



**DOWNTOWN DESIGN REVIEW COMMITTEE
STAFF REPORT**

TO: Downtown Design Review Committee

FROM: Jose Coyotl, Associate Planner

DATE: December 9, 2021

SUBJECT: **Project Name: Kind Lifestyle Market LLC dba Kind Lifestyle Market;** Planning and Zoning Permit No. 21-516-11 (SUP - Cannabis); 911 South Oxnard Boulevard (APN: 202-0-192-010)

1) Project Description and Applicant: A request to permit architectural revisions associated with the operation of a commercial cannabis retail facility within an existing 3,616 square-foot commercial building on a 0.27-acre site located at 911 South Oxnard Boulevard (APN: 202-0-192-010) within the Downtown General (DT-G) zone. Proposed development includes tenant improvements: installation of interior wall partitioning, plumbing upgrades, upgrades to an existing fire alarm system, security upgrades to the existing building, installation of new secure doors/windows, and providing exterior facade improvements. Cannabis retail operations will be conducted between the hours from 9:00 AM to 9:00 PM daily. The proposed project is exempt from environmental review, pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act. Filed by Kristine Byers on behalf of Kind Lifestyle Market, LLC., 2801 B Street, San Diego, CA 92101.

For purposes of this staff report, the foregoing project description shall be referred to as the “**Project**”. Please see the reduced Project plans (Attachment A) for more details.

2) Existing & Surrounding Land Uses: The following table describes the General Plan Land Use Designations, Zoning designations, and existing land uses of the Project site and adjacent properties:

LOCATION	GENERAL PLAN	ZONING	EXISTING LAND USE
Project Site	Downtown (DTN)	Downtown-General (DT-G)	Commercial building.
North	DTN	DT-G	Commercial building.

South	DTN	DT-G	Attached commercial building.
East	DTN	DT-G	Vacant commercial building (previously a used car dealership)
West	DTN	DT-G	Multi-tenant building.

3) Background Information:

- a) There are no land use entitlements as the building predates the Oxnard City Code Zoning requirements. A City of Oxnard Building Permit was issued on May 22, 1948 for the construction of a commercial building (Building Permit No. 1948-00036). The site currently is legal nonconforming .

4) Analysis:

- a) **Conformance with Zoning Development Standards:** Pursuant to the Downtown Code, the proposed development is located in the Downtown - General zone. Applicable development standards of the Downtown- General zone have been compared with the proposed project in Attachment B.

Attachments:

- A. Reduced Project Plans
- B. Downtown Code Consistency Table

Vicinity Map

Scale: Not to scale



Development Summary

Project Narrative:	<p>This project is an application for a Phase 4 SUP (Special Use Permit) for a Cannabis Retail Storefront to be located at 911 S. Oxnard Blvd. Oxnard, CA 93030. The scope of work will include:</p> <ol style="list-style-type: none"> 1. An adaptive re-use conversion of an existing automotive repair shop into a Cannabis Retail Storefront. An additional, existing, detached secondary building on the same lot will serve as an art garage (gallery) for the community and will be approved under separate permit. 2. Proposed demolition work will include: finishes, partition walls, MEP infrastructure, restroom, fixtures and equipment, lighting, exterior storefront system, and equipment not compatible with proposed use. 3. Proposed spaces include: Waiting Lobby, Staff Break Room, Restrooms, Custodial Room, Customer Sales Area, Inventory Storage and Fulfillment, Manager's Office and Safe Room, Product Intake and Person Trap. 4. Proposed interior work includes: deferred maintenance, new non-bearing partitions, new electrical, HVAC and plumbing infrastructure, new lighting, new security system, new millwork and new finishes throughout. 5. Proposed exterior work includes: deferred maintenance, new storefront glazing system, re-stripping of parking lot, new parking light lighting, new trash enclosure, new landscaping and paving, new facade treatments, new signage, new lighting, and new security system. 										
Project Team:	<table border="0"> <tr> <td>Client:</td> <td>Kind Lifestyle Market LLC 7520 Quinta Street Carlsbad, CA 92009 Contact: W. David Osborne 858.353.4874</td> </tr> <tr> <td>Architect:</td> <td>Kristi Byers, Architect A.P.C. 2801 B Street, #161 San Diego, CA 92102 Contact: Kristi Byers, AIA LEED AP BD&C kb@kristibyrsaia.com 619.599.5984</td> </tr> </table>	Client:	Kind Lifestyle Market LLC 7520 Quinta Street Carlsbad, CA 92009 Contact: W. David Osborne 858.353.4874	Architect:	Kristi Byers, Architect A.P.C. 2801 B Street, #161 San Diego, CA 92102 Contact: Kristi Byers, AIA LEED AP BD&C kb@kristibyrsaia.com 619.599.5984						
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Project Address:	911 South Oxnard Boulevard Oxnard, CA 93030										
Legal Description:	LOT 1, BLOCK 192, BOOK 202, PAGE 19, RANCHO EL RIO DE SANTA CLARA O'LA COLONIA, VENTURA COUNTY ASSESSOR'S MAP, REVISED APRIL 30, 2020.										
APN:	202-0-192-010										
Sheet Index:	<table border="0"> <tr> <td>T0.00</td> <td>Development Summary & Vicinity Map</td> </tr> <tr> <td>A1.00</td> <td>Site Plan & Parking Calculations</td> </tr> <tr> <td>A1.50</td> <td>Landscape Plan</td> </tr> <tr> <td>A2.00</td> <td>Proposed Floor Plans</td> </tr> <tr> <td>A3.00</td> <td>Exterior Elevations</td> </tr> </table>	T0.00	Development Summary & Vicinity Map	A1.00	Site Plan & Parking Calculations	A1.50	Landscape Plan	A2.00	Proposed Floor Plans	A3.00	Exterior Elevations
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A1.00	Site Plan & Parking Calculations										
A1.50	Landscape Plan										
A2.00	Proposed Floor Plans										
A3.00	Exterior Elevations										
Type of Construction:	III-B										
Occupancy Classification:	Existing: S-1 Motor vehicle repair shop; B - Office Proposed: M - Commercial Service; B - Office; S-1 Storage										
Zoning & Overlays:	<table border="0"> <tr> <td>Base Zone:</td> <td>DT-G</td> </tr> <tr> <td>Overlay Zones:</td> <td>Shopfront Overlay FAA Airport Hazard Overlay Ventura County Heritage Board</td> </tr> </table>	Base Zone:	DT-G	Overlay Zones:	Shopfront Overlay FAA Airport Hazard Overlay Ventura County Heritage Board						
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Gross Area:	<table border="0"> <tr> <td>Gross Site Area:</td> <td>12,000 SF</td> </tr> <tr> <td>Gross Floor Area:</td> <td>3,978 SF Existing main building (Proposed Cannabis Retail Storefront)</td> </tr> </table>	Gross Site Area:	12,000 SF	Gross Floor Area:	3,978 SF Existing main building (Proposed Cannabis Retail Storefront)						
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Existing & Proposed Use:	<table border="0"> <tr> <td>Existing Use:</td> <td>Motor vehicle repair shop; Office</td> </tr> <tr> <td>Proposed Use:</td> <td>Commercial Service; Office; Storage</td> </tr> </table>	Existing Use:	Motor vehicle repair shop; Office	Proposed Use:	Commercial Service; Office; Storage						
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Proposed Use:	Commercial Service; Office; Storage										
Year Constructed:	1948										
Landscape Area:	836 SF										
Building Heights:	<table border="0"> <tr> <td>Building Height - Main building:</td> <td>15'-6"</td> </tr> <tr> <td>Building Height - Secondary:</td> <td>13'-0"</td> </tr> </table>	Building Height - Main building:	15'-6"	Building Height - Secondary:	13'-0"						
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Building Height - Secondary:	13'-0"										
Applicable Codes:	<p>City of Oxnard Municipal Code 2019 California Building Code 2019 California Green Building Code 2019 California Plumbing Code 2019 California Mechanical Code 2019 California Energy Code 2019 California Fire Code</p>										

Kristi Byers, Architect
Architecture
Sustainability Strategies



Project:

**KIND Lifestyle Market
Special Use Permit**
911 S. Oxnard Boulevard
Oxnard, California 93030

Drawing Preparation and Revision Dates

01	06.14.2021	SUP Submittal
02	09.15.2021	SUP Resubmittal
03	10.27.2021	SUP Resubmittal

Drawing Name:
**Development
Summary &
Vicinity Map**

Drawing Number:
T0.00
(1 of 5)

Legend:

- Property Line
- (#) Off-Street Parking Space Count
- Accessible Path of Travel
- Accessible Entrance
- ⊕ Exterior Security Lighting
- S Sanitary Sewer
- W Water Main
- GAS Gas Line

Parking Analysis:

A total of 18 parking spaces have been deemed necessary for the site by the Planning Division. A total of 9 parking spaces will be provided onsite and the remainder of 9 spaces will be provided through the downtown in-lieu fee program.

Further, all on-site parking stalls and aisle widths shall be in compliance with requirements of the City of Oxnard Planning Division.

