25 linear feet maximum (side street frontage)	NA
	Traditional Shopfront	header: 24 inches minimum and 36 inches maximum shopfront windows: recessed a minimum of 2 inches base panels/shopfront base: 36 inch in height maximum	Existing header @ 18" to remain New recess @ 4'-0" to accommodate accessible entry ramp 6" base panels
	Shopfront Tint	10 percent maximum	NA
Section 16-151	Public Frontage		
Section 16.151.1.A	Sidewalk Width	5 feet minimum	Existing sidewalk to remain
Table 16-151.C	Commercial Parking lane trees, where provided	located every 2 to 6 spaces	NA
Table 16-151.C	Commercial Parklets Buffers	24 inch buffer from travel lane (recommended) 36 inch buffer from adjacent parking spaces (recommended) 15 feet from bus stop or shelter	NA
Table 16-151.D	Residential Parkways	breaks every 50 feet (recommended)	NA
Table 16-151.D	Residential Parking lane trees, where provided	should be located every 2 to 4 spaces	NA

Architectural Guidelines			
Table 16-156.A.i	Bay windows	8 foot maximum width height equal or greater than width 3 feet minimum from corner 50 percent transparency or greater.	NA
Table 16-156.A.j	Door Glazing	glazing must provide at least 90 percent visible light transmission	Will Comply @ >90%
Table 16-156.B.a	Orientation to Public Space	buildings must face open spaces and may not back on to open spaces.	NA (existing building)
Table 16-156.B.d	Residential Entry	access from the sidewalk is required if the unit is within 5 feet of grade.	NA
Table 16-156.C.a	Building Wall Materials	walls must be finished in stone, brick, finished concrete block, poured in place or pre-cast concrete, smooth plaster or stucco, and wood. synthetic materials may be approved through design review	Existing concrete block to be cleaned and repainted
Table 16-156.D.2.d	Upward Acting Doors (Contemporary Building Only)	maximum width: 16 feet maximum height: 10 feet minimum separation: 2 feet materials: clear, see-through glazing	NA
Table 16-156.E.1.a	Window Materials	wood, vinyl-clad wood, aluminum-clad wood or metal. pvc and vinyl windows require design review approval.	Aluminum storefront system in dark bronze anodized.
Table 16-156.E.2.b	Non Shopfront ground floor window	window sills should be 4-8 feet from public sidewalks and open spaces	NA
Table 16-156.E.2.g	Window Recesses	minimum 2 inch recess from facade (Advisory)	NA
Table 16-156.F.1.e	Balconies	minimum of 5 feet in depth (Advisory)	NA
Table 16-156.F.2.e	Planter Boxes	should be between 18 to 42 inches tall (cannot block windows)	NA

Table 16-156.F.3.a	Masonry and Stucco Arches	depth: 12 inches minimum piers/columns: 12 by 12 inches minimum	NA
Table 16-156.F.3.b	Wood Posts	6-by-6 inches minimum and articulated	NA
Table 16-156.G	Building Colors	coordinated and subdued colors typical of natural building materials, such as earth tone colors (recommended) exterior facade colors should be limited to two or three (recommended)	Color to be an off white: SW62552 Ice Cube
Table 16-156.H.1.d	Gutters and Downspouts	should be made of: galvanized steel copper pre-finished aluminum	Existing internal roof drains to remain
Table 16-156.H.2.a	Traditional Building Shed Roof Slope	minimum slope of two in twelve (2:12)	NA
Table 16-156.H.2.e	Service Equipment	roof top equipment must be screened from public view	Existing units screened by parapet
Table 16-156.H.2.f	Skylights	must be flat and not visible from the public areas	Existing not visible
Table 16-156.H.2.g	Gutters	half-round or ogee (rectangular allowed on contemporary buildings only)	Existing internal roof drains to remain
Table 16-156.H.3.b	Exposed Rafter Tails	minimum nominal dimension of 3 inches by 4 inches.	NA
Table 16-156.H.3.c	Supporting Brackets	minimum dimension of 5 inches	NA
Table 16-156.I.1	Vents	must be screened from public and semi-public areas	Will comply
Table 16-156.I.3 and 4	Service Entrances and Waste Disposal Areas, etc	lots with alley access: must be adjacent to and accessed from alley lots without alley access: must be screened and far from public view	Existing lot has alley access. New trash enclosure proposed per City of Oxnard Guidelines
Table 16-156.I.5	Fire Sprinklers	should be building mounted rather than freestanding	NA
Table 16-156.J.2.a	Garden Walls	6 inches wide minimum with cap	NA
Table 16-156.J.2.b	Fences	wood fences: maximum of 3 inch gap between vertical lattices	New wrought iron fence proposed @ rear alley access with

		wrought iron, including steel bar: minimum of 4 inches between bars	min. 4 inches between bars
Table 16- 156.J.2.c	Front Yard Wall Height (front or side street setback areas)	must be between 30 inches to 42 inches	NA
Table 16- 156.J.2.d	Side Yard Wall Height (at or behind building facade)	8 feet maximum	NA
Table 16- 156.J.2.e	Wall Setbacks (Fences built parallel to frontage between houses or structures, unless integral part of architecture)	should be setback 2 to 5 feet	NA
Table 16- 156.J.2.f	Retaining Walls at Frontages	5 feet maximum	NA
Table 16- 156.J.2.h	Parking Wall Height	must be between 36 inches and 48 inches	NA
Table 16- 156.J.3.e	Wood Siding Patterns (recommendation)	clapboard should not exceed 6 inches to the weather shingles should not exceed 8 inches to the weather dropsiding should not exceed 12 inches and 4 inches, alternatively	NA



**DOWNTOWN DESIGN REVIEW COMMITTEE
STAFF REPORT**

TO: Downtown Design Review Committee

FROM: Jose Coyotl, Associate Planner

DATE: October 14, 2021

SUBJECT: **Project Name: 99 High Tide - Oxnard, LLC., dba 99 High Tide - La Sirena;** Planning and Zoning Permit No(s). 21-516-43 (SUP - Cannabis); 138 South A Street, (APN: 202-0-056-100).

1) Project Description and Applicant: A request to permit architectural revisions associated with the operation of a commercial cannabis retail facility within an existing 2,299 square-foot commercial building on a .08-acre site located at 138 South A Street (APN: 202-0-056-100) within the Downtown General (DT-G) zone. Proposed development includes tenant improvements: installation of interior wall partitioning, plumbing upgrades, upgrades to an existing fire alarm system, security upgrades to the existing building, installation of new secure doors/windows, and providing exterior facade improvements. The proposed project is exempt from environmental review, pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act. Filed by Sam Boyer on behalf of 99 High Tide-Oxnard, LLC., 4536 Costa de Oro, Oxnard, CA 93035

For purposes of this staff report, the foregoing project description shall be referred to as the “**Project**”. Please see the reduced Project plans (Attachment A) for more details.

2) Existing & Surrounding Land Uses: The following table describes the General Plan Land Use Designations, Zoning designations, and existing land uses of the Project site and adjacent properties:

LOCATION	GENERAL PLAN	ZONING	EXISTING LAND USE
Project Site	Downtown (DTN)	Downtown-General (DT-G)	Commercial building.
North	DTN	DT-G	Commercial building.
South	DTN	DT-G	Private commercial

			parking lot.
East	DTN	DT-G	Automotive repair and multi-tenant commercial building.
West	DTN	DT-G	Multi-tenant building.

3) Background Information:

- a) There are no land use entitlements as the building predates the Oxnard City Code Zoning requirements. A City of Oxnard Building Permit was issued on December 26, 1963 for the construction of a 2,500 square foot commercial building (Building Permit No. 14779). The site currently is legal nonconforming .

4) Analysis:

- a) **Conformance with Zoning Development Standards:** Pursuant to the Downtown Code, the proposed development is located in the Downtown - General zone. Applicable development standards of the Downtown- General zone have been compared with the proposed project in Attachment B.

Attachments:

- A. Reduced Project Plans
- B. Downtown Code Consistency Table

99 HIGH TIDE - LA SIRENA

138 SOUTH A STREET

OXNARD, CA 93030

PARKING ANALYSIS: SUBJECT SPACE- 2,299 S.F.
CALCULATION PER CODE- 1 SPACE PER 250 S.F.
REQUIRED- 9 SPACES

ADA PARKING: COMPLIANT SPACE TO BE LOCATED ON A STREET,
SUBJECT TO APPROVAL OF LOCATION

NOTES:

1. Parking spaces shall be as indicated that project with... (text partially obscured)
2. The face lines of accessible on-street parking spaces shall be the face lines of the curb.
3. Where signs are required for the spaces, the signs shall be as indicated on the drawings.
4. Each space shall conform to the details shown on Standard Plan A90B.
5. Accessible on-street parking spaces shall be painted in blue and shall be 8' wide. The depth of the spaces shall not be less than 20' 0" in width.
6. Blue paint shall be applied to the curb and the adjacent sidewalk.
7. The words "NO PARKING" shall be painted in white letters on the curb and the adjacent sidewalk. The letters shall be 6" high and shall be spaced 1/2" apart.
8. The words "NO PARKING" shall be painted in white letters on the curb and the adjacent sidewalk. The letters shall be 6" high and shall be spaced 1/2" apart.
9. The words "NO PARKING" shall be painted in white letters on the curb and the adjacent sidewalk. The letters shall be 6" high and shall be spaced 1/2" apart.
10. If the parking space of the sign shall be painted and is located on the curb, the sign shall be placed on the other side of the curb.
11. Accessible parking signs shall be sign size: 6" x 18" or sign size: 12" x 18" (see Standard Plan A90B).

LEGEND:
R14 - International Symbol of Accessibility

STATE OF CALIFORNIA
DEPARTMENT OF TRANSPORTATION
ACCESSIBLE PARKING ON-STREET
NO SCALE

A90B

PROJECT ADDRESS:	138 SOUTH A STREET OXNARD, CA 93030
ASSESSOR'S NO.:	2020 056 100
LAND USE ZONE:	DT-G
LOT SIZE:	3,500 S.F.
NET S.F.:	2,299
ATTIC:	(DOES NOT CONTAIN USABLE FLOOR SPACE)
LOT:	12
SUBDIVISION:	OXNARD
COUNTY:	VENTURA
TRACT:	8700

TENANT:	99 HIGH TIDE - LA SIRENA 310.963.1949 yvonne@99hightide.com email
DESIGN:	PLACE Johnny Hirsch 805.284.6777 info@place-matters.com
FIRE PROTECTION ENGINEER:	Jack Collins, F.P.E. President CFP Engineering, LLC 805.290.8724 www.cfpengineers.com
SECURITY:	NRL & ASSOCIATES Randy Latimer 805.207.7814 randy.latimer@cloud.com

JURISDICTION:	COUNTY OF VENTURA PLANNING DIVISION 805.385.7858 tel. 805.385.7417 fax BUILDING + ENGINEERING 805.385.7925 tel. 805.385.7854 fax 214 SOUTH "C" STREET OXNARD, CA 93030
SCOPE OF WORK:	TENANT IMPROVEMENT TO EXISTING RETAIL SPACE
SHEET INDEX:	A0.0 TITLE SHEET A1.0 SITE PLAN A1.1 EXISTING FLOOR PLAN + EXISTING STORAGE MEZZANINE PLAN A1.2 PROPOSED FLOOR PLAN A2.1 PROPOSED STREET ELEVATIONS

CALGREEN MANDATORY MEASURES FOR WASTE MANAGEMENT:

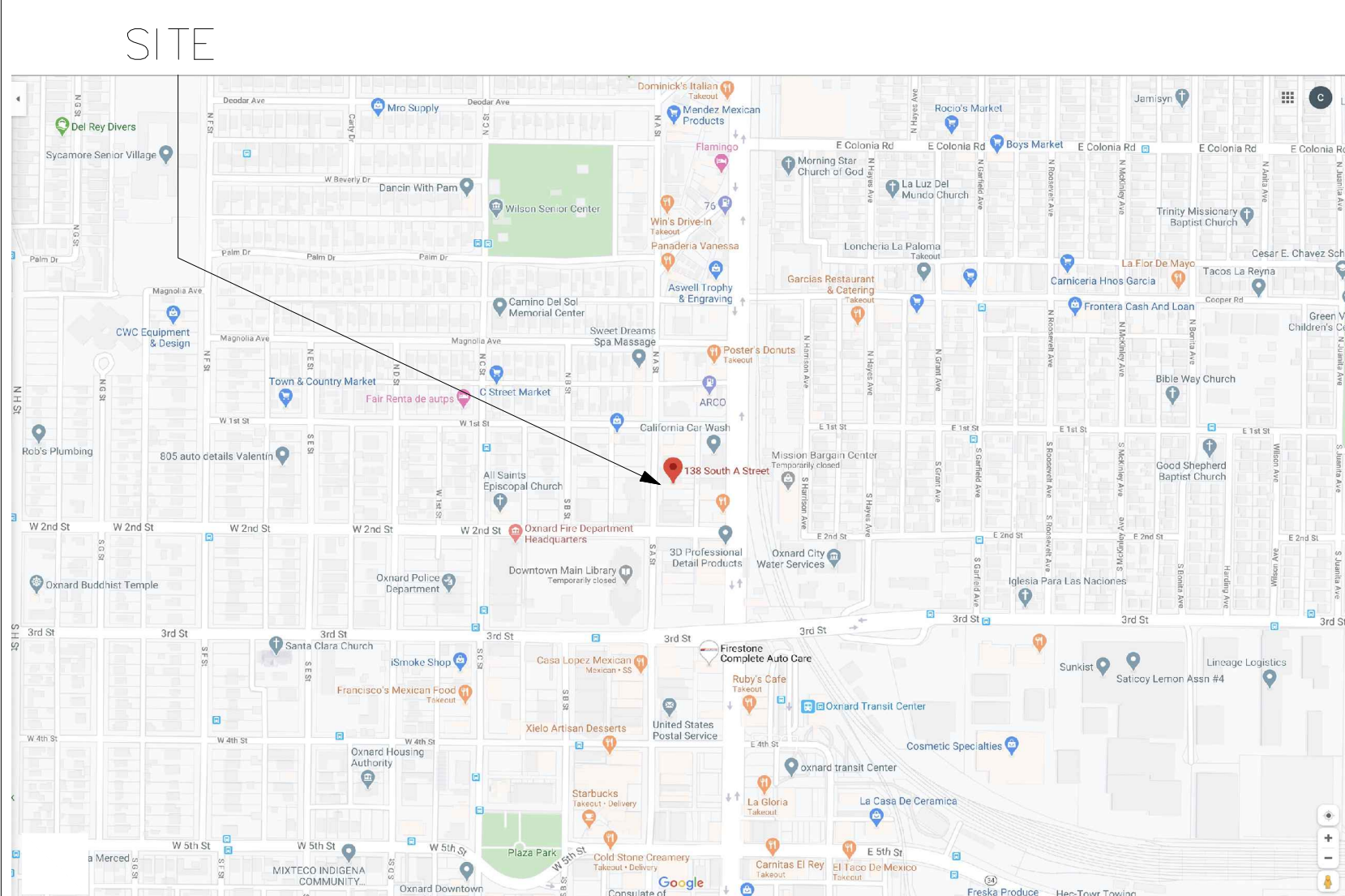
A. (301.3.2) WASTE DIVERSION: THE REQUIREMENTS OF SECTION 5.408 SHALL BE REQUIRED FOR ADDITIONS AND ALTERATIONS WHENEVER A PERMIT IS REQUIRED FOR WORK.

B. (302.1) MIXED OCCUPANCY BUILDINGS: IN MIXED OCCUPANCY BUILDINGS, EACH PORTION OF A BUILDING SHALL COMPLY WITH THE SPECIFIC GREEN BUILDING MEASURES APPLICABLE TO EACH SPECIFIC OCCUPANCY.

FIRE DEPARTMENT REQUIREMENTS:

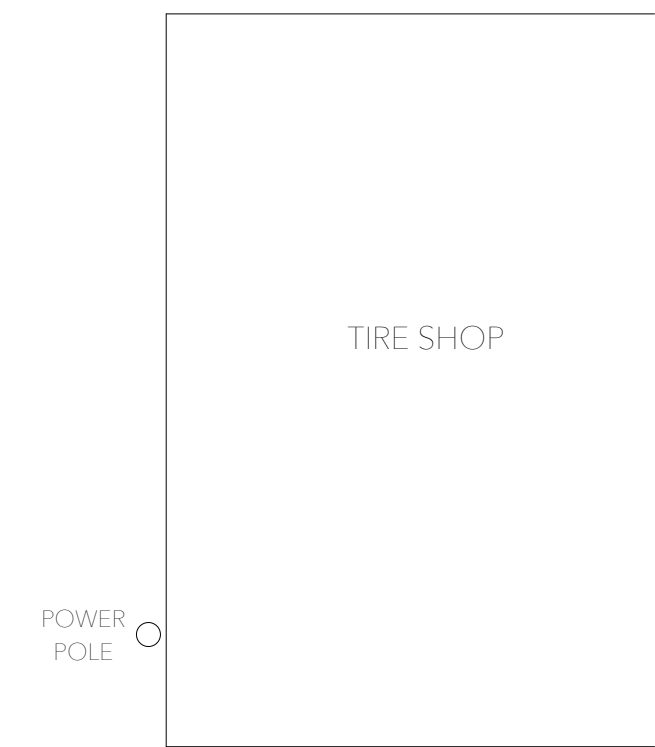
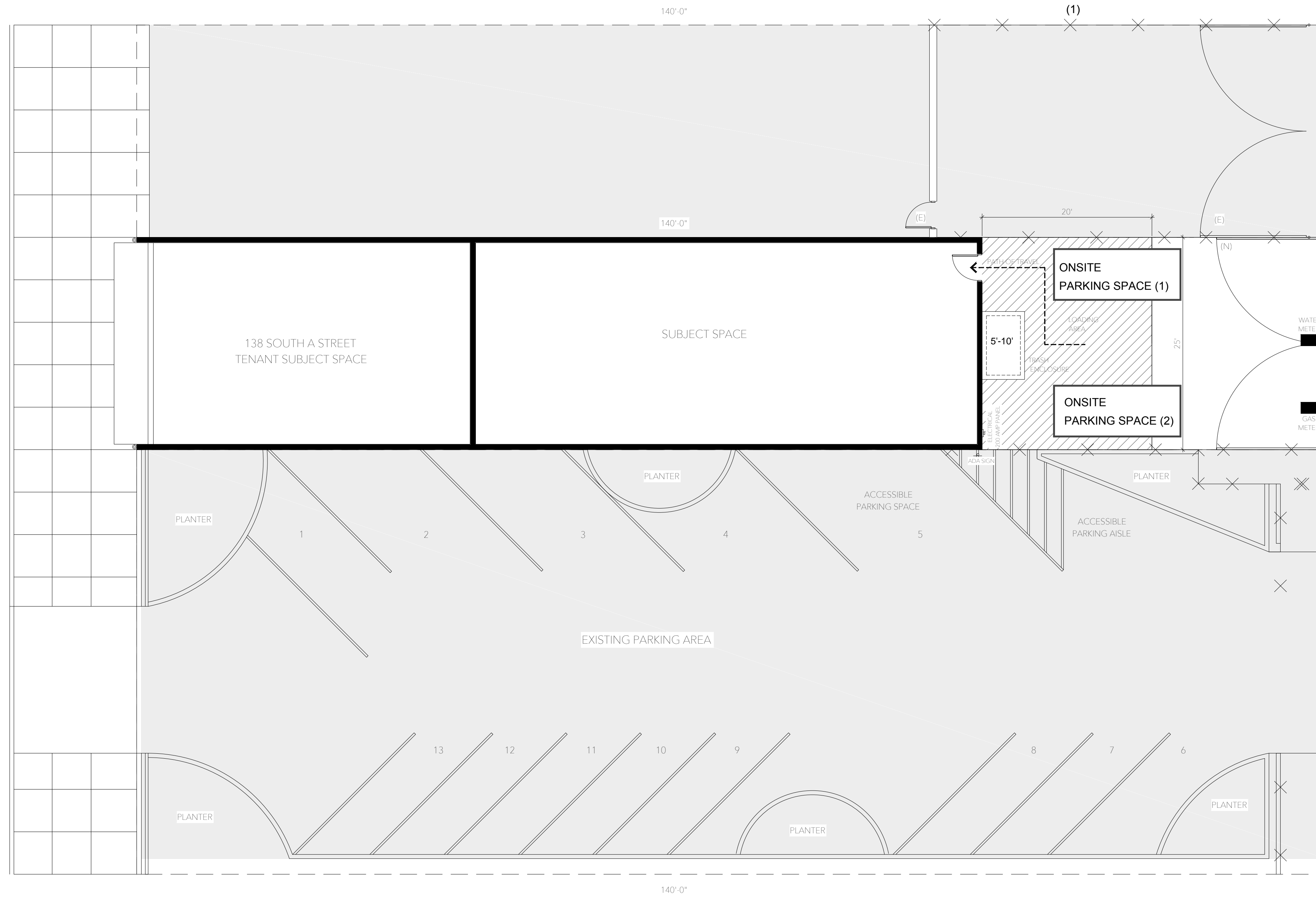
NFPA 13 FIRE SPRINKLER SYSTEM WILL BE REQUIRED AND SUBMITTED ON SEPARATE PLANS AND SUBMITTAL.

NFPA 72 FIRE ALARM SYSTEM WILL BE REQUIRED AND SUBMITTED ON SEPARATE PLANS AND SUBMITTAL.



99 HIGH TIDE LLC dba La Sirena 138 SOUTH A STREET OXNARD, CA 93030	
TITLE SHEET	
Project Manager	Project ID
Drawn By	Scale
Reviewed By	Sheet No.
Date	A0.0
CAD File Name	

SOUTH A STREET



- KEY NOTES**
2. SITE CONSTRUCTION
 3. CONCRETE
 - 3.1 CONCRETE SLAB ON GRADE (N)
 - 3.2 CONCRETE FOOTING (N)
 4. MASONRY
 - 4.1 CUT STONE (TYPE)
 5. METALS
 - 5.1 STEEL BRACKET (TYPE/ SEE STRUCT. DWGS.)
 - 5.2 STEEL BEAM (TYPE/ SEE STRUCT. DWGS.)
 - 5.3 STEEL BOST (TYPE/ SEE STRUCT. DWGS.)
 - 5.4 STEEL PLATE (TYPE/ SEE STRUCT. DWGS.)
 6. WOOD - PLASTICS
 - 6.1 2X WD. FRAMING U.O.N. (SEE STRUCT. DWGS.)
 - 6.2 WD. BLOCKING AS REQD.
 - 6.3 CDX PLYWOOD SHTG. (THICKNESS) (SEE STRUCT. DWGS.)
 - 6.4 HARDWOOD STAIR TREADS & RISERS (T.B.S.)
 - 6.5 WOOD BEAM (SEE STRUCT. DWGS.)
 - 6.6 HARDWOOD BASEBOARD (COLOR: T.B.S.)
 - 6.7 FORMALDEHYDE FREE MEDIUM DENSITY FIBERBOARD (MDF) PTD. (COLOR T.B.S.)
 - 6.8 HIGH GLOSS ACRYLIC LAMINATE (COLOR T.B.S.) O' FORMALDEHYDE FREE MEDIUM DENSITY FIBERBOARD
 - 6.9 MULTI-PLY BALTIC BIRCH, CLEAR MATTE FINISH (T.B.S.)
 - 6.10 WOOD VENEER (COLOR/MFGR)
 7. THERMAL - MOISTURE PROTECTION
 - 7.1 EVERGUARD 60-MIL TPO SINGLE PLY MEMBRANE (COLOR)
 - 7.2 BLDG. PAPER 2 LAYERS GRADE 'D' PAPER.
 - 7.3 KNAUF KRAFT FACED INSULATION, ECOBATT THERMAL/ ACOUSTICAL INSULATION W/ VAPOR BARRIER WHERE NOTED (R VALUE) SHEET METAL, COLOR T.B.S.
 - 7.4 DENS-DECK PRIME ROOF BOARD (THICKNESS)
 - 7.7 22 GA. G.S.M. FLASHING
 - 7.8 FIRESTONE ISO 95+ GL. TAPERED INSULATION (THICKNESS)
 8. DOOR - WINDOWS
 - 8.1 FIXED WINDOW (SEE SCHED. SHT. A0.4)
 - 8.2 DOOR/DOOR FRAME + HARDWARE (SEE SCHED. SHT. A0.4)
 - 8.3 TEMPERED GLASS (SEE SCHED. SHT. A0.4)
 - 8.4 OPERABLE WINDOW (SEE SCHED. SHT. A0.4)
 - 8.6 3/8" TEMPERED GLASS (CLEAR)
 - 8.7 1/4" TEMPERED MIRROR
 - 8.8 MISC. HARDWARE
 9. FINISHES
 - 9.1 GYP. BD. (5/8" U.N.O.)
 - 9.2 FRY REGLET MOLDING (MOD #)
 - 9.3 GLASS TILE
 - 9.4 TILE BACKING AS REQUIRED
 - 9.5 POLISHED CONCRETE MICRO TOPPING
 - 9.6 ENGINEERED HARDWOOD FLOORING (TYPE/THICKNESS/MFGR.)
 - 9.7 PORCELAIN TILE (T.B.S.)
 - 9.8 QUARTZ SURFACE CAESARSTONE: 4600-ORGANIC WHITE
 - 9.9 EPOXY COATING (T.B.S.)
 - 9.10 CEDAR SIDING: GRADE "A" CLEAR, FINISHED W/ VERMONT NATURAL COATINGS. COLOR: LIGHT GREY
 - 9.11 7/8" CEMENT PLASTER (COLOR)
 10. SPECIALTIES
 - 10.1 ACCESSORIES (SEE SCHEDULE A1.5)
 - 10.2 RAIN GUTTER
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 - 15.1 PLUMBING FIXTURE (SEE SCHEDULE A1.3/A1.6)
 - 15.2 FAU MECHANICAL EQUIPMENT (SEE M1.1/M1.2)
 16. ELECTRICAL
 - 16.1 LIGHT FIXTURE (SEE SCHEDULE A1.4/A1.7)
 - 16.2 BATH FAN VENT (SEE M1.1/M1.2)

1 SITE PLAN
Scale: 1/8" = 1'-0"



2 OFF STREET PARKING PLAN
N.T.S.

99 HIGH TIDE LLC dba La Sirena 138 SOUTH A STREET OXNARD, CA 93030	
Sheet Title SITE PLAN	
Project Manager	Project ID
Drawn By	Scale
Reviewed By	Sheet No.
Date	A1.0
CAD File Name	



2 COLOR RENDERING @ A STREET STOREFRONT
N.T.S.

- KEY NOTES**
2. SITE CONSTRUCTION
 3. CONCRETE
 - 3.1 CONCRETE SLAB ON GRADE (N)
 - 3.2 CONCRETE FOOTING (N)
 4. MASONRY
 - 4.1 CUT STONE (TYPE)
 5. METALS
 - 5.1 STEEL BRACKET (TYPE/ SEE STRUCT. DWGS.)
 - 5.2 STEEL BEAM (TYPE/ SEE STRUCT. DWGS.)
 - 5.3 STEEL BOST (TYPE/ SEE STRUCT. DWGS.)
 - 5.4 STEEL PLATE (TYPE/ SEE STRUCT. DWGS.)
 6. WOOD - PLASTICS
 - 6.1 2X WD. FRAMING U.O.N. (SEE STRUCT. DWGS.)
 - 6.2 WD. BLOCKING AS REQ.
 - 6.3 CDX PLYWOOD SHTG. (THICKNESS) (SEE STRUCT. DWGS.)
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 - 6.9 MULTI-PLY BALTIC BIRCH, CLEAR MATTE FINISH (T.B.S.)
 - 6.10 WOOD VENEER (COLOR/MFGR)
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 - 7.1 EVERGUARD 60-MIL TPO SINGLE PLY MEMBRANE (COLOR)
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 - 16.1 LIGHT FIXTURE (SEE SCHEDULE A1.4/A1.7)
 - 16.2 BATH FAN VENT (SEE M1.1/M1.2)

NOTE: ALL PROPOSED SIGNAGE TO CONFORM TO CITY SIZE AND MATERIAL SIGNAGE CODE REQUIREMENTS. (TO BE SUBMITTED SEPARATELY)



1 (N) STREET ELEVATION (WEST)
Scale: 1/4" = 1'-0"

99 HIGH TIDE LLC dba La Sirena 138 SOUTH A STREET OXNARD, CA 93030	
Sheet Title PROPOSED STREET ELEVATIONS	
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14'-11" A.F.G.

10'-0" A.F.G.

0" A.F.G.

1

STREET ELEVATION (WEST)

Scale: 1/4" = 1'-0"



2 COLOR RENDERING @ A STREET STOREFRONT
N.T.S.

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138 SOUTH A STREET: STOREFRONT MATERIALS



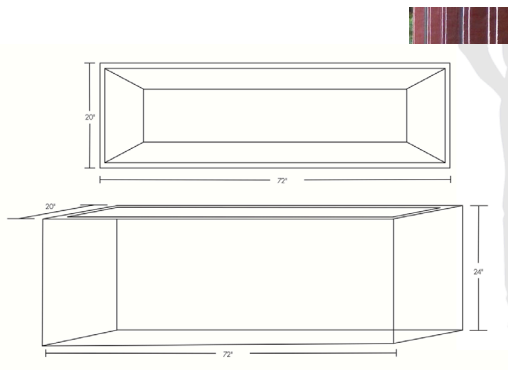
Rendering @ Storefront



Translucent Privacy Glass Film:
3M™ FASARA™ Glass Finishes – Cielo



Clear Western Red Cedar- 1-1/2" x 2' slats mounted over steel tube frame
Color: Natural, sealed w/ Vermont Natrual Coatings Aging Stain



Storefront Planters- Oject Outdoors,
Color: Industrial Grey
(security bollards to be installed within planters)

Oxnard Downtown Code – Downtown General Zone			
PZ-21-516-43: 138 South A Street – 99 High Tide-Oxnard, LLC. dba La Sirena Cannabis SUP			
DT-G Zone	Required/Allowed		
Overlay Zone	Choose All Applicable: NA	--	--

**Allowed Private Frontages and Encroachment Standards
Table 16-150**

Standard	Downtown Zones				Min ft Between PL and Façade ³	Encroachment into setbacks	See Guidelines	
	Type	DT E	DT E-O	DT G				DT C
Residential Ground Floor Commercial Ground Floor	Porch	P	P	P	---	12 to 20	Up to 5' of sidewalk	16-150.C
	Stoop	P	P	P	P ¹	4 to 6	Up to 1' of sidewalk	16-150.D
	Terrace	---	---	P	P	7 to 12	Within 1' of sidewalk	16-150.E
	Dooryard	P	P	P	P ¹	7 to 12	Up to 1' of sidewalk	16-150.F
	Common Entry	---	---	P	P	10 to 15	Not applicable	16-150.G
	Shopfront	---	P	P ²	P	0 or 10	Awning / canopy up to 2' of curb	16-150.H
	Gallery	---	---	P ²	P	0	Up to 3' of curb	16-150.I
	Arcade	---	---	---	P	0	Up to 3' of curb	16-150.J

Notes

P Allowed in Zone
 --- Not allowed in zone

¹ Not allowed in shopfront overlay.

² Only where shopfront overlay applies.

³ At a massing break, the edge of the required 15' x 15' area is considered the property line for the purposes of applying frontage type(s) standards.