Building Area = 3,978 SF
Existing parking spaces = 8

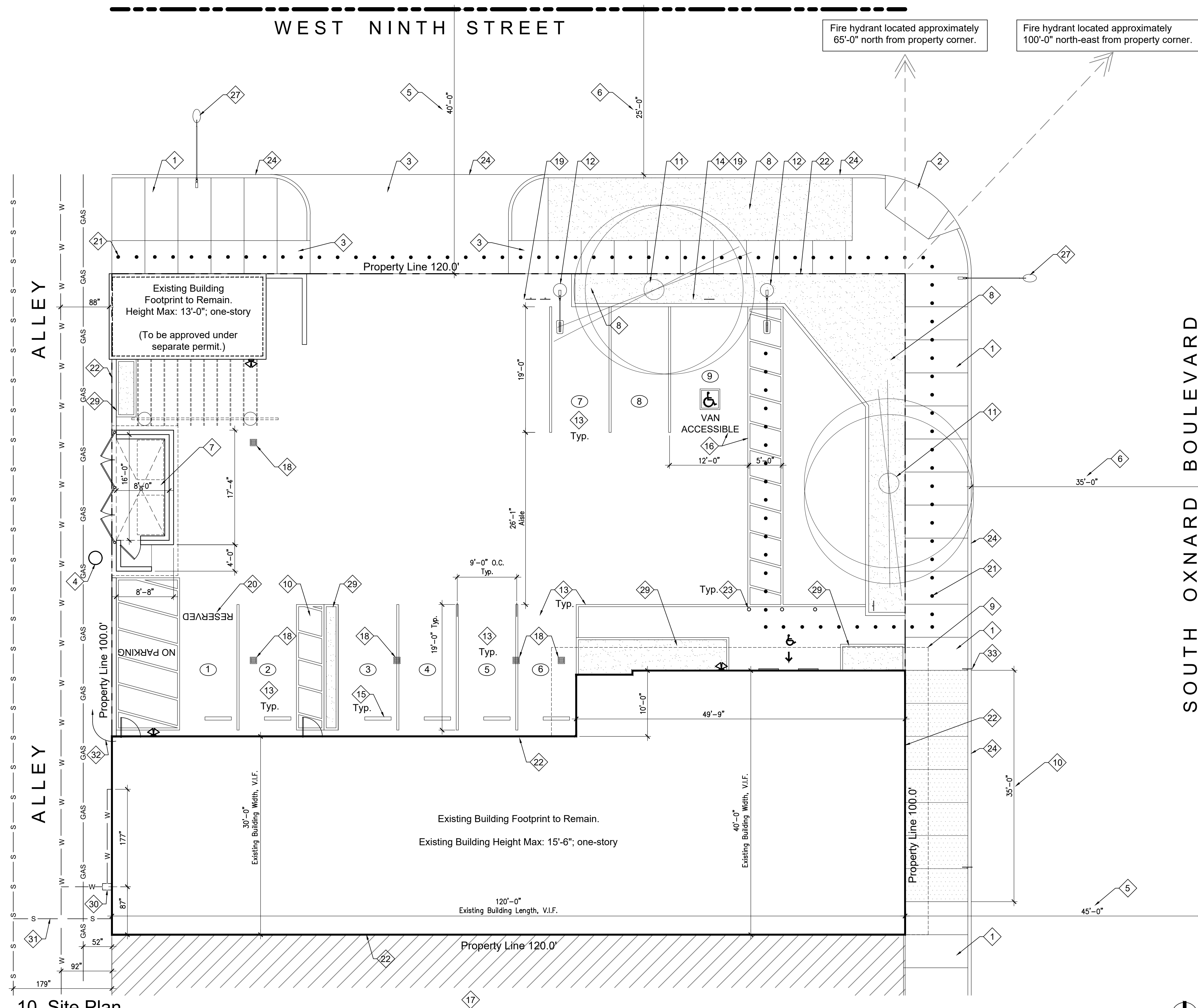
Proposed onsite parking spaces = 9
Note: 1 space of 9 will be a Van Accessible parking space

Site Plan General Notes:

A. Proposed work includes adaptive-reuse of existing building into a cannabis retail storefront. Work will occur within the existing building's footprint; no new area will be added. Site will be slightly modified to optimize parking count, provide new vegetation, trees, hardscape, parking lot lighting, security cameras, and signage.

Site Plan Key Notes:

1. Existing sidewalk to remain.
2. Reconstruct the existing curb ramp at the corner at W 9th Street and Oxnard Blvd to ADA standards.
3. Existing driveway entrance will need to be brought to current standard per City Standard Plate 115 with ADA-compliant path of travel behind driveway apron.
4. Existing power pole in alley to remain.
5. Dimension from property line to centerline of street.
6. Dimension from curb to centerline of street.
7. New trash and recycling enclosure to include: new parallel refuse container enclosure with side entrance per Department of Public Works, Standard Plan 2002 Plate 604; new roof cover over refuse container; and new reinforced concrete apron along entire length of enclosure opening.
8. New vegetation per Landscape Plan.
9. Dashed line represents repaired canopy above.
10. New concrete side walk to replace in-kind original concrete sidewalk.
11. New shade tree per Landscape Plan.
12. New parking lot lighting.
13. New parking stall and striping.
14. New accessible parking sign.
15. New wheel stop.
16. New accessible parking stall and aisle striping.
17. Existing adjacent commercial property. Not part of this project.
18. Existing stormwater drain to remain.
19. New vehicular tow-away parking sign as required per City of Oxnard ordinances.
20. New reserved parking for product deliveries.
21. Existing accessible path of travel from nearest public transit bus stop located on the corner of W 9th St. and S. "C" St.
22. Premises Boundary.
23. Bollard in front of main entry.
24. Damaged sidewalk, curb, and gutter along the project frontage shall be reconstructed.
25. -not used-
26. -not used-
27. Replace existing high pressure sodium street light with LED.
28. New 4" diameter drain located at center of enclosure, and connected to sanitary sewer. Maximum slope to drain must not exceed 2%.
29. New removable vegetated planter boxes per Landscape plan.
30. Existing water meter location. Building is currently served with a 3/4" waterline. The project will minimally increase water loads with the addition of one faucet, therefore, it is anticipated that the existing water infrastructure will meet the needs of the proposed project. Contractor to field verify.
31. Existing building sewer line. The project will minimally increase sewer loads with the addition of one faucet, therefore, it is anticipated that the existing sewer infrastructure will meet the needs of the proposed project. Contractor to field verify.
32. Existing electrical service to building. It is anticipated that the electrical service will be upgraded to a 400A 120/240V service in order to meet the power requirements of the new project.
33. The project will install additional "No Parking Any Time" signs along Oxnard Boulevard. A final signage plan shall be submitted to the City Traffic Engineer for review and approval as part of the building plan set. All signs shall be installed prior to occupancy.



10. Site Plan

Scale: 1/8" = 1'-0"

Kristi Byers, Architect
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Drawing Name:

Site Plan & Parking Calculations

Drawing Number:

A1.00
(2 of 5)

Landscape Plant List:



Parkinsonia Florida
(Blue Palo Verde Tree)



Agave Attenuata
(Foxtail Agave)



Calandria Spectabilis
(Rock Pursiane)



Raphiolepis indica
(Indian Hawthorn) *



Aeonium Undulatum
(Saucer Plant)



Pachocereus marginatus
(Fence Post Cactus)

Landscape Plan General Notes:

- A. Total area of proposed landscaping (includes Parkway): 1,162 SF.
- B. All new landscaping will comply with State, City of Oxnard DT-G requirements.
- C. Landscape shall not obstruct the view of any windows, doorways, security cameras, or lights.
- D. Parking lot perimeter vegetation, including Parkway, shall be no taller than approximately 24" and have visibility breaks from the street into the parking.
- E. Refer to architectural site plan and floor plans for all site and building dimensions.
- F. All trees planted within 6'-0" of pavement or hardscape will use roof barriers.
- G. All planting areas will receive a 3" layer of Decomposed Granite, as specified.

Landscape Legend:

Symbol	Size	Botanical name	Common Name	Coverage
	48" box	Parkinsonia Florida	Blue Palo Verde Tree	25' Wide (at maturity)
	5 gal.	Agave Attenuata	Foxtail Agave	
	1 gal.	Aeonium Undulatum	Saucer Plant	
	1 gal.	Calandria Spectabilis	Rock Pursiane	
	3 per sym.	Pachocereus marginatus	Fence Post Cactus	
	15 gal.	Raphiolepis indica	Indian Hawthorn	
	Per plans	Decomposed Granite		
--- Property Line				
* Planting will be hedge like and maintained at a maximum height of 24" above grade.				

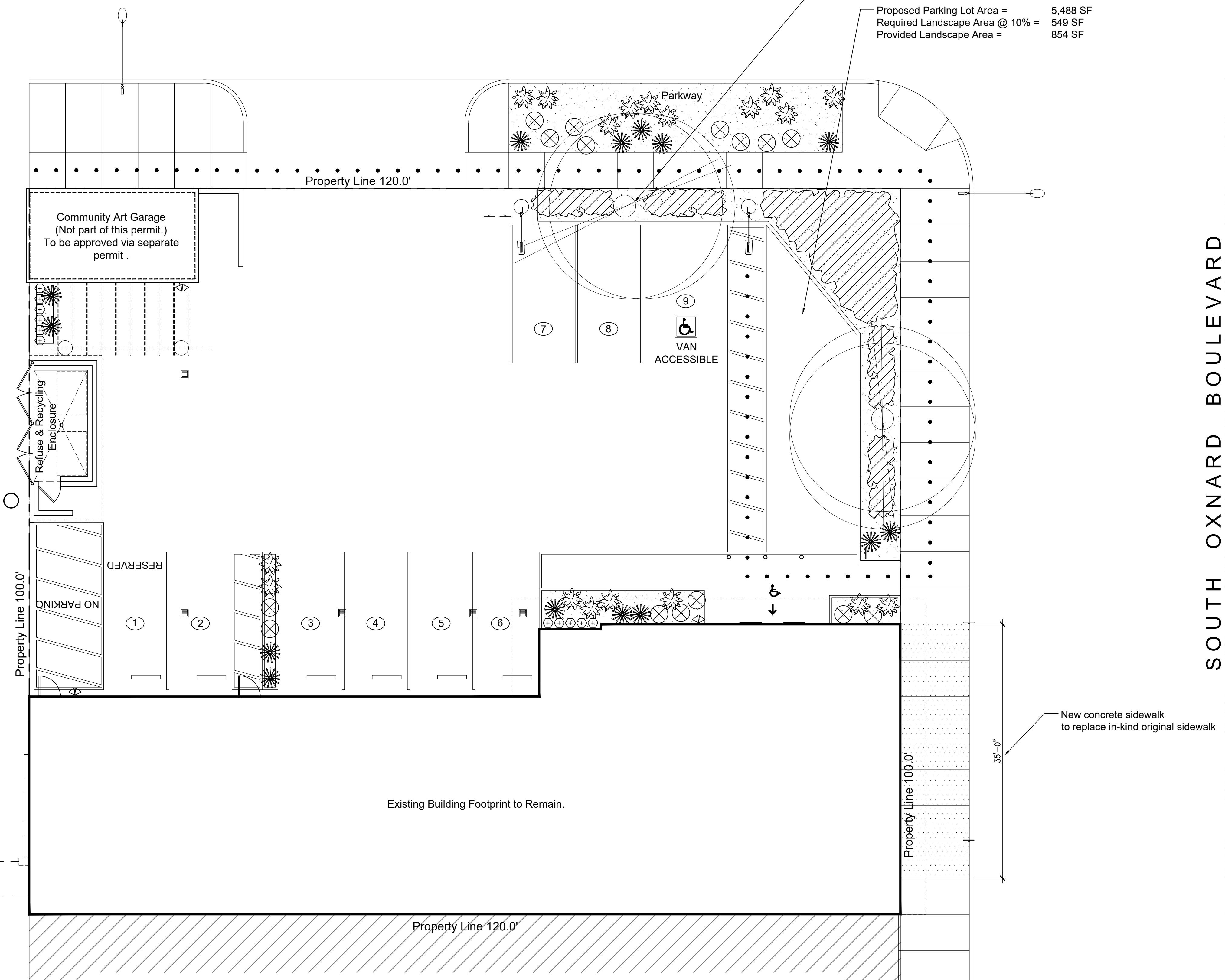
Please note, plant selections are preliminary. Final plant selections will be confirmed based upon specimen availability at time of project construction. Size and maturity of listed plants to be maintained.

WEST NINTH STREET

SOUTH OXNARD BOULEVARD

Required shade trees = 1 for every per 8 parking stalls
 Total parking stalls = 9
 Provided shade trees = 2

Proposed Parking Lot Area = 5,488 SF
 Required Landscape Area @ 10% = 549 SF
 Provided Landscape Area = 854 SF



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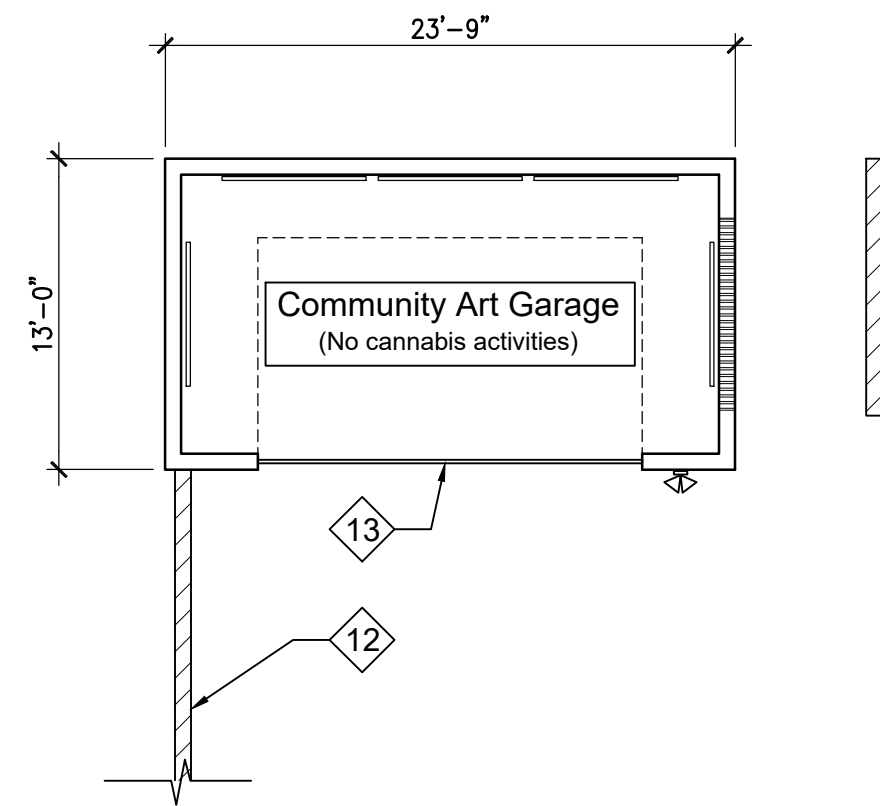
01	09.15.2021	SUP Submittal
02	10.01.2021	SUP Resubmittal
03	10.27.2021	SUP Resubmittal

Drawing Name:
Landscape Plan

Drawing Number:
A1.50
(3 of 5)

10. Landscape Plan

Scale: 1/8" = 1'-0"



12. Community Art Garage - For Reference Only (To be approved as part of separate permit)

Scale: 1/8" = 1'-0"