		Private and Public Frontages	
		Required/Allowed	Proposed Project
Table 16-150.H	Shopfront		
	Height to (clear)/top of shopfront	12 feet minimum and 18 feet maximum	14'-11"
	Height to bottom of awning/canopy (clear)	8 feet minimum and 10 feet maximum	10'-0"
	Width of shopfront base	10 feet minimum and 20 feet maximum	24'-0"
	Height of shopfront base	6 inch minimum and 3 feet maximum	8"

	Glass area of ground floor wall area (each facade)	70 percent minimum	225 s.f.
	Width of Shopfront on second frontage (corner building)	20 feet minimum	N/A
	Awning Depth	5 feet minimum up to within 2 feet of curb	3'-0"
	Awning Location	located over shopfront opening only	3'-0"
	Awning Design	quarter sphere or quarter cylinder configurations not allowed	Existing hard lid
	Distance between openings in wall	10 linear feet maximum(primary street frontage) 25 linear feet maximum (side street frontage)	N/A
	Traditional Shopfront	header: 24 inches minimum and 36 inches maximum shopfront windows: recessed a minimum of 2 inches base panels/shopfront base: 36 inch in height maximum	Custom horizontal wood slats, across entire storefront, in front of glazing
	Shopfront Tint	10 percent maximum	10%
Section 16-151	Public Frontage		
Section 16.151.1.A	Sidewalk Width	5 feet minimum	10'
Table 16-151.C	Commercial Parking lane trees, where provided	located every 2 to 6 spaces	N/A
Table 16-151.C	Commercial Parklets Buffers	24 inch buffer from travel lane (recommended) 36 inch buffer from adjacent parking spaces (recommended) 15 feet from bus stop or shelter	N/A
Table 16-151.D	Residential Parkways	breaks every 50 feet (recommended)	N/A
Table 16-151.D	Residential Parking lane trees, where provided	should be located every 2 to 4 spaces	N/A

Architectural Guidelines			
Table 16-156.A.i	Bay windows	8 foot maximum width height equal or greater than width 3 feet minimum from corner 50 percent transparency or greater.	N/A
Table 16-156.A.j	Door Glazing	glazing must provide at least 90 percent visible light transmission	90% transmission
Table 16-156.B.a	Orientation to Public Space	buildings must face open spaces and may not back on to open spaces.	Entry @ front of building, facing S. A Street
Table 16-156.B.d	Residential Entry	access from the sidewalk is required if the unit is within 5 feet of grade.	N/A
Table 16-156.C.a	Building Wall Materials	walls must be finished in stone, brick, finished concrete block, poured in place or pre-cast concrete, smooth plaster or stucco, and wood. synthetic materials may be approved through design review	Finished Concrete Block
Table 16-156.D.2.d	Upward Acting Doors (Contemporary Building Only)	maximum width: 16 feet maximum height: 10 feet minimum separation: 2 feet materials: clear, see-through glazing	N/A
Table 16-156.E.1.a	Window Materials	wood, vinyl-clad wood, aluminum-clad wood or metal. pvc and vinyl windows require design review approval.	Aluminum Storefront System
Table 16-156.E.2.b	Non Shopfront ground floor window	window sills should be 4-8 feet from public sidewalks and open spaces	N/A
Table 16-156.E.2.g	Window Recesses	minimum 2 inch recess from facade (Advisory)	4"
Table 16-156.F.1.e	Balconies	minimum of 5 feet in depth (Advisory)	N/A
Table 16-156.F.2.e	Planter Boxes	should be between 18 to 42 inches tall (cannot block windows)	18" tall

Table 16-156.F.3.a	Masonry and Stucco Arches	depth: 12 inches minimum piers/columns: 12 by 12 inches minimum	N/A
Table 16-156.F.3.b	Wood Posts	6-by-6 inches minimum and articulated	N/A
Table 16-156.G	Building Colors	coordinated and subdued colors typical of natural building materials, such as earth tone colors (recommended) exterior facade colors should be limited to two or three (recommended)	Façade: off white, wood clear natural oil finish
Table 16-156.H.1.d	Gutters and Downspouts	should be made of: galvanized steel copper pre-finished aluminum	N/A
Table 16-156.H.2.a	Traditional Building Shed Roof Slope	minimum slope of two in twelve (2:12)	N/A
Table 16-156.H.2.e	Service Equipment	roof top equipment must be screened from public view	N/A
Table 16-156.H.2.f	Skylights	must be flat and not visible from the public areas	N/A
Table 16-156.H.2.g	Gutters	half-round or ogee (rectangular allowed on contemporary buildings only)	N/A
Table 16-156.H.3.b	Exposed Rafter Tails	minimum nominal dimension of 3 inches by 4 inches.	N/A
Table 16-156.H.3.c	Supporting Brackets	minimum dimension of 5 inches	N/A
Table 16-156.I.1	Vents	must be screened from public and semi-public areas	N/A
Table 16-156.I.3 and 4	Service Entrances and Waste Disposal Areas, etc	lots with alley access: must be adjacent to and accessed from alley lots without alley access: must be screened and far from public view	Alley access, waste disposal to have enclosure
Table 16-156.I.5	Fire Sprinklers	should be building mounted rather than freestanding	Interior sprinklers flush mounted
Table 16-156.J.2.a	Garden Walls	6 inches wide minimum with cap	N/A
Table 16-156.J.2.b	Fences	wood fences: maximum of 3 inch gap between vertical lattices	N/A

		wrought iron, including steel bar: minimum of 4 inches between bars	
Table 16-156.J.2.c	Front Yard Wall Height (front or side street setback areas)	must be between 30 inches to 42 inches	N/A
Table 16-156.J.2.d	Side Yard Wall Height (at or behind building facade)	8 feet maximum	N/A
Table 16-156.J.2.e	Wall Setbacks (Fences built parallel to frontage between houses or structures, unless integral part of architecture)	should be setback 2 to 5 feet	N/A
Table 16-156.J.2.f	Retaining Walls at Frontages	5 feet maximum	N/A
Table 16-156.J.2.h	Parking Wall Height	must be between 36 inches and 48 inches	N/A
Table 16-156.J.3.e	Wood Siding Patterns (recommendation)	clapboard should not exceed 6 inches to the weather shingles should not exceed 8 inches to the weather dropsiding should not exceed 12 inches and 4 inches, alternatively	N/A



**DOWNTOWN DESIGN REVIEW COMMITTEE
STAFF REPORT**

TO: Downtown Design Review Committee

FROM: Juan Martinez, Associate Planner

DATE: October 14, 2021

SUBJECT: **Project Name: Palm Drive Mixed Use Development;** Planning and Zoning Permit No 21-200-04 (Major Downtown Design Review); 140 Palm Drive (APN: 200-0-052-130).

1) Project Description and Applicant: Proposal to construct a two-story mixed use development with 900 sf commercial space and 994 sf, two-bedroom apartment on the first floor and two, one-bedroom apartments on the second floor. The 5,250 square foot undeveloped site is zoned for Downtown General (DT-G) and is located within the Wilson Neighborhood. The project is exempt from environmental review pursuant to Section 15332 (Infill Development), Class 32 of the California Environmental Quality Act (CEQA) Guidelines. Filed by Lizette Elenes with ERA Architects on behalf of the property owner Vicente & Lilia Martinez, 1971 Hazeltine Drive Oxnard, California 93036.

For purposes of this staff report, the foregoing project description shall be referred to as the “**Project**”. Please see the reduced Project plans (Attachment A) for more details.

2) Existing & Surrounding Land Uses: The following table describes the General Plan Land Use Designations, Zoning designations, and existing land uses of the Project site and adjacent properties:

LOCATION	ZONING	GENERAL PLAN	EXISTING LAND USE
Project Site	Downtown General (DT-G)	Downtown (DTN)	Vacant
North	Downtown General (DT-G)	Downtown (DTN)	Commercial Office Building
South	Downtown General (DT-G)	Downtown (DTN)	8 Unit Apartment Complex
East	Downtown General (DT-G)	Downtown (DTN)	Aswell Trophy
West	Downtown General (DT-G) /Downtown Edge (DT-E)	Downtown (DTN) & Downtown Edge (DTE)	Medical Office Building Single Family House/Commercial

3) Background Information:

- a) The site is currently vacant and is enclosed by existing fencing along all sides
- b) On March 9, 2021, the subject development application was received and
- c) On March 24, 2021, the development proposal was reviewed by the City's Development Advisory Committee (DAC) and comments were provided. Meeting minutes have been attached for reference.
- d) On May 17, 2021, the project was presented to the Wilson Neighborhood at a regularly scheduled Community Workshop virtual meeting sponsored by the Planning Division.

4) Analysis:

- a) ***Conformance with Zoning Development Standards:*** Pursuant to the Downton Code, the proposed development is located in the Downtown General (DT-G) zone. Applicable development standards of the Downtown General zone have been compared with the proposed project in Attachment B.

Attachments:

- A. Reduced Project Plans
- B. Downtown Code Consistency Table
- C. DAC Meetings Minutes (March 24, 2021)

MIXED USE DEVELOPMENT COMMERCIAL & RESIDENTIAL APARTMENTS

157 PALM DR.
OXNARD, CA 93030

ERA ARCHITECTS

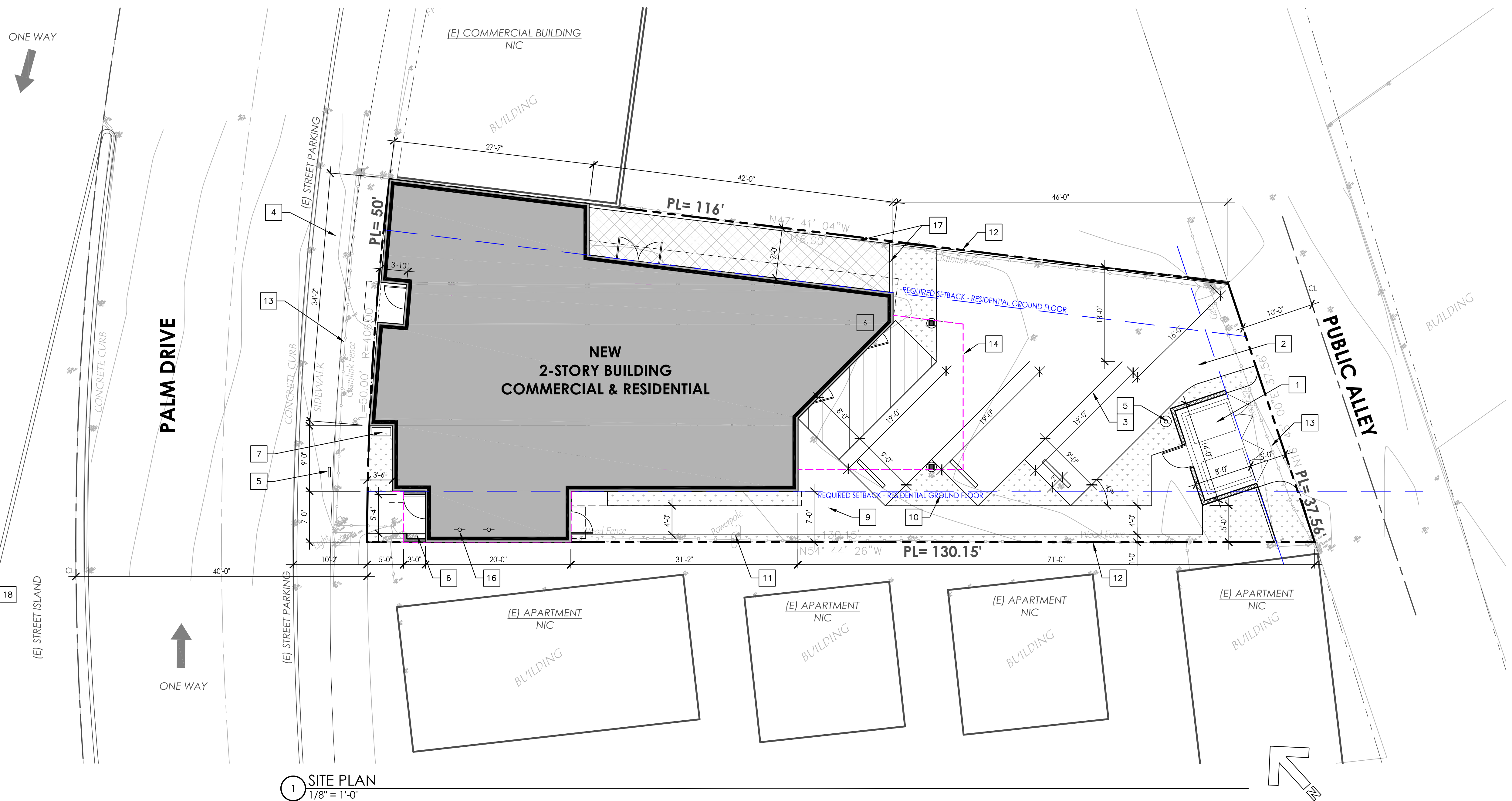
Lizette@ERAarchitects.org
805.824.4188
OXNARD CA

SCOPE OF WORK

MIXED USE PROJECT IN EXISTING VACANT LOT:
COMMERCIAL ON GROUND FLOOR /FACING STREET AND TOTAL
OF 3 APARTMENTS BETWEEN (1) ON GROUND FLOOR AND (2)
ON SECOND FLOOR.
PARKING SPACES AND NEW TRASH ENCLOSURE TO BE LOCATED
AT THE REAR OF THE LOT WITH ALLEY ACCESS.

PROJECT ANALYSIS

PROJECT ADDRESS	157 PALM DR. OXNARD CA 93030
ZONING	DT G DOWNTOWN GENERAL
ASSESSORS PARCEL NO.	200-0-052-130
LOT AREA	(0.12 AC) 5,250.0 SF
LOT COVERAGE	
BUILDING FOOTPRINT	44.3% 2,321.0 SF
WALKWAYS/PARKING PAVING	43.5% 2,287.0 SF
LANDSCAPE AREAS	10.1% 530.0 SF
TRASH ENCLOSURE	2.1% 112.0 SF
PROPOSED USE	MIXED USE COMMERCIAL / RESIDENTIAL
OCCUPANCY GROUP	M.B & R-2
CONSTRUCTION TYPE	V-B
FIRE SPRINKLER SYSTEM	YES
NUMBER OF STORIES	2 STORY
SETBACKS:	
FRONT:	
COMMERCIAL - GROUND FLOOR	0 FEET
RESIDENTIAL	10 FEET
SIDES:	
COMMERCIAL - GROUND FLOOR	0 FEET
RESIDENTIAL - GROUND FLOOR	7 FEET
RESIDENTIAL - SECOND FLOOR	10 FEET
REAR:	
COMMERCIAL - W-ALLEY ACCESS	10 FEET
RESIDENTIAL - GROUND FLOOR	5 FEET
PROPOSED BUILDING AREAS:	
1ST FLOOR:	
COMMERCIAL	900.0 SF
COMMON ENTRY /LOBBY/UTILITY	400.0 SF
APARTMENT 'A' - 2 BEDROOM	994.0 SF
	2,294.0 SF
2ND FLOOR:	
APARTMENT 'B' - 1 BEDROOM	675.0 SF
APARTMENT 'C' - 1 BEDROOM	700.0 SF
EXIT BALCONY/UTILITY	168.0 SF
	1,543.0 SF
APARTMENT PRIVATE PATIO/DECKS:	
APARTMENT A- PATIO (UN-COVERED)	294.0 SF
APARTMENT B- BALCONY (COVERED)	56.0 SF
APARTMENT C- BALCONY (COVERED)	56.0 SF
PARKING ANALYSIS:	
3 APARTMENTS - 1 SPACE REQUIRED FOR EA.	3 SPACES PROVIDED
COMMERCIAL PARKING SPACES	0 PROVIDED
VISITOR PARKING SPACES	0 PROVIDED



1 SITE PLAN
1/8" = 1'-0"

VICINITY MAP

NTS



APPLICABLE CODES

ALL WORK SHALL CONFORM TO:
2019 BUILDING STDS. ADMIN. CODE, PT. 1, TITLE 24 C.C.R.
2019 CA BUILDING CODE, PT. 2, TITLE 24 C.C.R.
2019 CA ELECTRICAL CODE, PT. 3, TITLE 24 C.C.R.
2019 CA MECHANICAL CODE, PT. 4, TITLE 24 C.C.R.
2019 CA PLUMBING CODE, PT. 5, TITLE 24 C.C.R.
2019 CA FIRE CODE, PT. 9 TITLE 24 C.C.R.
2019 CA REFERENCED STDS. CODE, PT. 12, TITLE 24 C.C.R.
2019 CA RESIDENTIAL CODE

PROJECT DIRECTORY

ARCHITECT:
ERA ARCHITECTS
LIZETTE ELENES
P.O. BOX 6165
OXNARD, CA 93031
(805) 824-4188

PROPERTY OWNER:
VICENTE MARTINEZ
1971 HAZELTINE DR.
OXNARD, CA 93036
(805) 804-0066

GENERAL NOTES

- DOWN SPOUTS AND AREA DRAINS TO BE ROUTED TO NON-EROSIVE AREAS OR APPROVED WATER COARSE.
- FINISH GRADING FOR RESIDENTIAL ADDITIONS SHALL BE ACCOMPLISHED ACCORDING TO PUBLIC WORKS STANDARDS. THERE SHALL BE NO UN-DRAINED AREAS AND ALL WATER RUNOFF SHALL DRAIN TO THE STREET AND ALLEY.
- PROVIDE 5% MINIMUM SLOPE AWAY FROM THE STRUCTURE FOR THE FIRST 10 FEET OF DISTANCE
- STORM WATER SHALL BE DISCHARGED FROM THE CONSTRUCTION SITE TO THE CITY STREET OR MUNICIPAL STORM DRAIN SYSTEM WITHOUT TREATMENT BY A SUITABLE POLLUTION CONTROL DEVICE. STORM WATER RUNOFF DISCHARGES WITHOUT TREATMENT IS A VIOLATION OF THE CITY'S STORM WATER ORDINANCE. SITE MANAGER TO CONTACT. _____
PHONE: _____

SITE PLAN KEY NOTES

- | | |
|--|--|
| 1 TRASH ENCLOSURE, PER CITY OF OXNARD STD. PLATE SEE DETAIL 5/A4.1 | 11 EXISTING POWER POLE TO REMAIN |
| 2 ASPHALT PAVING FINISH AT PARKING, SLOPE AWAY FROM THE BUILDING | 12 EXISTING WOOD/CHAIN LINK FENCE TO BE REPLACED WITH 6' HI. W.I. FENCE, PER DETAIL 3/A4.1 |
| 3 STRIPE PARKING SPACES, PER CITY OF OXNARD STD. DETAIL 1/A4.1 | 13 EXISTING CHAIN-LINK FENCE TO BE REMOVED |
| 4 EXISTING PUBLIC SIDEWALK TO REMAIN | 14 LIMITS OF 2ND FLOOR ABOVE |
| 5 NEW WATER METER(S) | 15 POST MOUNTED LIGHT, CUT OFF LUMINAIRE |
| 6 ELECTRICAL SERVICE LOCATION | 16 BICYCLE RACKS, (2) TYP. FOR TOTAL OF 4 BICYCLES LOCATED INSIDE ENTRY/LOBBY PER 1/A2.1 |
| 7 COMMON MAILBOXES, WALL MOUNTED | 17 NEW 6' HI. BLOCK FENCE (PRIVATE PATIO) |
| 8 GAS METER (S) | 18 (E) FIRE HYDRANT LOCATED ALONG ADJACENT SIDEWALK |
| 9 CONCRETE WALK-WAY, PER DETAIL 2/A4.1 | |
| 10 LANDSCAPE PLANTER, PER LANDSCAPE PLAN | |

SHEET INDEX

SHEET #	DATE	REV	SHEET NAME
ARCHITECTURAL			
A1.0	01/15/21	REV-01	COVER SHEET / SITE PLAN
A2.1			FLOOR PLANS
A3.1			EXTERIOR ELEVATIONS
A3.2			COLOR EXTERIOR ELEVATIONS
A3.3			PROJECT RENDERINGS
A3.4			COLOR BOARD
A4.1			DETAILS
LANDSCAPE			
L1.0			LANDSCAPE PLAN
SURVEY			
1			TOPOGRAPHIC MAP

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SCALE: AS SHOWN
DATE: 09-01-2020
PROJECT: 200803
DRAWN BY: LE

COVER SHEET & SITE PLAN

A1.0

SHEET X OF XX

No.	REVISIONS	DATE

MIXED USE DEVELOPMENT COMMERCIAL & RESIDENTIAL

157 PALM DRIVE
OXNARD, CA 93030

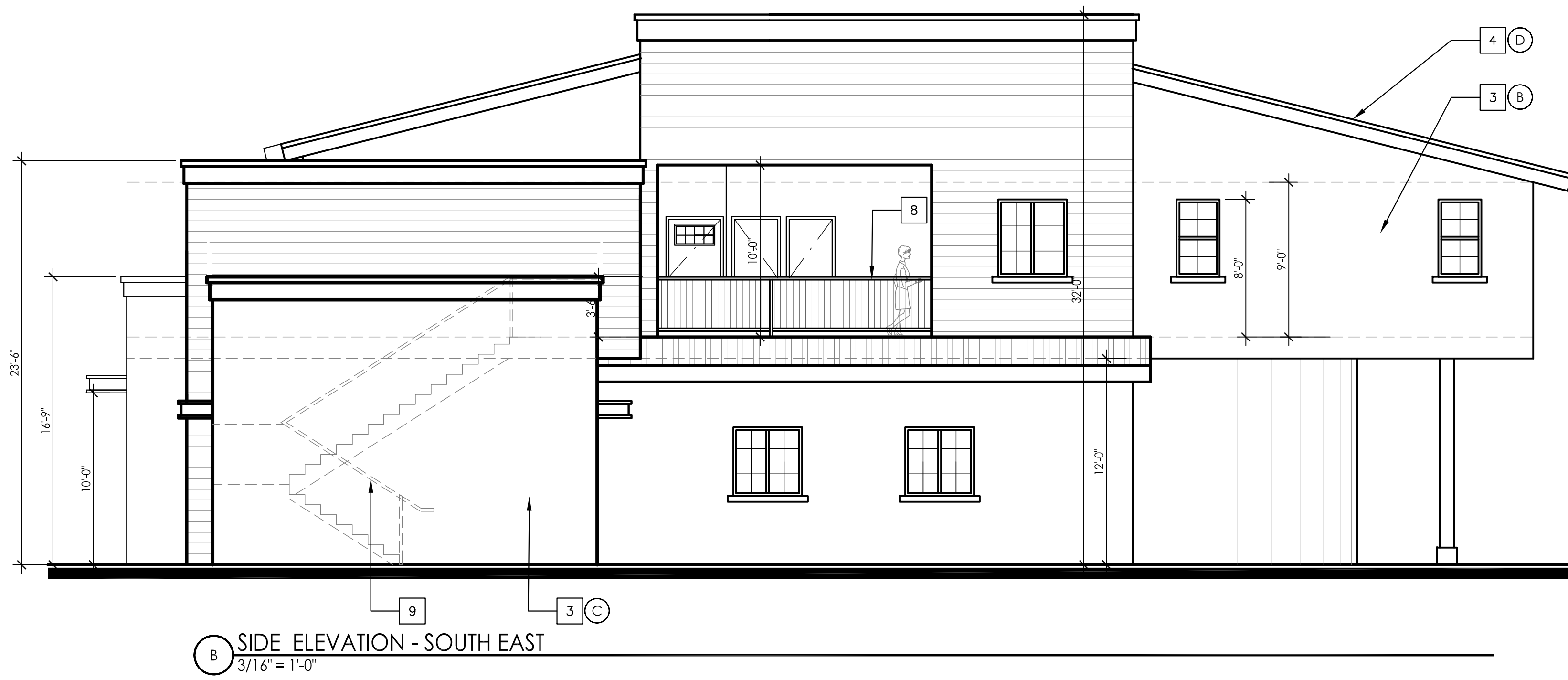
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SCALE: AS SHOWN
DATE: 09-01-2020
PROJECT: 200803
DRAWN BY: LE

EXTERIOR ELEVATIONS

A3.1

SHEET X OF XX



KEY NOTES

- | | |
|---|---|
| 1 PROPOSED SIGNAGE LOCATION, UNDER SEPARATE SUBMITTAL | 9 METAL STAIRS AND HANDRAILS, BEHIND |
| 2 WALL SIDING, INSTALL PER MANUFACTURER'S RECOMMENDATIONS | 10 METAL STRUCTURAL POSTS |
| 3 EXTERIOR PLASTER, SMOOTH FINISH | 11 EXPOSED CMU WALL (AT PROPERTY LINE - ADJACENT TO (E) BUILDING) |
| 4 METAL SEAM ROOF | 12 WOOD TRIM, PAINTED |
| 5 STOREFRONT WINDOWS | |
| 6 WINDOWS/DOOR, PER PLAN | |
| 7 METAL EYEBROW AWNING | |
| 8 WROUGHT IRON GUARDRAIL AT 3'-6" A.F.F. | |

FINISH & MATERIAL LEGEND

- | | |
|--|--|
| | (A) ACCENTS - DARK BRONZE |
| | (B) DUNN EDWARDS, DE6260 WISFUL WHITE
EXT. PLASTER WALL, SAND FINISH |
| | (C) DUNN EDWARDS, DET620 BARNWOOD GRAY
EXT. PLASTER WALL, SAND FINISH |
| | (D) STANDING METAL SEAM TEE-PANEL ROOF
DARK BRONZE |
| | (E) ENGINEERED WOOD SIDING - HORIZONTAL
8" COOPER MATT FINISH |
| | (F-1) DARK BRONZE ALUMINUM WINDOWS
WITH CLEAR GLASS- COMMERCIAL |
| | (F-2) VINYL WINDOW, MILGARD TWEED FRAME W/ CLEAR GLASS |



B SIDE ELEVATION - SOUTH EAST
NTS



A FRONT ELEVATION - NORTH WEST
NTS



D SIDE ELEVATION - NORTH EAST
NTS



C REAR ELEVATION - SOUTH WEST
NTS

ERA
ARCHITECTS

Lizette@ERAarchitects.org
805.824.4188
OXNARD CA

No.	REVISIONS	DATE

MIXED USE DEVELOPMENT
COMMERCIAL & RESIDENTIAL
157 PALM DRIVE
OXNARD, CA 93030

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SCALE: AS SHOWN
DATE: 09- 01 - 2020
PROJECT: 200803
DRAWN BY: LE

COLOR
ELEVATIONS

A3.2

SHEET X OF XX

No.	REVISIONS	DATE

MIXED USE DEVELOPMENT
COMMERCIAL & RESIDENTIAL
157 PALM DRIVE
OXNARD, CA 93030

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SCALE: AS SHOWN
DATE: 09- 01 - 2020
PROJECT: 200803
DRAWN BY: LE

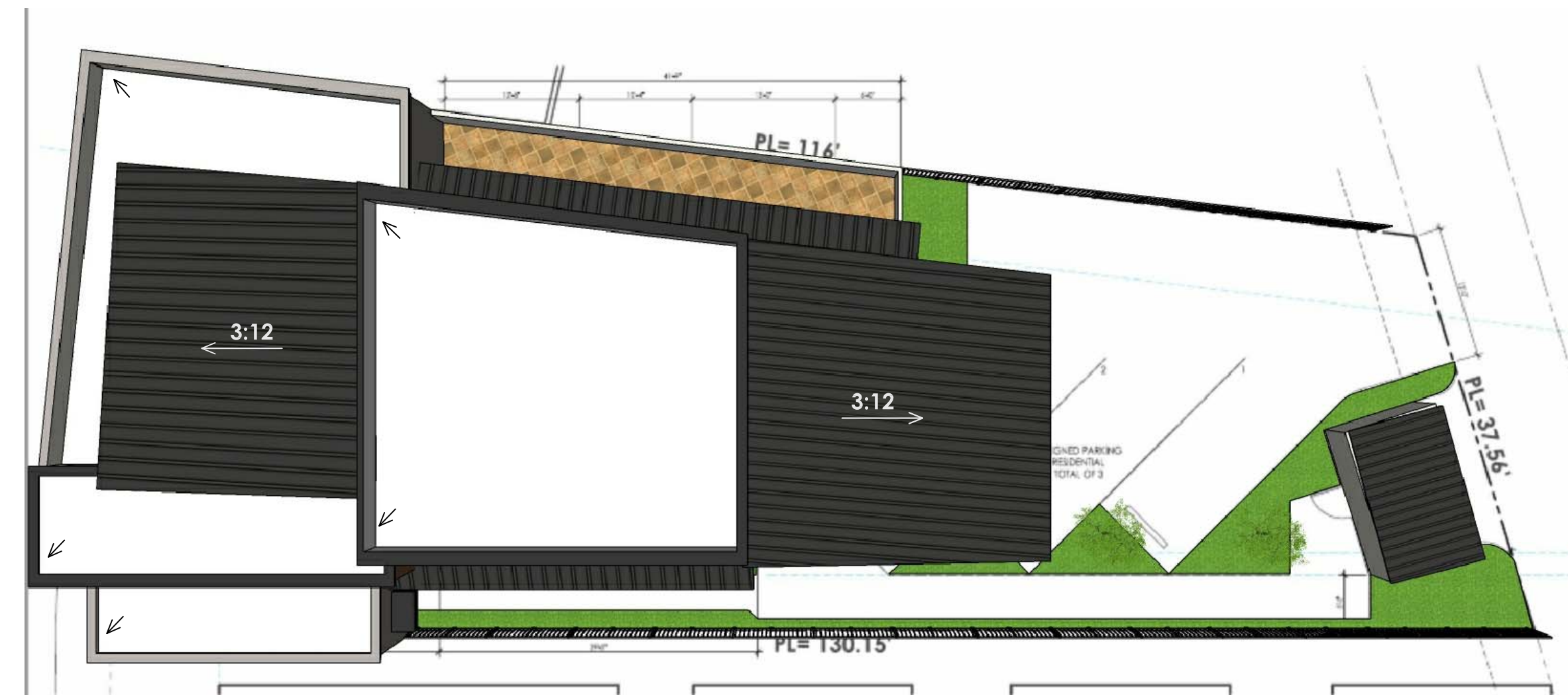
RENDERINGS

A3.3

SHEET X OF XX



A BUILDING RENDERING - WEST VIEW
NTS



ROOF PLAN
NTS



C BUILDING RENDERING - SOUTH VIEW
NTS



B BUILDING RENDERING - NORTH VIEW
NTS

NO.	REVISIONS	DATE

MIXED USE PROJECT COMMERCIAL & RESIDENTIAL 157 PALM DRIVE OXNARD, CA 93030

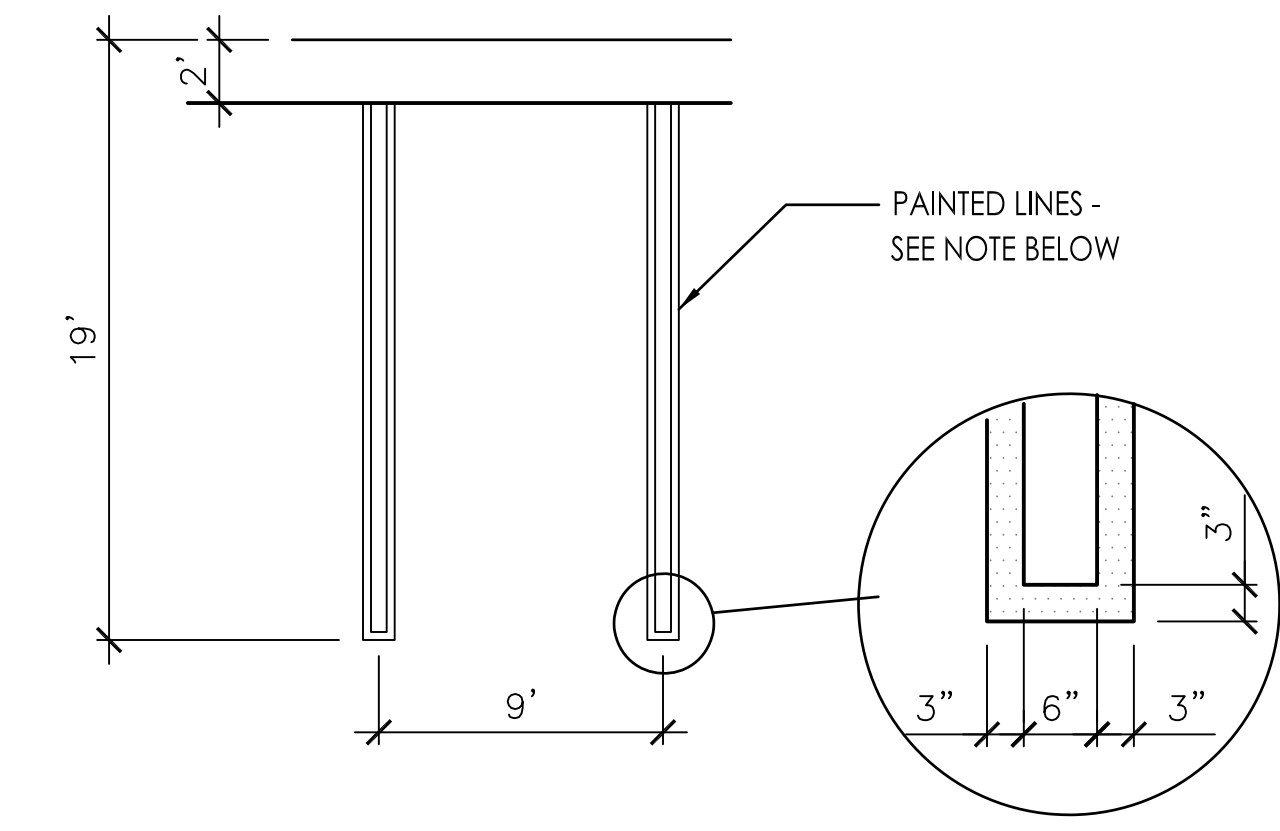
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SCALE: AS SHOWN
DATE: 09- 01 - 2020
PROJECT: 200803
DRAWN BY: LE