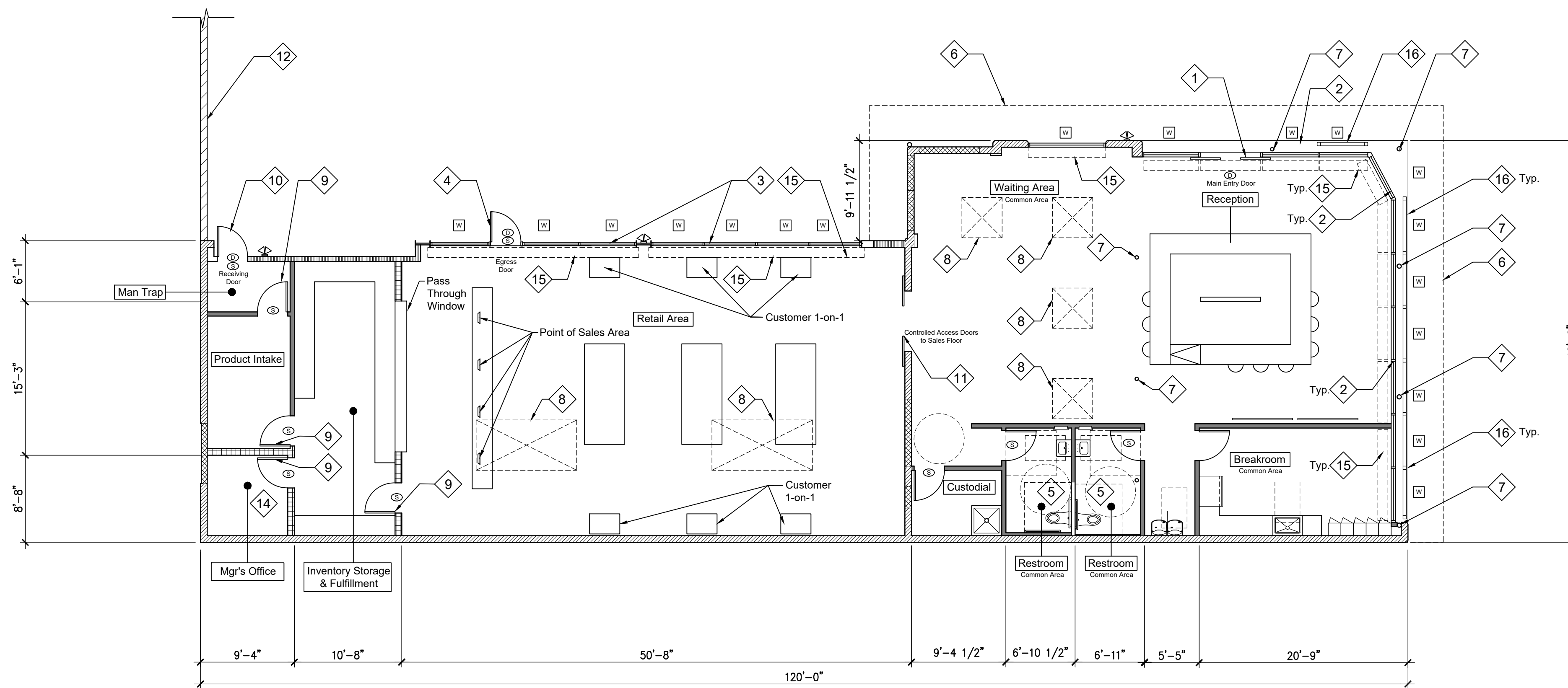
Floor Plan Key Notes: #

1. New main entry door.
2. Replace existing exterior glazing system with new storefront glazing system. To be constructed with security glass as approved by the City of Oxnard Police Department.
3. New exterior storefront glazing system with security glass as approved by the City of Oxnard Police Department.
4. New exterior door (egress only.)
5. Accessible restroom.
6. Dashed line represents line of building overhang above.
7. Existing column to remain.
8. Existing skylight to remain.
9. Security door. Limited access area.
10. Dedicated, security door for deliveries. Access restricted to employees and delivery personnel only.
11. Controlled customer access to Retail Area. Customers to enter Retail Area only when accompanied by a sales employee.
12. Existing site wall.
13. Roll-up garage style door at Art Gallery.
14. Ceiling in this room to receive security mesh. See Partition Type 1 in Legend for Wire Mesh
15. Interior roll down security shutter above as approved by the City of Oxnard Police Department.
16. 4" Steel tube vehicular barrier system as approved by the City of Oxnard Police Department.

Note: No cannabis products or advertisements to be visible through glazing. Any glazing through which cannabis products or advertisements could be seen by passers-by in the shopping center will be treated with a frosted film which obscures the view to the interior. Final locations for clear and frosted glazing to be confirmed with the Oxnard Police Department.

Legend:

- Existing Site CMU Wall to remain
- Existing Wood-framed Wall to remain
- New Exterior Wood-framed Wall infill to match adjacent wall.
- Existing CMU Wall to remain
- New CMU Wall infill to match adjacent CMU Wall
- Partition Type 1 - New Non-Bearing, Security Partition: Wire mesh 0.45 lbs. per sq. ft. minimum, and opened spaced no more than 76%. Metal mesh under drywall surfacing.
- Partition Type 2 - New Non-Rated, Non-Bearing Interior Partition
- Exterior Security Lighting
- Door
- Self-closing, self-latching doors
- Exterior Window



10. Proposed First Floor Plan - Cannabis Retail Storefront

Scale: 1/8" = 1'-0"

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Drawing Name:
Proposed
Floor Plans

Drawing Number:

A2.00
(4 of 5)

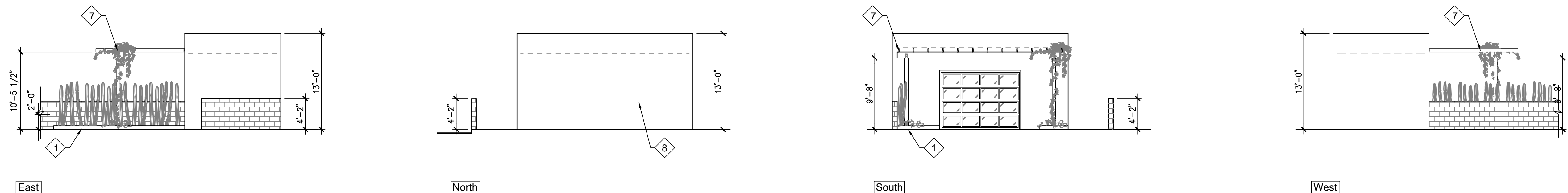
General Notes:

- A. No new floor area will be added to either building. Exterior improvements will maintain the existing building footprints.

Note: No cannabis products or advertisements to be visible through glazing. Any glazing through which cannabis products or advertisements could be seen by passers-by in the shopping center will be treated with a frosted film which obscures the view to the interior. Final locations for clear and frosted glazing to be confirmed with the Oxnard Police Department.

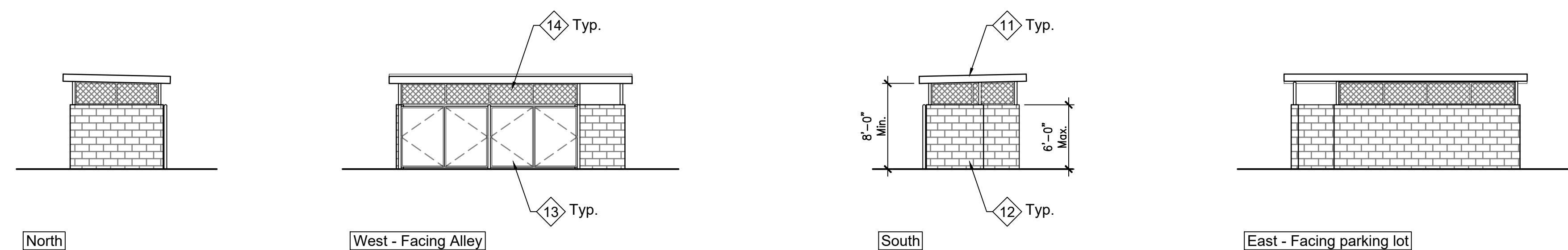
Site Plan Key Notes: #

1. New CMU vegetated planter.
2. Existing adjacent commercial property (not a part of this project.)
3. New main entry to cannabis retail shop lobby area.
4. New exit from cannabis retail shop (no entry allowed through this door.)
5. New dedicated secured product delivery door (restricted to delivery personnel and employees only.)
6. Replace existing cantilevered shade structure with new cantilevered shade structure.
7. New shade canopy. Wood posts shall be 6"x6" minimum and articulated.
8. Proposed area for community art.
9. -Not used.-
10. Vehicular impact bollard rated ASTM C40 and as approved by the City of Oxnard Police Department.
11. New roof cover over refuse and recycling containers enclosure.
12. New 6' tall, steel reinforced, CMU refuse and recycling containers enclosure. Designed per Department of Public Works, Plate No. 604 and per Design Guidelines for Recycling and Waste Collection document issued by the Environmental Resources Division.
13. Steel framed gates hung on a 3" diameter concrete filled pipe. Gate panels to match architectural style of cannabis retail shop.
14. Security screen between top of CMU wall and bottom of Trash Enclosure roof.
15. 4" tubular vehicular barrier system.



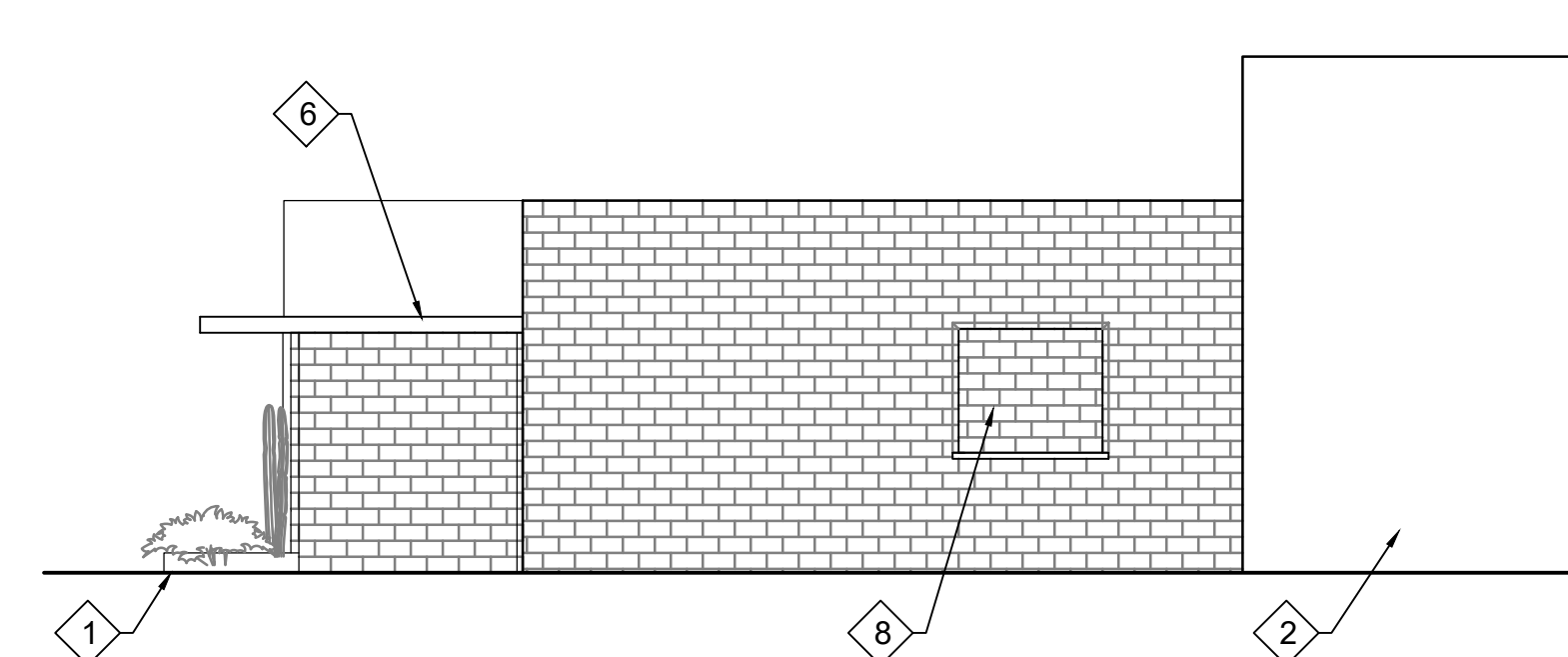
12. Community Art Garage - Exterior Elevations (Shown for reference only. To be approved as part of future permit.)