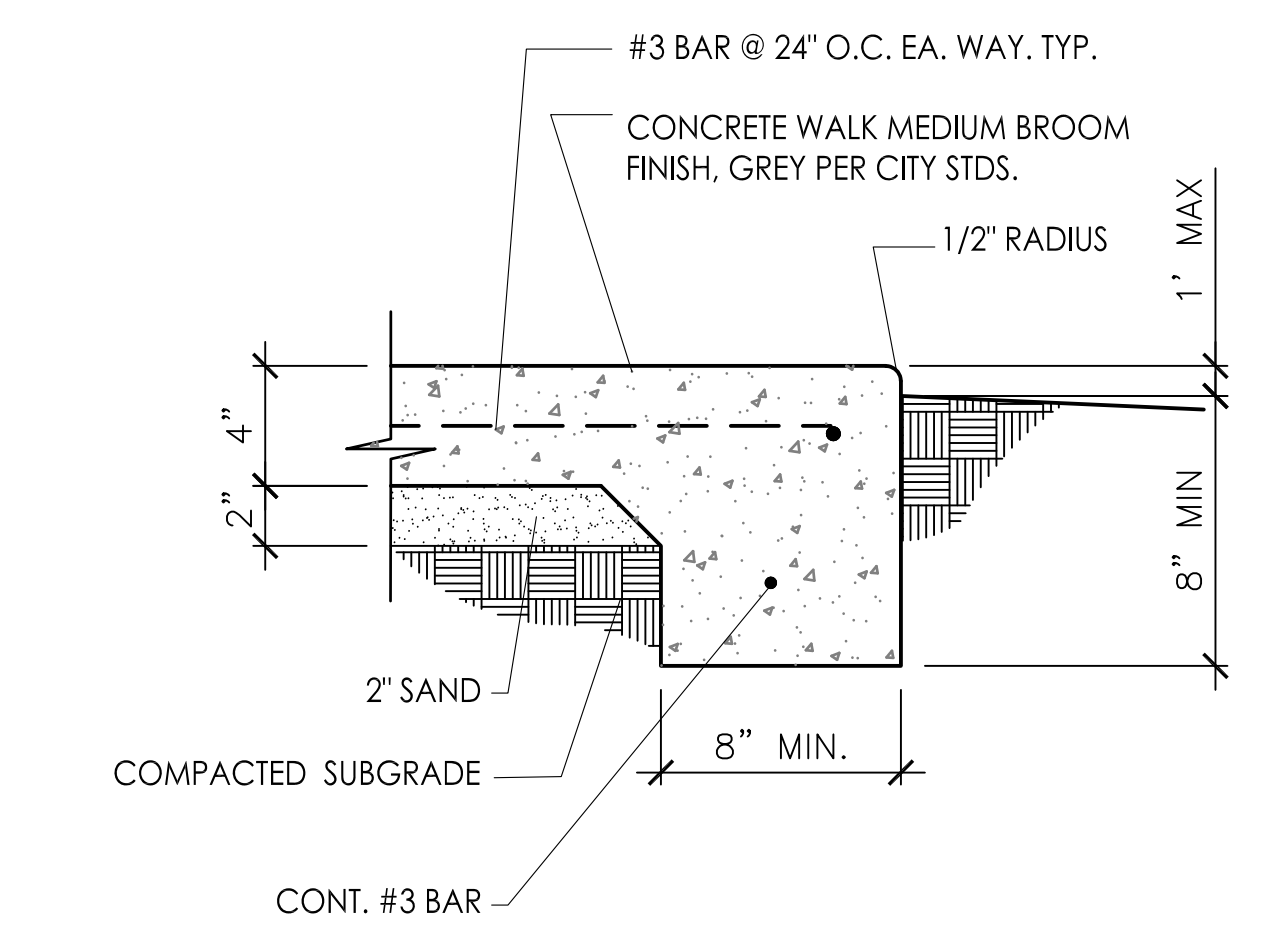
DETAILS

A4.1

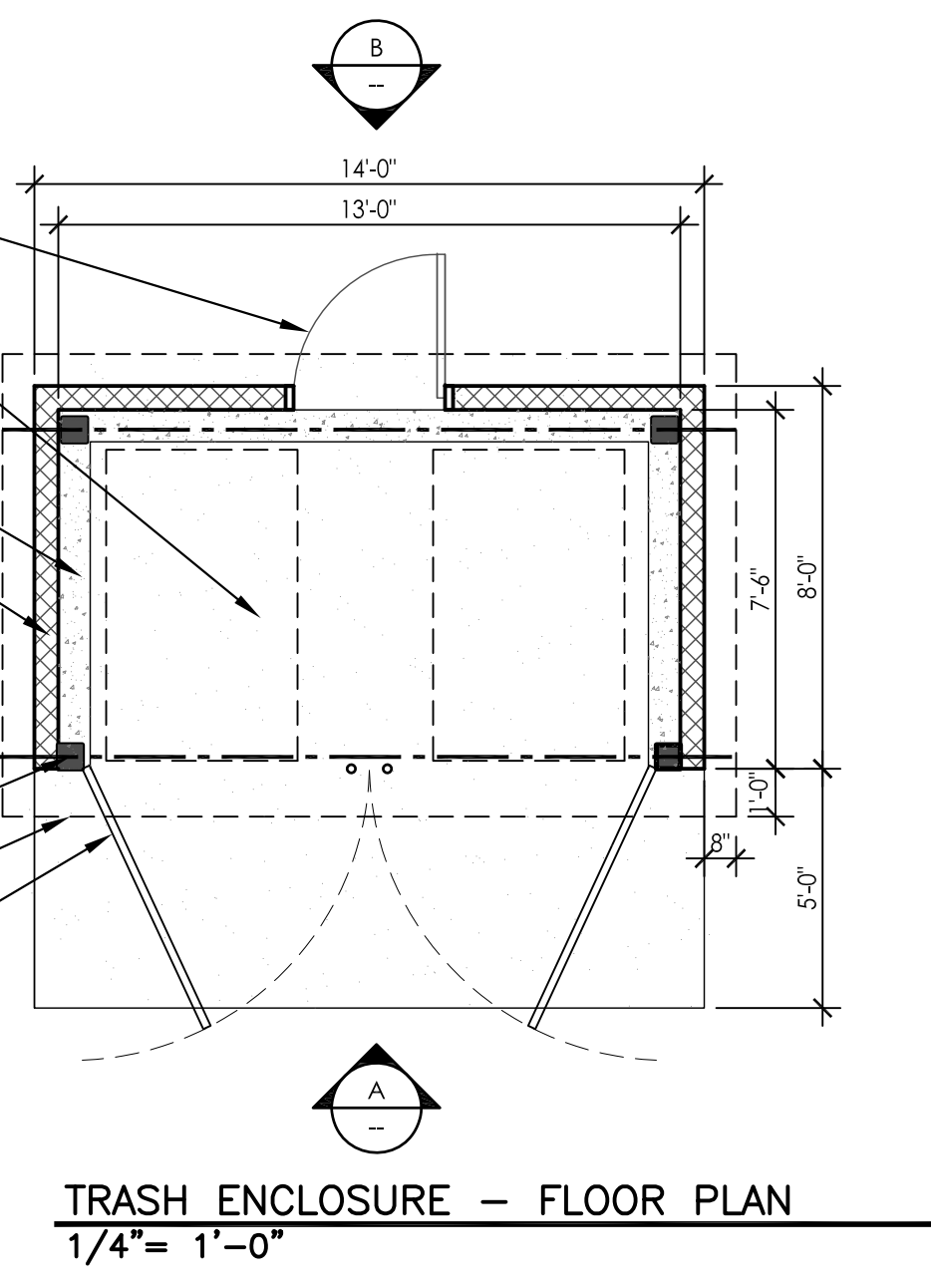
SHEET X OF XX



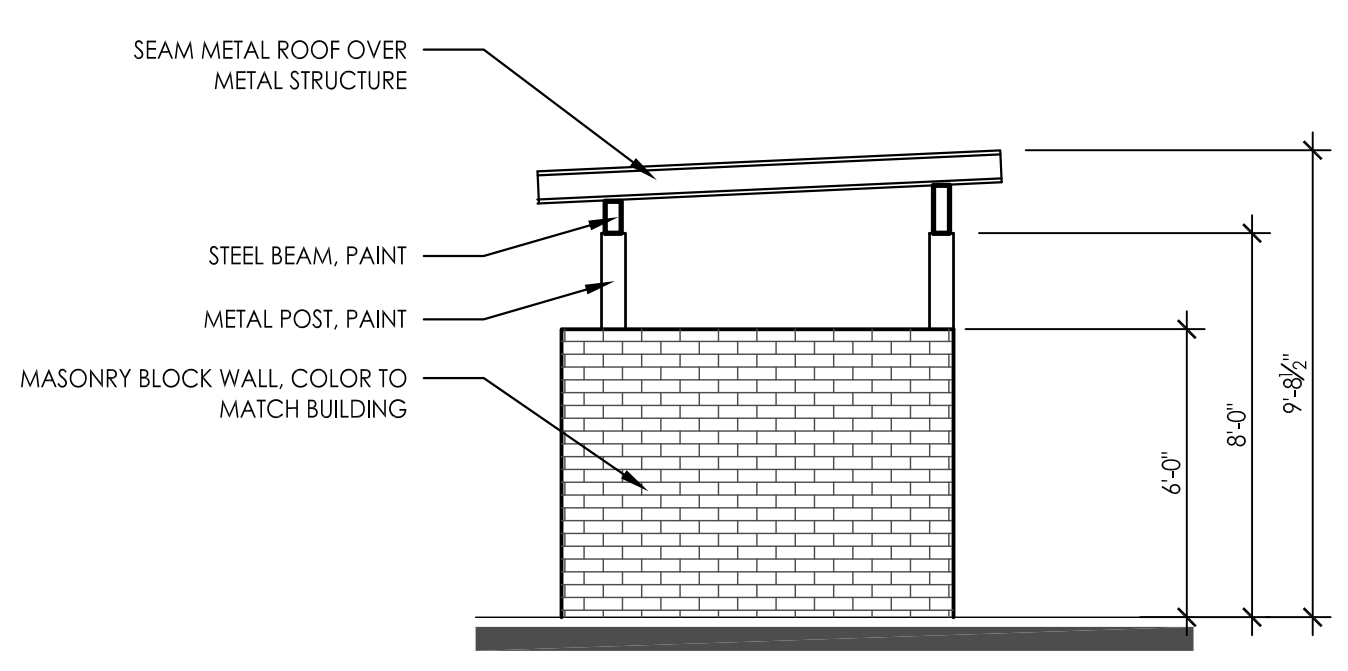
PARKING STRIPING - CITY STDS SCALE: NTS 1



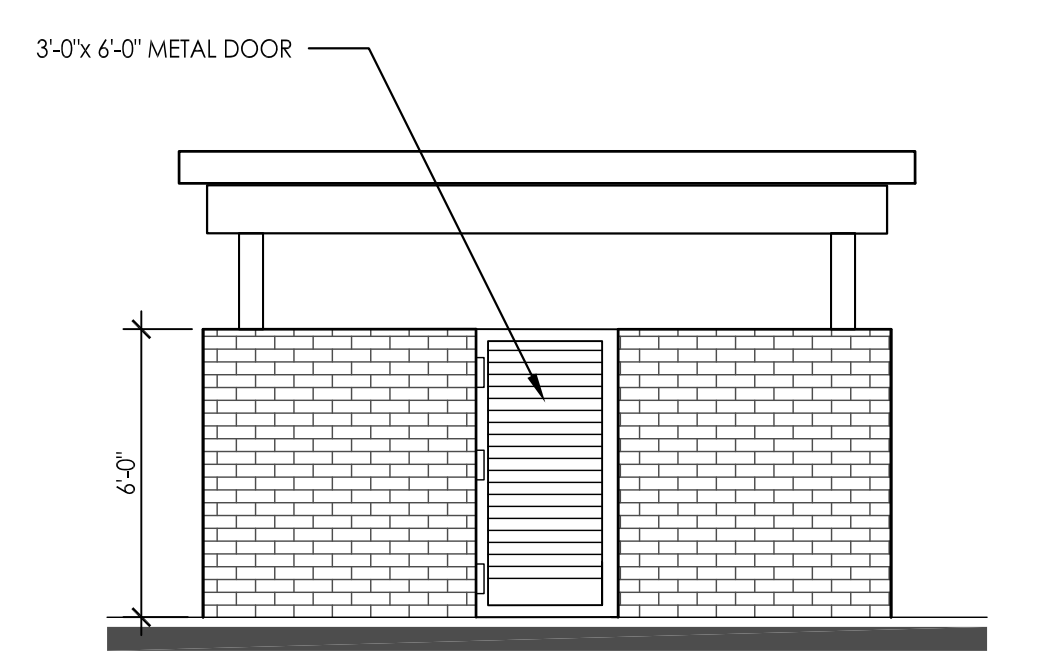
CONCRETE WALK SCALE: NTS 2



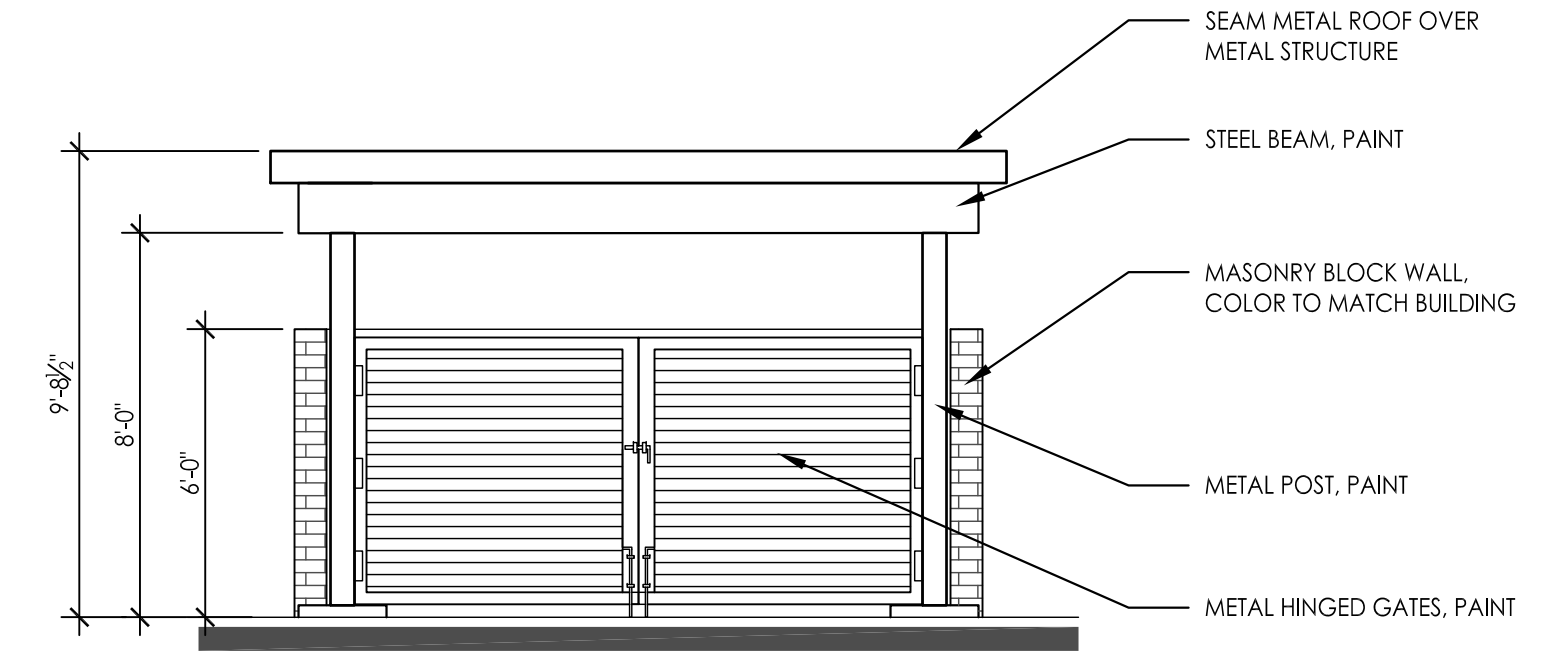
NOTE: TRASH ENCLOSURE COLORS, FINISHES AND MATERIALS TO MATCH MAIN BUILDING.
DOUBLE 4 YARD TRASH ENCLOSURE PERPENDICULAR PER CITY OF OXNARD PLATE 606



C TRASH ENCLOSURE - SIDE ELEVATION
1/4" = 1'-0"

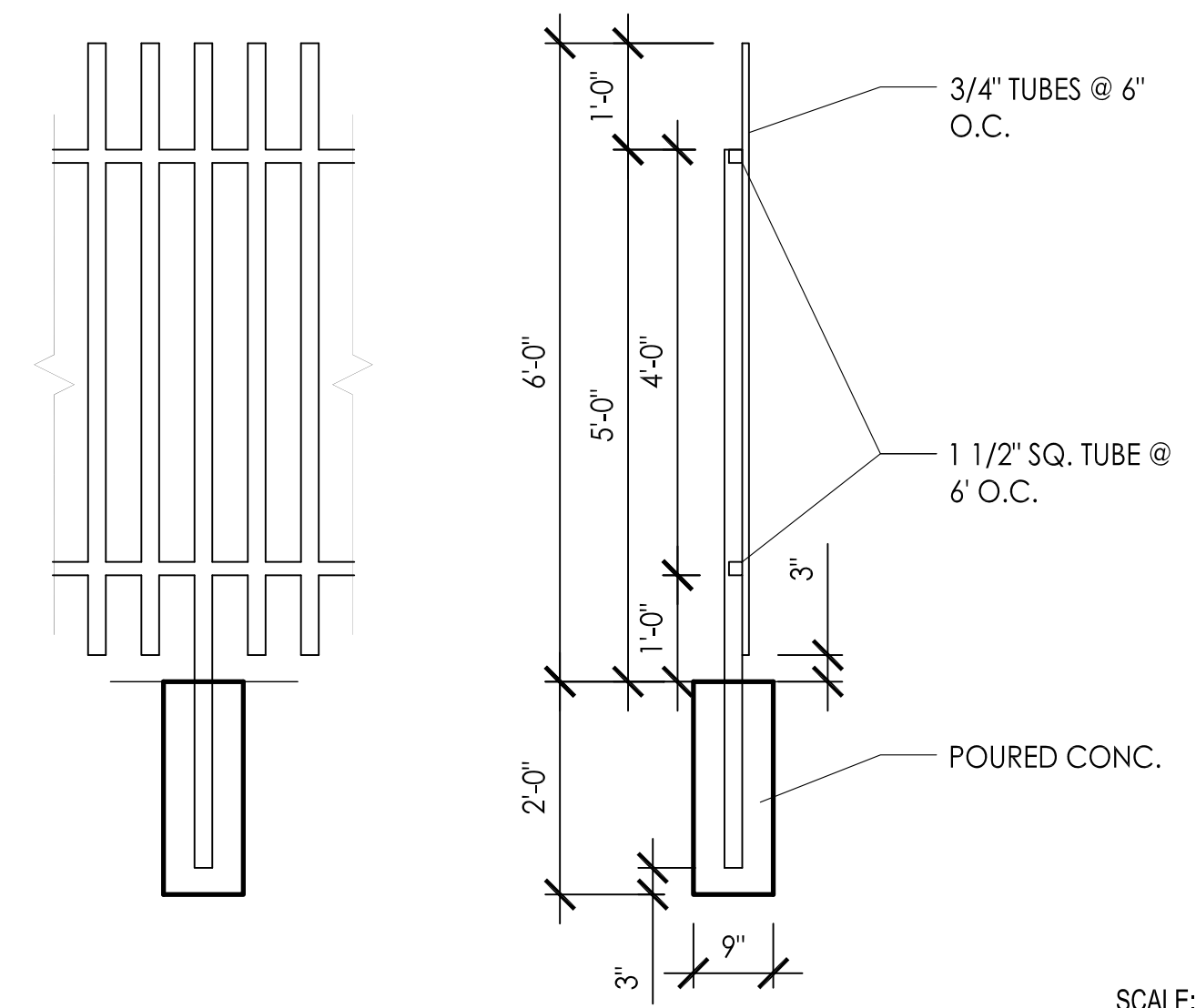


B TRASH ENCLOSURE - REAR ELEVATION
1/4" = 1'-0"



A TRASH ENCLOSURE - FRONT ELEVATION
1/4" = 1'-0"

TRASH ENCLOSURE - PLAN AND ELEVATIONS 5



FENCE DETAIL SCALE: NTS 6



WROUGHT IRON FENCE-ELEVATION SCALE: NTS 3

LEGAL DESCRIPTION:

Lot 6 of Block 3, Hobson Brothers Packing Company Subdivision, in the City of Oxnard, County of Ventura, State of California, as per map recorded in Book 16, Page 23 of Maps, in the Office of the County Recorder of said Ventura County.

Assessor's Parcel No.: 200-0-052-130

NOTES:

1. Except as specifically stated or shown on this plat, this topographic survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, building setback lines, restrictive covenants, zoning or other land use regulations, and any other facts that an accurate and current title search may disclose. This survey was prepared without the benefit of a preliminary title report unless specified. No abstract of title, nor title commitment, or results of a title search were furnished to the Surveyor. All documents of record reviewed are noted hereon. There may exist other documents of record that may affect this surveyed parcel of land. The Professional Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
2. The boundary shown hereon is based upon the recorded deed and record maps. This survey does not constitute a boundary establishment survey and is for general reference of site conditions and limits. Due to the lack of existing monumentation per the record map, alternate solutions may exist for the boundary shown hereon. The boundary survey shown hereon is a preliminary survey for examination purposes only, as noted in the California Land Surveyor's Act, Section 8761(c). Upon the request of the client or any governmental agency, additional boundary and monument recovery may be necessary in order to file a Corner Record or Record of Survey with the local agency.
3. No attempt has been made as a part of this topographic survey to obtain or show data concerning existence, size, depth, condition, capacity or location of any utility or municipal/public service facility, except as may be shown hereon. For information regarding these utilities or facilities, contact the appropriate agency. Also, landscaping and landscape irrigation devices were not surveyed and are not shown.
4. The aerial image is shown for reference purposes only.
5. Copies of this plan without an original signature and without a wet seal are not valid. If this map is provided in an electronic format (cad/pdf), only the Surveyor's signed and sealed constitutes a professional work product. In the event that the electronic file is altered, the Surveyor's signed and sealed print or pdf file must be referred to for the original and correct survey information. Henry Land Surveying shall not be responsible for any modification made to the provided cad file, or for any products that have been derived from the cad file, which are not reviewed, signed and sealed by us.



HENRY LAND SURVEYING
 JEREMY HENRY - LAND SURVEYOR
 P.O. Box 1133, OJAI, CA. 93024
 jeremyhenry1118@gmail.com
 (805) 216-6124



BASIS OF BEARINGS: 16 NR 23
 VERTICAL DATUM: ASSUMED ELEVATION BASIS
 BENCHMARK: BUILDING FINISHED FLOOR
 ELEVATION = 100.00 FEET

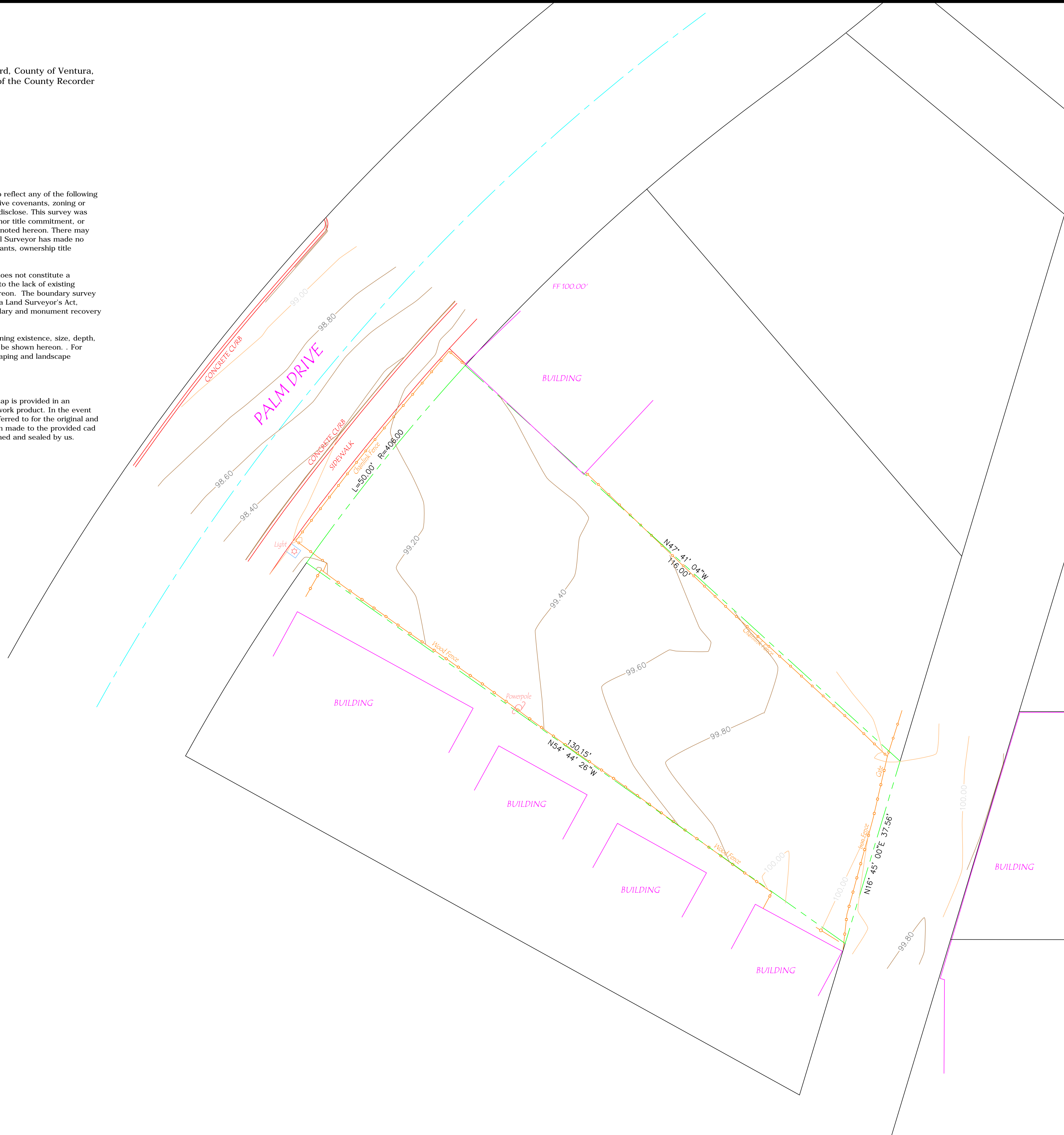
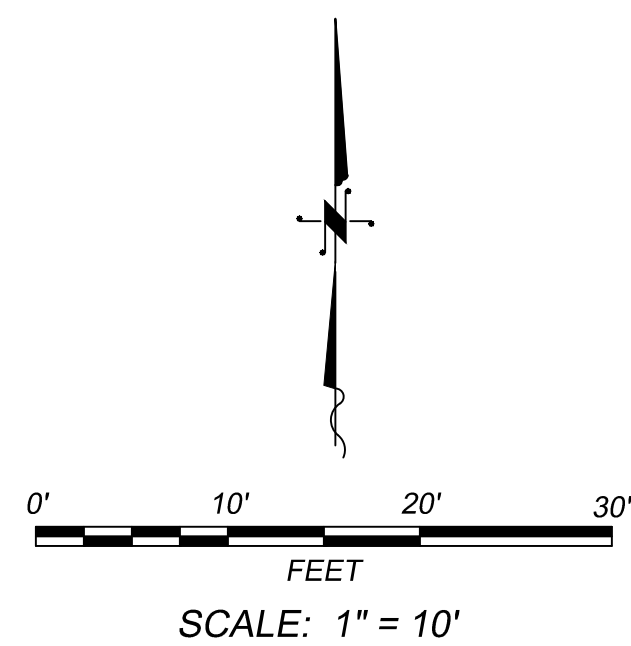
DATE OF SURVEY: AUGUST 28, 2020
 CONTOUR INTERVAL = 1 FOOT
 DRAWN BY: JEREMY HENRY, LS 8135

APN 200-0-052-130
 157 PALM DRIVE
 OXNARD, CALIFORNIA
 TOPOGRAPHIC MAP

SHEET 1
 OF 1
 JOB NO.
 20-106

LEGEND:

Electrical Box
Fire Hydrant
Gas Valve
Guy Wire
Hosebib
Light Standard
Power Pole
Sewer Manhole
Storm Drain Manhole
Water Meter
Water Valve
Chainlink Fence
Electrical Line
Gas Line
Overhead Line
Sewer Line
Storm Drain Line
Telephone Line
Water Line
Wood Fence



Oxnard Downtown Code – Downtown General Zone			
PZ# 21-200-04: 140 Palm Drive – Palm Drive Mixed Use Development			
DT-G Zone	Required/Allowed		
Overlay Zone	Choose All Applicable: NA	--	

Site Design, Building Size and Massing			
Code Section/Figure /Table		Required/Allowed	Proposed Project
Figure 16-147.4.A	Lot Size (With Alley Access)		
	Width (interior lot, other)	25 feet minimum/200 feet maximum	50 FEET, FRONT 37.56 FEET, REAR
	Width (Corner)	add 10% to minimum	
	Width (interior lot, SF attached)	75 feet minimum/160 feet maximum	
	Width (interior lot, SF detached)	150 feet maximum	
	Depth	100 feet minimum/140 feet maximum	130.15 FEET, SOUTH 116 FEET, NORTH
Figure 16-147.4.A	Lot Size (Without Alley Access)		
	Width (interior lot)	50 feet minimum/150 feet maximum	NA
	Width (corner lot)	add 10% to minimum	NA
	Depth	90 feet minimum/140 feet maximum	NA
Figure 16-147.4.B	Building Setbacks (Residential)		
	Ground Floor Primary Street (Build-to Line)	10 feet to 15 feet	8 feet
	Ground Floor Side Street (Build-to Line)	10 feet to 15 feet	NA
	Ground Floor Side Yard	7 feet minimum	7 feet

	Ground Floor Rear with Alley	5 feet minimum	5 feet
	Ground Floor Rear without Alley	15 feet minimum	NA
	Upper Story Side Yard Setback	10 feet minimum	10 feet
	Distance Between Facing Garages on Alley	25 feet minimum	NA
	Amount of Facade at Build-to-Line	70 percent minimum	--
	Roof Deck Setback From Facades	0 feet minimum	NA
Figure 16-147.4.B	<u>Building Setbacks (Non-Residential)</u>		
	Ground Floor Primary Street (Build-to Line)	0 feet or 10 feet	0 feet
	Ground Floor Side Street (Build-to Line)	0 feet to 10 feet	NA
	Ground Floor Side Yard	0 feet	0 feet
	Ground Floor Rear with Alley	5 feet minimum	5 feet
	Ground Floor Rear without Alley	15 feet minimum	NA
	Upper Story Side Yard Setback	0 feet minimum	NA
	Distance Between Facing Garages on Alley	25 feet minimum	NA
	Amount of Facade at Build-to-Line Frontage	70 percent minimum	70%
	Roof Deck Setback From Facades	0 feet minimum	NA
Figure 16-147.4.E	<u>Above Ground Parking Placement Setbacks</u>		
	Primary Street	<i>30 feet minimum</i>	59'-5"

	Side Street, within 75 feet of Front Property Line	<i>30 feet minimum 18ft Director's (July 20, 2020 Interpretation)</i>	NA
	Side Street, 75 feet back from Front Property Line	<i>0 feet minimum</i>	NA
	Side Yard	<i>0 feet minimum</i>	5'
	Rear (With or Without Alley)	<i>5 feet minimum</i>	13'-6"
Figure 16-147.4.E	<u>Fully-subterranean Parking Placement Setbacks</u>		
	Primary Street	<i>18 feet minimum</i>	NA
	Side Street, within 75 feet of Front Property Line	<i>18 feet minimum</i>	NA
	Side Street, 75 feet back from Front Property Line	<i>0 feet minimum (July 20, 2020 Interpretation)</i>	NA
	Side Yard	<i>0 feet minimum</i>	NA
	Rear (With or Without Alley)	<i>0 feet minimum</i>	NA
Figure 16-147.4.C	<u>Building Height</u>		
	Highest Top Plate	<i>81 feet maximum/102 feet maximum¹</i>	23'-9"
	Top of Parapet of Flat Roof	<i>85 feet maximum/106 feet maximum¹</i>	32'-0"
	Top of Pitched Roof Above Highest Top Plate	<i>85 feet maximum/106 feet maximum¹</i>	29'-6"
	Ground Floor Above Grade At Building Setback Line (Residential)	<i>1.5 to 4 feet maximum</i>	0 feet
	Ground Floor Above Grade At Building Setback	<i>0 feet maximum</i>	0 feet

¹ Maximum available when one or more of the qualifying community benefits described in 16-145.2.L are included in the project.