Scale: 1/8" = 1'-0"



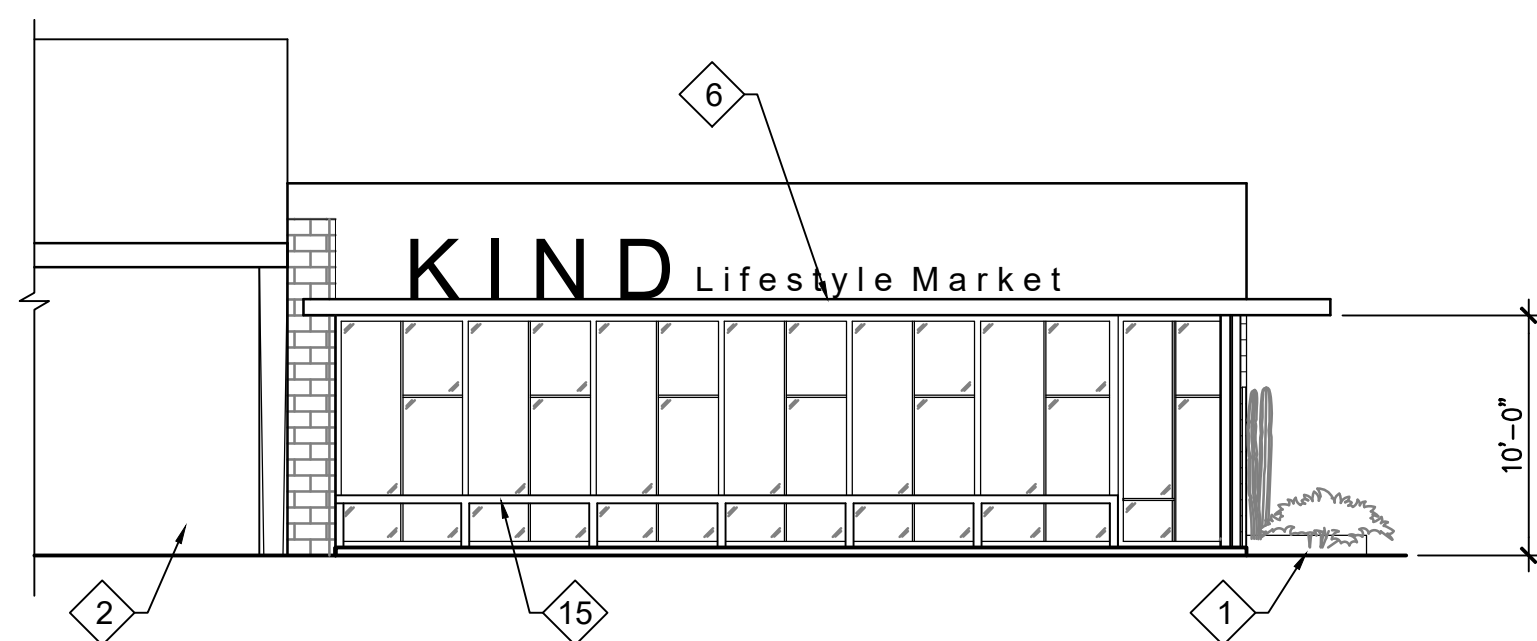
11. Refuse and Recycling Containers Enclosure - Exterior Elevations

Scale: 1/8" = 1'-0"



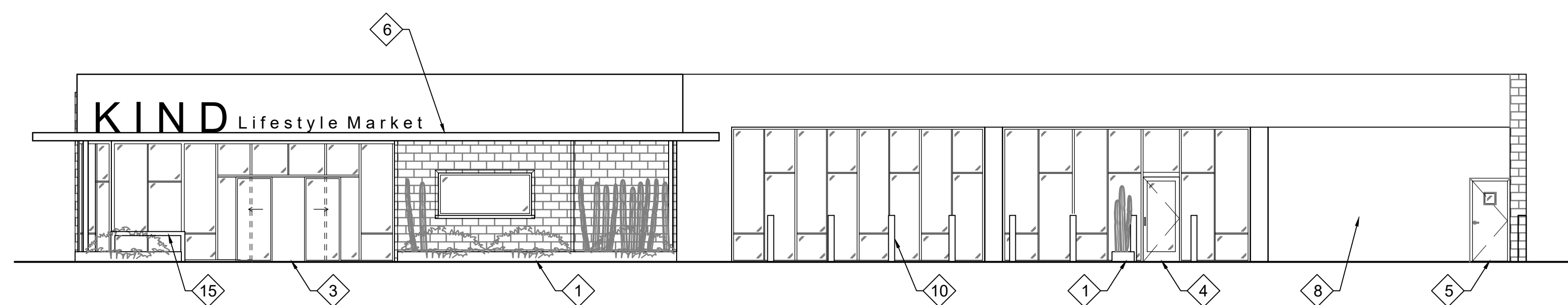
2. Cannabis Retail - West Elevation

Scale: 1/8" = 1'-0"



10. Cannabis Retail - East Elevation

Scale: 1/8" = 1'-0"



4. Cannabis Retail - North Elevation

Scale: 1/8" = 1'-0"



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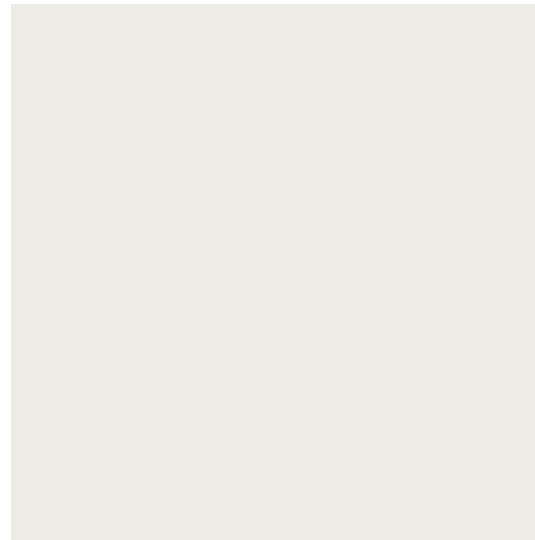
Drawing Name:
Exterior Elevations

Drawing Number:
A3.00
(5 of 5)

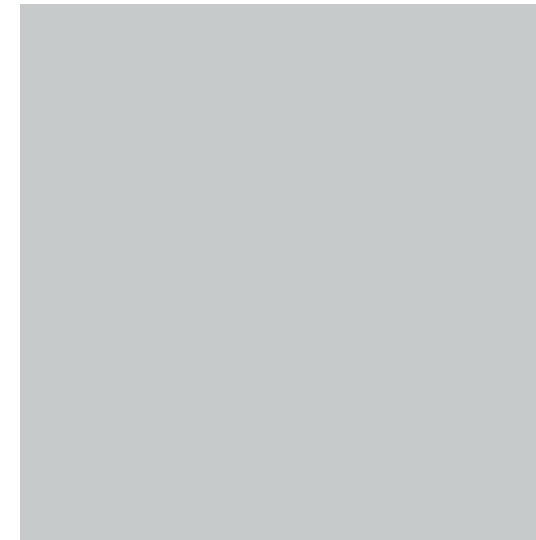
- ① Sherwin Williams SW7005 Pure White Exterior Paint. To be applied to existing and new concrete masonry unit walls.
- ② Sherwin Williams SW7071 Gray Screen Exterior Paint. To be applied to existing and new smooth, plaster finish areas.
- ③ Sherwin Williams SW7075 Web Gray. To be applied to canopies and trim.
- ④ Exterior Aluminum Storefront System. "Black Anodized".
- ⑤ High-Performance Glazing System: Basis-of-Design: Vitro, SOLARBAN 70 (2) Optigray + Clear Glass Insulating Glass.