	Line (Non-Residential)		
	Ground Story Height	<i>12 feet minimum</i>	12'
	Ground Story Depth	<i>30 feet minimum 18 ft (July 20, 2020 Interpretation)</i>	72'-3"
Figure 16-147.4.D	Massing Requirements		
	Overall Building Dimensions For House-Form Buildings	<i>100 feet</i>	--
	Primary Mass Width or Depth (House Form Massing)	<i>80 feet by 80 feet</i>	--
	Secondary Mass Width or Depth (House Form Massing)	<i>20 feet</i>	--
	Allowable Architectural Styles	<i>new traditional spanish revival victorian craftsman contemporary/modern art deco</i>	CONTEMPORARY/ MODERN
Section 16-147.4.C.2	Visitor/Pedestrian Access		
Section 16-147.4.C.2.a	Building Access	Sidewalk access required via Table 16-150	YES
Section 16-147.4.C.2.a	Distance Between Entries on Each Building	<i>50 feet maximum between entries</i>	NA
Section 16-147.4.C.2.b	Upper Floor Access	sidewalk access required via shared courtyard, paseos, or a lobby	VIA LOBBY
Section 16-147.4.C.2.c	Side Street Facades	<i>architectural treatment and materials must be designed to same level of primary frontage</i>	YES
Figure 16-147.4.E	Required Parking Minimum		

	Commercial	1 space/1,000 sf (minimum of 50% of the required parking must be in-lieu fee)	0 – IN LIEU FEE
	Residential (When Private Garages are Provided)	<ol style="list-style-type: none"> 1 space/unit for studios and 1-bedrooms 2 spaces/unit for 2-bedrooms or more 	NA
	Residential-Multi-Family(Shared Parking/Open Structure)	0.5 spaces/unit minimum and 1.65 spaces/unit maximum (if less than 1 space/unit in-lieu fee payment is required)	3 TOTAL 1 SPACE PER UNIT
	Loading Space	1 space, if no loading spaces or alley within 350 feet of the subject property	0
	Motorcycle Parking	As required in 16-342 & 16-638(B)	0
Figure 16-147.4.E	Vehicular Access	side or rear of lot via alley, lane, or drive	REAR OF LOT VIA ALLEY
	Residential Side Street Driveway (Not within 50 feet of front facade and when alley not present)	12 feet minimum	NA
	Residential Front Drive (Only within 25 feet of interior lot line)	12 feet minimum	NA
	Commercial Side Street Driveway (Not within 50 feet of front facade and when alley not present)	18 feet minimum(1-way) 25 feet minimum (2-way)	NA
	Commercial Front Drive (Only within 25 feet of interior lot line)	18 feet minimum(1-way) 25 feet minimum (2-way)	NA
	Alley Access	for lots less than 50 feet wide vehicular access must be provided via a rear service lane	REAR ALLEY
Table 16-152	Private Open Space	<ol style="list-style-type: none"> 5 percent of total lot area for lots ≤8,000sf 	5,250 SF x5%= 262.5 SF

		2. 10 percent of total lot area for lots >8,000sf (not including setback areas)	
Table 16-152.C	Rear Yard	15 feet x 15 feet minimum	NA
	Rear Yard Architectural Encroachments	30 percent of width and/or length maximum	
Table 16-152.D	Court	15 feet x 25 feet minimum	NA
	Court Architectural Encroachments	30 percent of width and/or length maximum	
Table 16-152.E	Side Yard	12 feet x 20 feet minimum	APARTMENT A: 294 SF PROVIDED
	Side Yard Architectural Encroachments	30 percent of width and/or length maximum	--
Table 16-152.F	Roof Deck	15 feet x 15 feet minimum	NA
Table 16-152.G	Passage	10 feet wide minimum	NA
	Passage Architectural Encroachments	4 feet maximum	--
Table 16-152.H	Balcony	6 feet x 8 feet minimum	APARTMENT B & C: 56 SF PROVIDED FOR EA
Section 16-153	Public Open Space Type	Plaza Pocket Park Paseos Woonerf (July 20, 2020 Interpretation)	NA
Table 16-153	Required Public Space	1. 7 percent of total lot area for lots 20,000sf to 2 acres. 2. 10 percent of total lot area for lots > 2 acres (not applicable to lots less than 20,000 sf)	NA
Table 16-153.B	Plaza	25 feet x 50 feet minimum	NA
Table 16-153.C	Pocket Park	25 feet x 50 feet minimum	NA
Table 16-153.C.2.e	Pocket Park hedges and walls	36 inch maximum height	NA

Table 16-153.C.2.f	Pocket Park Frontages	mid-block: at least one public frontage corner: at least two public frontages	NA
Table 16-153.D	Paseo	10-25 feet wide minimum	NA
Table 16-152.I.1	Limitation of Turf in Residential Development	30 percent maximum	No turf provided
Table 16-152.I.6	Site Lighting (Parking Areas, Buildings, Pedestrian Routes, and Public Ways)	1 foot candle minimum and 7 foot candle maximum.	Yes, wall mounted lights on façade Post mtd. In parking
Table 16-152.I.6	Lighting Height (From Bottom of Lamp)	20 feet maximum above sidewalk or other path	10' AFF WALL MTD
Table 16-149.A	Surface Parking Lots		
Table 16-149.A.3.a	Screening	screening may include landscape screening, screening structures/facades, or public art/murals (walls or landscaping, excluding trees, are limited to 36 to 48 inches tall)	6' HIGH W.I. FENCE
Table 16-149.A.3.b	Landscape Shading (Including arbors, trellises, pergolas, mesh, and overhead canopies) Solar Shade Structures (Allowed only were not visible from sidewalk or on existing structures)	10 percent coverage (gross)	PORTION SHADED BY OVERHEAD 2 ND STORY ABOVE AND OPEN AREA SHADED WITH TREES BETWEEN STALLS
Table 16-149.A.3.c	Lighting Height	15 feet maximum	15' HI. POST
Table 16-149.A.3.c	Lighting Type	lighting must be shielded and recessed	YES
Table 16-149.A.3.c	Illumination Levels	1 foot candle minimum and 7 foot candle maximum.	YES
Table 16-149.A.3.d	Landscape Coverage	10 percent gross landscape coverage	10% Landscape 2 Shade Trees

		and 1 shade tree for every 8 parking spaces or 30 percent mature canopy converge, whichever greater	
Table 16-149.B.2	Podium and Subterranean Parking Structures		NA
Table 16-149.B.2.b; 16-149.B.3.b	Non-lined portion of garages	5 foot setback 0ft (July 20, 2020 Interpretation)	NA
Table 16-149.B.2.b	Primary Street and Side Street (within 75 feet of front property line) Frontages	30 feet minimum depth of occupiable and usable space 18ft (July 20, 2020 Interpretation)	NA
Table 16-150	Architectural Encroachment Into Setbacks	<i>porch: up to 5 feet of sidewalk stoop: up to 1 foot of sidewalk terrace: within 1 foot of sidewalk dooryard: up to 1 foot of sidewalk shopfront: awning and canopy up to 2 feet of curb gallery: up to 3 feet of curb arcade: up to 3 feet of curb</i>	Shopfront: Awning 7' to curb

**Allowed Private Frontages and Encroachment Standards
 Table 16-150**

Standard	Downtown Zones				Min ft Between PL and Façade ³	Encroachment into setbacks	See Guidelines	
	Type	DT E	DT E-O	DT G				DT C
Residential Ground Floor Commercial Ground Floor	Porch	P	P	P	---	12 to 20	Up to 5' of sidewalk	16-150.C
	Stoop	P	P	P	P ¹	4 to 6	Up to 1' of sidewalk	16-150.D
	Terrace	---	---	P	P	7 to 12	Within 1' of sidewalk	16-150.E
	Dooryard	P	P	P	P ¹	7 to 12	Up to 1' of sidewalk	16-150.F
	Common Entry	---	---	P	P	10 to 15	Not applicable	16-150.G
	Shopfront	---	P	P ²	P	0 or 10	Awning / canopy up to 2' of curb	16-150.H
	Gallery	---	---	P ²	P	0	Up to 3' of curb	16-150.I
	Arcade	---	---	---	P	0	Up to 3' of curb	16-150.J

Notes

P Allowed in Zone
 --- Not allowed in zone

¹ Not allowed in shopfront overlay.
² Only where shopfront overlay applies.
³ At a massing break, the edge of the required 15' x 15' area is considered the property line for the purposes of applying frontage type(s) standards.

Private and Public Frontages			
		Required/Allowed	Proposed Project
Section 16-150	Private Frontages		
Table 16-150	Allowed Private Frontages	Porch Stoop Terrace Dooryard Common Entry Shopfront (November 23, 2020 Interpretation) Gallery (November 23, 2020 Interpretation) Arcade	Shopfront for commercial Common Entry for Residential
Table 16-150.C	Porch	25 feet minimum/200 feet maximum	NA
	Distance between Property Line and Façade	12 feet to 20 feet	
	Porch Depth (Between Wall and Inside Column Face)	7 feet minimum	
	Porch Width (Between Corner	10 feet minimum	

	Column and Building Face)		
	Porch Height (Measured From Porch Surface to Top of Porch Columns)	8 feet minimum and 12 feet maximum	
	Floor Height for Residential Ground Floor (Measured From Adjacent Finish Grade)	18 inch minimum and 3 feet maximum	
	Separation Between Porch and Fence or Sidewalk	5 feet minimum	
Table 16-150.D	Stoop		NA
	Stoop Width	4 feet minimum and 8 feet maximum	
	Stoop Depth (Not Including Stairs)	4 feet minimum and 8 feet maximum	
	Stoop Floor Height (Measure From Adjacent Finished Grade)	18 inch minimum and 3 feet maximum	
	Planter/Fence Height	5 feet maximum	
	Setback From Back of Sidewalk	18 inch minimum	
Table 16-150.E	Terrace		NA
	Depth, Clear	8 feet minimum	
	Finish Level above Sidewalk	18 inch minimum (residential only) and 3 feet maximum	
	Length of Terrace	150 feet maximum	
	Distance Between Stairs	50 feet maximum	
Table 16-150.F	Dooryard		NA
	Size of Dooryard	per building setback	
	Wall Height Above Adjacent Sidewalk	4 feet maximum	
	Wall Height Above Dooryard Floor	3 feet maximum	

	Dooryard Floor Height Above Adjacent Sidewalk	18 inch maximum	
	Dooryard Floor Height Below Adjacent Sidewalk	3 feet maximum	
Table 16-150.G	Common Entry		YES
	Height To Bottom of Awning/Canopy (Clear)	10 feet minimum and 25 feet maximum	10'
	Awning/Canopy Depth	4 feet minimum and within 2 feet of curb maximum	3 feet
	Entry Distance to Back of Sidewalk	8 feet minimum and 20 feet maximum	8 feet
	Area of Outdoor Space (Does Not Include Public R.O.W)	150 square feet minimum	86 sf
	Glass Area of Ground Floor Lobby Wall Area	70 percent minimum	--
Table 16-150.H	Shopfront		
	Height to (clear)/top of shopfront	12 feet minimum and 18 feet maximum	11 feet
	Height to bottom of awning/canopy (clear)	8 feet minimum and 10 feet maximum	10 feet
	Width of shopfront base	10 feet minimum and 20 feet maximum	34 feet
	Height of shopfront base	6 inch minimum and 3 feet maximum	16'-9"
	Glass area of ground floor wall area (each facade)	70 percent minimum	45%
	Width of Shopfront on second frontage (corner building)	20 feet minimum	NA
	Awning Depth	5 feet minimum up to within 2 feet of curb	3 feet
	Awning Location	located over shopfront opening only	Ok

	Awning Design	quarter sphere or quarter cylinder configurations not allowed	Square
	Distance between openings in wall	10 linear feet maximum(primary street frontage) 25 linear feet maximum (side street frontage)	Ok
	Traditional Shopfront	header: 24 inches minimum and 36 inches maximum shopfront windows: recessed a minimum of 2 inches base panels/shopfront base: 36 inch in height maximum	YES
	Shopfront Tint	10 percent maximum	Ok
Table 16-150.H	Gallery		NA
	Height (sidewalk to ceiling)	12 feet minimum and 16 feet maximum	
	Depth (facade to interior column face)	10 feet minimum and 16 feet maximum	
	Length along frontage (% of building facade width)	25 feet minimum and 100 feet maximum	
	Setback from Back of Sidewalk	0 feet minimum and 5 feet maximum	
	Right-of-way	no encroachment	
	Distance between openings in wall	10 linear feet maximum	
Table 16-150.H	Arcade		NA
	Height (sidewalk to ceiling)	12 feet minimum and 16 feet maximum	
	Depth (facade to interior column face)	10 feet minimum and 16 feet maximum	
	Length along frontage (% of building facade width)	25 feet minimum and 100 feet maximum	

	Setback from Back of Sidewalk	0 feet minimum and 5 feet maximum	
	Right-of-way	no encroachment	
	Distance between openings in wall	10 linear feet maximum	
Section 16-151	Public Frontage		
Section 16.151.1.A	Sidewalk Width	5 feet minimum	10'
Table 16-151.C	Commercial Parking lane trees, where provided	located every 2 to 6 spaces	NA
Table 16-151.C	Commercial Parklets Buffers	24 inch buffer from travel lane (recommended) 36 inch buffer from adjacent parking spaces (recommended) 15 feet from bus stop or shelter	NA
Table 16-151.D	Residential Parkways	breaks every 50 feet (recommended)	NA
Table 16-151.D	Residential Parking lane trees, where provided	should be located every 2 to 4 spaces	NA

Architectural Guidelines			
Table 16-156.A.i	Bay windows	8 foot maximum width height equal or greater than width 3 feet minimum from corner 50 percent transparency or greater.	NA

Table 16-156.A.j	Door Glazing	glazing must provide at least 90 percent visible light transmission	YES
Table 16-156.B.a	Orientation to Public Space	buildings must face open spaces and may not back on to open spaces.	OK
Table 16-156.B.d	Residential Entry	access from the sidewalk is required if the unit is within 5 feet of grade.	YES
Table 16-156.C.a	Building Wall Materials	walls must be finished in stone, brick, finished concrete block, poured in place or pre-cast concrete, smooth plaster or stucco, and wood. synthetic materials may be approved through design review	YES, Smooth Plaster & wood
Table 16-156.D.2.d	Upward Acting Doors (Contemporary Building Only)	maximum width: 16 feet maximum height: 10 feet minimum separation: 2 feet materials: clear, see-through glazing	NA
Table 16-156.E.1.a	Window Materials	wood, vinyl-clad wood, aluminum-clad wood or metal. pvc and vinyl windows require design review approval.	Aluminum for commercial, Vinyl residential Bronze
Table 16-156.E.2.b	Non Shopfront ground floor window	window sills should be 4-8 feet from public sidewalks and open spaces	YES
Table 16-156.E.2.g	Window Recesses	minimum 2 inch recess from facade (Advisory)	YES
Table 16-156.F.1.e	Balconies	minimum of 5 feet in depth (Advisory)	4'-6" & 5'-0"
Table 16-156.F.2.e	Planter Boxes	should be between 18 to 42 inches tall (cannot block windows)	NA
Table 16-156.F.3.a	Masonry and Stucco Arches	depth: 12 inches minimum piers/columns: 12 by 12 inches minimum	NA
Table 16-156.F.3.b	Wood Posts	6-by-6 inches minimum and articulated	YES

Table 16-156.G	Building Colors	coordinated and subdued colors typical of natural building materials, such as earth tone colors (recommended) exterior facade colors should be limited to two or three (recommended)	YES, EARTH TONES 3 COLORS
Table 16-156.H.1.d	Gutters and Downspouts	should be made of: galvanized steel copper pre-finished aluminum	GALVANIZED STEEL
Table 16-156.H.2.a	Traditional Building Shed Roof Slope	minimum slope of two in twelve (2:12)	3:12 SLOPE
Table 16-156.H.2.e	Service Equipment	roof top equipment must be screened from public view	SCREENED BEHIND PARAPETS
Table 16-156.H.2.f	Skylights	must be flat and not visible from the public areas	NO SKYLIGHTS
Table 16-156.H.2.g	Gutters	half-round or ogee (rectangular allowed on contemporary buildings only)	RECTANGULAR
Table 16-156.H.3.b	Exposed Rafter Tails	minimum nominal dimension of 3 inches by 4 inches.	NA
Table 16-156.H.3.c	Supporting Brackets	minimum dimension of 5 inches	NA
Table 16-156.I.1	Vents	must be screened from public and semi-public areas	YES
Table 16-156.I.3 and 4	Service Entrances and Waste Disposal Areas, etc	lots with alley access: must be adjacent to and accessed from alley lots without alley access: must be screened and far from public view	TRASH ENCLOSURE ON REAR ALLEY
Table 16-156.I.5	Fire Sprinklers	should be building mounted rather than freestanding	YES
Table 16-156.J.2.a	Garden Walls	6 inches wide minimum with cap	NA
Table 16-156.J.2.b	Fences	wood fences: maximum of 3 inch gap between vertical lattices wrought iron, including steel bar: minimum of 4 inches between bars	Wrought Iron, 4" between bars
Table 16-156.J.2.c	Front Yard Wall Height (front or side street setback areas)	must be between 30 inches to 42 inches	NA

Table 16-156.J.2.d	Side Yard Wall Height (at or behind building facade)	8 feet maximum	6' high Fence
Table 16-156.J.2.e	Wall Setbacks (Fences built parallel to frontage between houses or structures, unless integral part of architecture)	should be setback 2 to 5 feet	NA
Table 16-156.J.2.f	Retaining Walls at Frontages	5 feet maximum	NA
Table 16-156.J.2.h	Parking Wall Height	must be between 36 inches and 48 inches	6' high on sides and rear
Table 16-156.J.3.e	Wood Siding Patterns (recommendation)	clapboard should not exceed 6 inches to the weather shingles should not exceed 8 inches to the weather dropsiding should not exceed 12 inches and 4 inches, alternatively	Ok



**DEVELOPMENT ADVISORY COMMITTEE
(DAC) MINUTES
March 11, 2021**

City Representatives

- Building and Engineering Division . jeff.pengilley@oxnard.org (805-385-8208)
- Building and Engineering Division . tai.chau@oxnard.org (805-385-7894)
- Economic Development Division rosie.ornelas@oxnard.org (805-385-7932)
- Fire Department roy.peacock@oxnard.org (805-385-7787)
- Information Technology. kevin.pisacich@oxnard.org (805-385-7551)
- Planning Division. juan.martinez@oxnard.org (805-385-7556)
- Planning Division. scott.kolwitz@oxnard.org (805-385-7878)
- Police Department. scott.swenson@oxnardpd.org). (805-797-6532)
- Stormwater/Wastewater Housing heather.d'anna@oxnard.org. (805-385-3961)
- Traffic Engineering. earnel.bihis@oxnard.org (805-385-7812)
- Traffic Engineering timothy.bochum@oxnard.org (805-385-8141)

Project/Developer Representatives

- Lizette Elenes lizette@eraarchitects.org (805-824-4188)

PZ # 20-200-04 (Major-Downtown Design Review)

Planner: Juan Martinez

Request: Proposal to construct a two-story, mixed use development with 900 sf commercial space and 994 sf, two-bedroom apartment on the first floor and two, one-bedroom apartments on the second floor on a 5.250 square foot vacant lot zoned Downtown General (DT-G) Zone.

Location: 100 Block of Palm Drive (APN: 200-0-052-130)

Applicant: Lizette Elenes, ERA Architects

Video conference with applicant: 10:00 am [40 min]

Planning Division

1. Project will need to be scheduled at the next regularly scheduled meeting. Work with Project Planner to obtain mailing labels, community meeting notice/information, and site posting requirements.

Architectural Comments by Planning Division

2. Architectural comments pending review by the Downtown Design Review Committee. Meeting anticipated to take place in May.

Landscape Architectural Comments by Planning Division

3. Landscape and irrigation comments deferred to plan check review. At that time, landscape plans will be referred to the City's Landscape Architect - Consultant for review and comment.

Building and Engineering Division

General

4. Applicant shall remove and replace existing sidewalk along the frontage and replace it with a new sidewalk that extends to the building.
5. The trash enclosure must be designed with the features included in the City's standard plates. This includes, but is not limited to, door arrangements, inside curb, dimensions, and overhead clearance. A 15-foot long reinforced concrete apron for the full width of the trash enclosure is required.
6. The developer shall reconstruct the adjacent public alley. The concrete apron for the trash enclosure shall extend to the ribbon gutter.
7. The enclosure shall be sized with sufficient room to store three (3) bins for trash, recycle, and organic bins as required by the Environmental Resources Division.
8. The project is to meet the accessibility/adaptability requirements of the 2019 CBC for the residential parking spaces proposed.
9. As proposed, vehicles are required to back into the public alley. Demonstrate safe sight distance or means for drivers to gain visual around the corner.
10. ADA detectable warning/curb ramps shall be provided between the walkway and vehicular area.
11. Ground-level - main entry to each ground floor dwelling unit and commercial space must be accessible.
12. Information Only: Building components shall not encroach into the Public Right of Way per California Building Code Chapter 32. Encroachments into the right-of-way are limited to architectural projections such as awnings and balconies.

Drainage/Stormwater/Flood

13. Submit a drainage report or letter assessing the project drainage for pre and post-development. Clearly state in the letter if the project is subjected to the post-construction requirements specified in the Ventura County Technical Guidance Manual (TGM).
14. The City Code requires the finished floor to be 25 inches above the lowest adjacent flowline unless a study is provided and approved by the City Engineer to establish a lower elevation above the 100-year storm.
15. Show the location of downspouts and where roof runoff will be directed. Roof drainage shall not be directed to neighboring properties.

Utilities

16. In accordance with City Code, Developer shall provide separate services and water meters for 1) Residential uses; 2) Commercial facilities; and 3) Landscape irrigation systems. For the residential unit, each shall have a water meter.
17. The proposed building will require to be sprinklered for fire protection. The Project Engineer will be required to provide water calculations demonstrating that sufficient water capacity exists in water main in the street.
18. Show water connection to the rear of the property to the existing 6" PVC; properties nearby are being serviced from the alley.

DAC comments are intended to assist applicants by providing feedback to coordinate development design with City standards, policies, and good design practices

19. A fire flow test will likely be required for this project. Provide a current fire flow test to verify that sufficient fire water flow is available for the proposed project. Note that a fire flow test involving multiple hydrants may be needed to induce adequate pressure drop required by the Fire Department.

Mapping/Land Surveying

20. On Sheet A1.0, the property line to the north corner of the project property is not matching up with the existing property at 134 Palm Dr.

Environmental Resources Division

21. The location is subject to all applicable solid waste management ordinances, including future ordinance creation and/or revisions. These currently include: AB 939, AB 341, AB 1826, SB 1383, AB 827. Occupants of this property are required to make provisions to manage three material streams (organics, recycling, trash) in any waste enclosure(s) constructed subject to the City's standard collection equipment. All of these laws can be referenced here:
<https://www.calrecycle.ca.gov/reducewaste/packaging/lawsregs>
22. Enclosures must be sited such that containers can be serviced directly by a waste collection vehicle or with up to a 30 degree angle to the path of travel. Indirect access is discouraged. Refer to the Design Guidelines that are available on www.oxnard.org/environmentalresources and the Standard Plates for waste enclosure are available here:
<https://www.oxnard.org/city-department/development-services/standard-plates-and-design-criteria/#sec7>.
23. A Construction and Demolition Waste Management Plan ("C&D Plan") must be submitted to the Environmental Resources Division for review and approval prior to issuance of a building permit. The C&D Plan shall provide that at least 65% of the waste generated on the project be diverted from the landfill.
24. After completion of construction and prior to a certificate of occupancy being issued, a Construction and Demolition Waste Management Report ("C&D Report") and provide legible copies of weight tickets, receipts, or invoices for materials sent to disposal or reuse/recycling facilities. It is the Developer's responsibility to acquire all tickets, receipts and invoices required for the completion of the Occupancy Plan.
25. An Occupancy Plan ("Occupancy Plan") must be submitted to the Environmental Resources Division prior to issuance of a certificate of occupancy. The Occupancy Plan must clearly state how recyclable and organic material, including food waste, will be managed on site to be in compliance with applicable state laws (AB 939, AB 341, AB 1826, SB 1383); how property management staff will participate in the program; and how residents will be educated about the program and encouraged to participate. The Occupancy Plan must include what service provider(s) will manage/transport materials to appropriate facilities.
26. Developer and operator shall install clearly labeled containers of equal size within each guest room to facilitate separate disposal of recyclable and non-recyclable waste typically generated by guests. The intent of this mitigation measure is to create a situation wherein recycling is as convenient for project guests as disposing of trash. For consistency with City collection

DAC comments are intended to assist applicants by providing feedback to coordinate development design with City standards, policies, and good design practices

standards, the recyclable waste container shall be blue in color and the non-recyclable waste container shall be gray or black in color.

27. Any/all areas that provide waste collection to residents (waste enclosures/rooms, public collection points, etc.) must have an equitable distribution of containers for organics/food waste, recycling and residual trash that are easily accessible.
28. Any landscaping maintenance resulting in organic material needing disposal, if performed in-house or via a third party, must not be placed in the trash. All organic materials are required to be diverted from landfill disposal. Any third-party contract/service agreement must stipulate this requirement and be verified through the Environmental Resources Division.

Fire Department

29. NFPA 13 fire sprinkler system will be required.
30. NFPA 72 fire alarm will be required.
31. Locate fire sprinkler backflow and FDC no more than 5-feet on back side of sidewalk along Palm Drive. Locate on property and show on site plan.
32. Provide a new fire hydrant on Palm Drive within 50-feet of FDC and not across drive isles. Jones 4x4x2 ½ J-4065.
33. Fire hydrants must be located within 150-foot radius of all exterior walls of the structure. Show 150-foot radius circle on site plan.
34. Electric vehicle gates are required to have Click-2-Enter and Knox Key switch controls. Locked pedestrian gates are required to have Knox Key vaults at the gate.

Housing Department

35. No comments.

Information Systems

36. No comments.

Police Department

37. Outdoor lighting shall comply with Title 24, Part 6, of the California Code of Regulations: California's Energy Efficiency Standards for Residential and Nonresidential Buildings and the provisions of Oxnard City Code 16-320.
38. A photometric study will be required.
39. Security cameras will be required for this project.
40. How will secure parcel service to the apartments be facilitated? How will the stairway lobby be secured after hours? Recontact scott.swenson@oxnardpd.org once ADA parking issues are resolved to discuss the securing the lobby.

Technical Services-Stormwater/Wastewater Division

41. Stormwater- bmps must be installed to comply with the statewide trash amendments. Certified devices can be found at

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https://www.waterboards.ca.gov/water_issues/programs/stormwater/docs/trash_implementation/certified_fcsdevicelist_16Feb2021.pdf

42. Certified CPS device needs to be installed downstream of site in catch basin (CB-N20-308) if onsite installation is infeasible-contact Heather D'Anna for more information. Preference is a CPS unit from United Stormwater
43. Wastewater-Separate plumbing in the commercial area and add a grease line for a future 750 gallon grease interceptor in the case that a food service establishment occupies the space. Also prepare plumbing for future kitchen vent hoods/exhausts (possibly in the deck area as was mentioned during the initial DAC meeting).

Traffic Division

44. Where will be parking for commercial use?
45. How wide is the proposed driveway along the alley?

General Comment

46. Project is ready for conditions. Address all the comments listed above and revise plans and/or include support information as may be necessary to address each comment. Prepare a response letter that includes the City comment (copy & paste) followed by a detailed response and/or summary. Response should describe correction, changes, reference plan sheet and/or include detailed summary or support information to address questions and/or comments. Avoid piecemealing resubmittal items and/or arrange to resubmit directly to the assigned project planner. Resubmittals need to include digital pdf copies of all application materials. Once project planner reviews, additional paper copies will be requested. **NOTE: Incomplete applications or neglecting to address review comments may result in determination of incompleteness and may delay development review/entitlement approval process**


Juan Martinez, DAC Chair

MINUTES
OXNARD DOWNTOWN DESIGN REVIEW COMMITTEE
REGULAR MEETING
September 9, 2021 Minutes
DRAFT

A. ROLL CALL

1. At 9:05 a.m. the regular meeting of the Downtown Design Review Committee convened in the West Conference Room of the Service Center. Present via videoconference: Chairman Gary Blum; Tyson Cline, Member; Alesia Martin, Member; and David Ferrin, Member; Staff members present: Paul Early, Assistant City Attorney; Joe Pearson II, Senior Planner. Chairman Gary Blum presided and called the meeting to order. Committee member Authur Valenzuela was absent.

B. PUBLIC COMMENTS - On Items Not On The Agenda

1. None.

C. STUDY SESSION/REPORTS

1. Conflict of Interest Training by Paul Early, Assistant City Attorney
 - PowerPoint Presentation was provided
 - Presentation slides included information on the following subjects... Conflict of Interest Rules, Political Reform Act, Economic Interest - Basic Rule, Key Issues - Examples; Brown Act Overview; Who is Governed by the Brown Act; Policy Behind the Brown Act; Getting Advice; Disqualification; Penalties; Special Rules for Contracts (1090), Exceptions to 1090; Common Law Conflict of Interest; and Questions and Answers.
2. Overview of training resources documents for the DDRC.
 - Overview Presentation was provided by Joe Pearson II, Senior Planner.
 - Presentation slides included information on the following subjects: Welcome and Introductions; Role of the DDRC; DDRC Meetings; Planning 101; Introduction to the Downtown Code; Permits and Activities Most Likely to be Reviewed; Basis for Recommendations; Recommendations to Decision Maker; Public Meeting Process; Questions and Answers.

D. COMMITTEE BUSINESS

1. None.

E. COMMUNITY DEVELOPMENT STAFF UPDATES

Joe Pearson, Senior Planner announced:

1. At the next scheduled meeting there will be election of Chair and Vice Chair on the agenda.

F. ADJOURNMENT

1. At 10:10 a.m., the Planning Commission concurred to adjourn.

FUTURE MEETINGS

Thursday, September 23, 2021, 6:00 p.m, Service Center, 214 S. C Street

Gary Blum,
Chair

ATTEST _____
Joe Pearson II,
Senior Planner