**Note: These basis-of-design materials and colors are representational and meant to convey the project's design intent. Final manufacturers and products to be specified during building department submittal.*

①



②



③



④



⑤



Proposed Materials

Oxnard Downtown Code – Downtown General Zone			
PZ-21-516-11: [911 S. Oxnard Blvd. Oxnard, CA. 93030] – [Kind Lifestyle Market]			
DT-G Zone	Required/Allowed		
Overlay Zone	Choose All Applicable: Shopfront Overlay (Ch. 16-147.1.B.1)	FAA Airport Hazard Overlay (Ch. 16, Art. III, Div. 19)	Ventura County Heritage Board

Allowed Private Frontages and Encroachment Standards
Table 16-150

Standard	Downtown Zones				Min ft Between PL and Façade ³	Encroachment into setbacks	See Guidelines	
	Type	DT E	DT E-O	DT G				DT C
Residential Ground Floor Commercial Ground Floor	Porch	P	P	P	---	12 to 20	Up to 5' of sidewalk	16-150.C
	Stoop	P	P	P	P ¹	4 to 6	Up to 1' of sidewalk	16-150.D
	Terrace	---	---	P	P	7 to 12	Within 1' of sidewalk	16-150.E
	Dooryard	P	P	P	P ¹	7 to 12	Up to 1' of sidewalk	16-150.F
	Common Entry	---	---	P	P	10 to 15	Not applicable	16-150.G
	Shopfront	---	P	P ²	P	0 or 10	Awning / canopy up to 2' of curb	16-150.H
	Gallery	---	---	P ²	P	0	Up to 3' of curb	16-150.I
	Arcade	---	---	---	P	0	Up to 3' of curb	16-150.J

Notes

P Allowed in Zone
--- Not allowed in zone

- ¹ Not allowed in shopfront overlay.
- ² Only where shopfront overlay applies.
- ³ At a massing break, the edge of the required 15' x 15' area is considered the property line for the purposes of applying frontage type(s) standards.

		Private and Public Frontages	
		Required/Allowed	Proposed Project
Table 16-150.H	Shopfront		
	Height to (clear)/top of shopfront	12 feet minimum and 18 feet maximum	11'-1 ½" at Retail Area (To match existing header height.)
	Height to bottom of awning/canopy (clear)	8 feet minimum and 10 feet maximum	10'-0" at Lobby (To match existing canopy location & ht.)
	Width of shopfront base	10 feet minimum and 20 feet maximum	36'-9" along west façade replaces existing storefront in-kind; 25'-2" along

			north façade at lobby replaces existing storefront in-kind; two (2) existing garage doors to be replaced with 20'-11" and 20'-6" storefront along North façade.
	Height of shopfront base	6 inch minimum and 3 feet maximum	The existing shopfront extends to slab. The intent is to replace the existing openings with in-kind glazing – no shopfront base.
	Glass area of ground floor wall area (each facade)	70 percent minimum	East facade: 58% North façade: 39% (Existing building openings and shopfront locations.)
	Width of Shopfront on second frontage (corner building)	20 feet minimum	Combined total: 66'-7" (This total reflects the existing garage door and storefront widths along the north façade.)
	Awning Depth	5 feet minimum up to within 2 feet of curb	Depth: 3'-6" (Existing canopy to be structurally repaired and/or replaced in-kind.)
	Awning Location	located over shopfront opening only	Existing canopy extends past storefront. Canopy to be structurally repaired and/or replaced in-kind.
	Awning Design	quarter sphere or quarter cylinder configurations not allowed	Existing linear canopy to be replaced or repaired in same configuration.
	Distance between openings in wall	10 linear feet maximum (primary street frontage)	The primary frontage is mostly storefront – no distance between

		25 linear feet maximum (side street frontage)	openings. (Existing shopfront locations to remain.)
	Traditional Shopfront	header: 24 inches minimum and 36 inches maximum shopfront windows: recessed a minimum of 2 inches base panels/shopfront base: 36 inch in height maximum	New shopfront to meet the requirements listed.
	Shopfront Tint	10 percent maximum	New shopfront to meet both visibility and energy requirements – see materials board.
Section 16-151	Public Frontage		
Section 16.151.1.A	Sidewalk Width	5 feet minimum	Existing sidewalk to remain (10'-0").
Table 16-151.C	Commercial Parking lane trees, where provided	located every 2 to 6 spaces	N/A
Table 16-151.C	Commercial Parklets Buffers	24 inch buffer from travel lane (recommended) 36 inch buffer from adjacent parking spaces (recommended) 15 feet from bus stop or shelter	N/A
Table 16-151.D	Residential Parkways	breaks every 50 feet (recommended)	N/A
Table 16-151.D	Residential Parking lane trees, where provided	should be located every 2 to 4 spaces	N/A

Architectural Guidelines			
Table 16-156.A.i	Bay windows	8 foot maximum width height equal or greater than width 3 feet minimum from corner	N/A

		50 percent transparency or greater.	
Table 16-156.A.j	Door Glazing	glazing must provide at least 90 percent visible light transmission	Door glazing will meet the requirement listed, unless dictated otherwise by City of Oxnard PD for security reasons.
Table 16-156.B.a	Orientation to Public Space	buildings must face open spaces and may not back on to open spaces.	Existing building to remain. N/A
Table 16-156.B.d	Residential Entry	access from the sidewalk is required if the unit is within 5 feet of grade.	N/A
Table 16-156.C.a	Building Wall Materials	walls must be finished in stone, brick, finished concrete block, poured in place or pre-cast concrete, smooth plaster or stucco, and wood. synthetic materials may be approved through design review	Existing building to remain; most existing finishes to be cleaned and resurfaced. The new wall materials include exterior plaster and painted CMU block.
Table 16-156.D.2.d	Upward Acting Doors (Contemporary Building Only)	maximum width: 16 feet maximum height: 10 feet minimum separation: 2 feet materials: clear, see-through glazing	N/A No upward acting doors on project.
Table 16-156.E.1.a	Window Materials	wood, vinyl-clad wood, aluminum-clad wood or metal. pvc and vinyl windows require design review approval.	Windows will be aluminum framed storefront system.
Table 16-156.E.2.b	Non Shopfront ground floor window	window sills should be 4-8 feet from public sidewalks and open spaces	Existing glazing locations to remain.
Table 16-156.E.2.g	Window Recesses	minimum 2 inch recess from facade (Advisory)	Replacement storefront to meet this requirement.
Table 16-156.F.1.e	Balconies	minimum of 5 feet in depth (Advisory)	N/A
Table 16-156.F.2.e	Planter Boxes	should be between 18 to 42 inches tall (cannot block windows)	New planter heights vary but will be between 18 to 42 inches tall.
Table 16-156.F.3.a	Masonry and Stucco Arches	depth: 12 inches minimum	N/A

		piers/columns: 12 by 12 inches minimum	
Table 16-156.F.3.b	Wood Posts	6-by-6 inches minimum and articulated	Wood posts at Art Gallery shade structure will be 6 x 6 min.
Table 16-156.G	Building Colors	coordinated and subdued colors typical of natural building materials, such as earth tone colors (recommended) exterior facade colors should be limited to two or three (recommended)	The proposed colors include white, light grey and dark grey.
Table 16-156.H.1.d	Gutters and Downspouts	should be made of: galvanized steel copper pre-finished aluminum	Building downspouts to be galvanized steel or pre-finished aluminum.
Table 16-156.H.2.a	Traditional Building Shed Roof Slope	minimum slope of two in twelve (2:12)	Existing building roof slope to remain for main building; trash enclosure roof will meet or exceed minimum 2:12 slope.
Table 16-156.H.2.e	Service Equipment	roof top equipment must be screened from public view	If existing building parapets do not screen the new HVAC equipment, screening will be added to protect from public view.
Table 16-156.H.2.f	Skylights	must be flat and not visible from the public areas	Existing building skylights to remain; not visible from public areas.
Table 16-156.H.2.g	Gutters	half-round or ogee (rectangular allowed on contemporary buildings only)	N/A
Table 16-156.H.3.b	Exposed Rafter Tails	minimum nominal dimension of 3 inches by 4 inches.	N/A
Table 16-156.H.3.c	Supporting Brackets	minimum dimension of 5 inches	N/A
Table 16-156.I.1	Vents	must be screened from public and semi-public areas	It is anticipated that the majority of the vents will be on the

			roof. Any wall vents to be placed outside of public view whenever feasible.
Table 16-156.I.3 and 4	Service Entrances and Waste Disposal Areas, etc	lots with alley access: must be adjacent to and accessed from alley lots without alley access: must be screened and far from public view	Trash enclosure to face and be accessed from alley.
Table 16-156.I.5	Fire Sprinklers	should be building mounted rather than freestanding	Project will comply.
Table 16-156.J.2.a	Garden Walls	6 inches wide minimum with cap	N/A
Table 16-156.J.2.b	Fences	wood fences: maximum of 3 inch gap between vertical lattices wrought iron, including steel bar: minimum of 4 inches between bars	N/A
Table 16-156.J.2.c	Front Yard Wall Height (front or side street setback areas)	must be between 30 inches to 42 inches	N/A
Table 16-156.J.2.d	Side Yard Wall Height (at or behind building facade)	8 feet maximum	Existing wall along alley is less than 8'-0" and will remain.
Table 16-156.J.2.e	Wall Setbacks (Fences built parallel to frontage between houses or structures, unless integral part of architecture)	should be setback 2 to 5 feet	N/A (none proposed)
Table 16-156.J.2.f	Retaining Walls at Frontages	5 feet maximum	N/A
Table 16-156.J.2.h	Parking Wall Height	must be between 36 inches and 48 inches	N/A (none proposed)
Table 16-156.J.3.e	Wood Siding Patterns (recommendation)	clapboard should not exceed 6 inches to the weather shingles should not exceed 8 inches to the weather dropsiding should not exceed 12 inches and 4 inches, alternatively	N/A

**DOWNTOWN DESIGN REVIEW COMMITTEE
STAFF REPORT**

TO: Downtown Design Review Committee

FROM: Joe Pearson II, AICP, Senior Planner

DATE: December 9th, 2021

SUBJECT: **Project Name: 637/643 South C Street Apartments Project;** Planning and Zoning Permit No(s). 20-200-19 (Major Downtown Design Review Permit) and 21-310-10 (Lot Merger); 637 and 643 South C Street (APN: 202-0-133-050 & -060)

- 1) Project Description and Applicant:** A request for review by the Downtown Design Review Committee related to request for a Major Downtown Design Review Permit to all for a proposed 57,274 square foot 5-story mixed use apartment building with 36 residential units (4 affordable), 20 parking spaces, 1,619 square-feet of non-residential space and open space on a 0.32-acre project site. Proposed development includes commercial space, and parking for the residences on the ground level, with an additional 4 levels of residential units (for a 5 story building). The proposed building is designed with twenty-four 1-bedroom units and eight 2-bedroom units. All of the units open to the south side of the building. Approximately 3,605 square feet of open space for residents will be provided via a second floor plaza, roof deck, and private decks. The existing residence will be demolished. The Project is located at 637 and 643 South C Street within the Downtown land use designation and Downtown General (DT-G) zone. The project is exempt from environmental review pursuant to Section 15332 (Infill Development), Class 32 of the California Environmental Quality Act (CEQA) Guidelines. Filed by Mike Sanchez, of Coastal Architects (“Agent”) 505 S. A Street, Suite 200, Oxnard, CA 93030 on behalf of Raul Orozco (“Owner”).

For purposes of this staff report, the foregoing project description shall be referred to as the “**Project**”.

Please see the reduced Project plans (Attachment A) for more details.

- 2) Existing & Surrounding Land Uses:** The following table describes the General Plan Land Use Designations, Zoning designations, and existing land uses of the Project site and adjacent properties:

LOCATION	GENERAL PLAN	ZONING	EXISTING LAND USE
Project Site	DTN	Downtown General	Residence
North	DTN	Downtown General	Vacant
South	DTN	Downtown General	Commercial
East	DTN	Downtown General	Commercial
West	DTE	Downtown Edge	Office/residence

3) Background Information:

- a) On November 28, 1934, building permits (Permit No. 99) were granted for the construction of the existing residence located at 637 South C Street. Subsequent permits were issued in 1949 and 1997, for changes to the porch and a re-roof. No permits have been issued for 643 South C Street.
- b) On July 30, 2019, the City Council adopted Ordinance No. 2963, which amended the Oxnard City Code Chapter 16, Division 10 and instituted a new "Downtown Code," and associated Zone Changes. The Downtown Code allows for a maximum development of 2,284 residential units and 3,025,370 square-feet of commercial space.

4) Analysis:

- a) **Conformance with Zoning Development Standards:** Pursuant to the Downtown Code, the proposed development is located in the Downtown General zone. Applicable development standards of the Downtown General zone have been compared with the proposed project in Attachment B.

Attachments:

- A. Reduced Project Plans
- B. Downtown Code Consistency Table

SCOPE OF WORK

1. CONTEMPORARY BUILDING DESIGN
2. REMOVAL OF EXISTING SINGLE FAMILY RESIDENCE AGE DETACHED GARAGE.
3. NEW 6 STORY 57,274 SF MIXED-USE BUILDING CONSISTING OF :
1,738.9 SF COMMERCIAL RETAIL, 9,676 SF COVERED PARKING GARAGE, 36 UNITS APARTMENTS WITH ROOF DECK ACCESS.

BUILDING UNIT MIX

BUILDING UNIT MIX	BEDS	SIZE	DECK	COUNT PER FLOOR				TOTAL
				2ND	3RD	4TH	5TH	
UNIT - 1	1	774.4	105.5	1	1	1	1	4
UNIT - 2	1	749.6	124.5	1	1	1	1	4
UNIT - 3	2	862.7	73.1	2	2	2	2	8
UNIT - 4	1	780.5	85.2	2	2	2	2	8
UNIT - 5	1	587.8	58.7	3	3	3	3	12
	44			9	9	9	9	36

PARKING ANALYSIS: (IN-LIEU PARKING FEE PER CITY OF OXNARD DOWNTOWN CODE)

PARKING REQUIRED	REQUIRED	IN LIEU
RESIDENTS .5 SPACE/ 32 UNIT	18	18
RETAIL 1,738.9 SF 1:1000 SF		2

PARKING PROVIDED	PROVIDED
STANDRAD STALL (9'x19')	12
CAR LIFT STALL (9'x19')	8
ACCESSIBLE STALL	1
EV STALL	2
TOTAL STALL	22 GARAGED

PROVIDED BICYCLE PARKING :

TOTAL RESIDENT BEDROOMS	44 SPACES
SHORT TERM	4 SPACES
LONG TERM	10 SPACES

PROJECT INDEX

A0	PROJECT ANALYSIS / BUILDING RENDERING
A1	EXISTING DEMOLITION / PROPOSED SITE FIRST FLOOR PLAN
L1	LANDSCAPE PLAN
A2	SECOND FLOOR PLAN / THIRD - FIFTH FLOOR PLANS
A3	ROOF PLAN
A4	UNIT PLANS
A5	LOBBY PLANS
A6	ROOF DECK PLAN
A7	EXTERIOR ELEVATIONS
A8	EXTERIOR ELEVATIONS
A9	EXTERIOR ELEVATIONS
A10	EXTERIOR ELEVATIONS
A11	BUILDING SECTION
	EXISTING EXTERIOR PHOTOS WITH KEY MAP
	PHOTOMETRIC PLAN EXTERIOR LIGHTING

PROJECT DATA

ASSESSORS PARCEL NUMBER: 202-0-133-060 & 050
 PROJECT ADDRESS: 643 - 637 S. C STREET
 ZONING: DT-G
 OCCUPANCY GROUP: MULTI-FAMILY (R-2) COMMERCIAL (B/ A-2) GARAGE (S-2) APARTMENTS W/ AT GRADE COVERED GARAGE

NUMBER OF STORIES: 6 STORIES
 CONSTRUCTION TYPE: 1A & VA
 FIRE SPRINKLER SYSTEM: NFPA 13
 FIRE ALARM REQUIRED: NFPA 72

PROPERTY ANALYSIS:

SITE AREA (PER LOT)	14,000.0 SF	(0.32 AC)
BUILDING FOOTPRINT	12,712.0 SF	90.8%
PAVING	365.9 SF	2.7%
LANDSCAPING	922.2 SF	6.5%

OPEN SPACE

PLAZA (18.8'x 59.8')	1,126.6 SF
ROOF DECK (29'x 54.8')	1,775.6 SF
PRIVATE DECKS (6'x 8' Min.)	702.9 SF
TOTAL PROVIDED*	3,605.1 SF 25.7%

SITE SETBACKS:

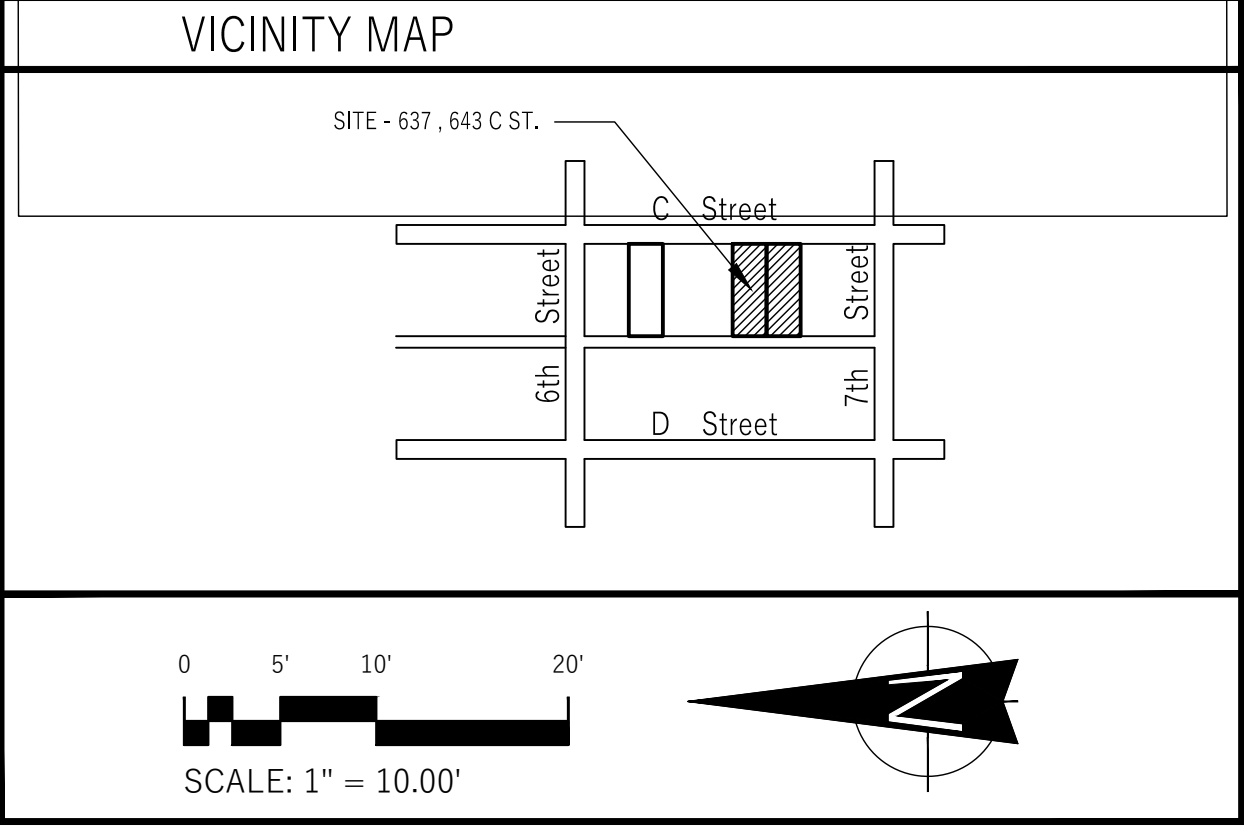
	COMMERCIAL REQ.	COMMERCIAL PROVIDED	RESIDENTIAL REQ.	RESIDENTIAL PROVIDED
FRONT YARD*	0'	0'	0'	0'
SIDE YARD*	0'	1'	10'	10'
REAR YARD WITH ALLEY*	5'	5'	5'	7.5'

BUILDING HEIGHT: 106' MAX
 FRONT YARD PROJECTIONS: 0 0 6-STORIES 73' 36'

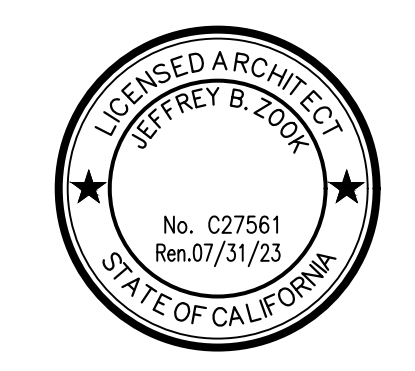
COMMERCIAL RETAIL: 1,738.9 SF
 NUMBER OF UNITS: 36 UNITS - STACKED FLATS

BUILDING ANALYSIS

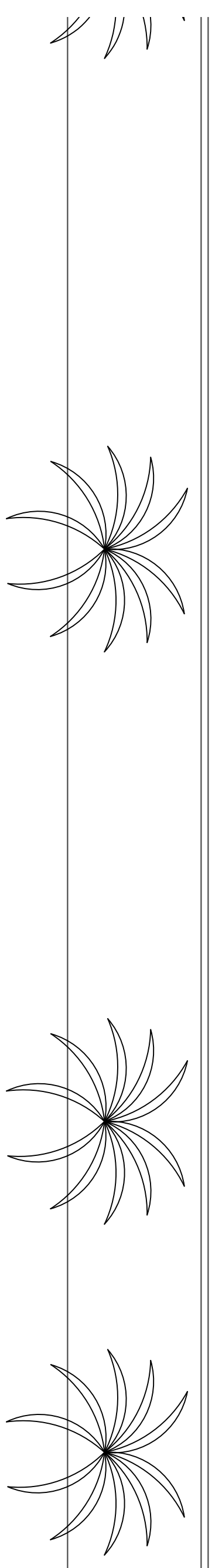
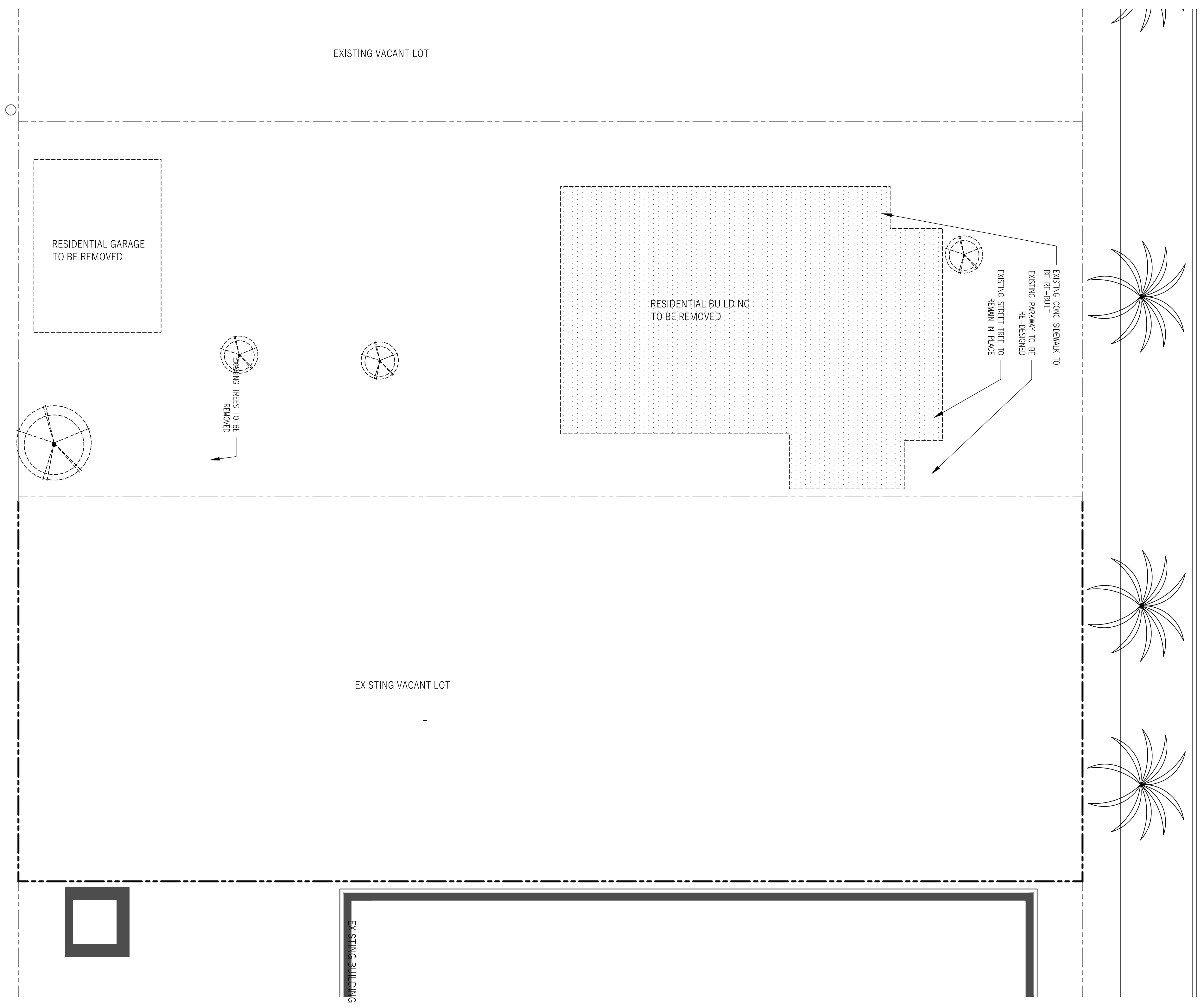
CONST. TYPE/ OC. GRP FLOORS	1A/ S-2,A-2/B 1ST FLOOR	VA/ R-2 2ND FLOOR	VA/ R-2 3RD FLOOR	VA/ R-2 4TH FLOOR	VA/ R-2 5TH FLOOR	VA/ R-2 ROOF
PARKING AREA	9,676.3					
TRASH ENCLOSURE	323.0	39.4	39.4	39.4	39.4	
RETAIL AREA	1,738.9					
UNITS AREA		6,593.3	6,593.3	6,593.3	6,593.3	
COMMON AREA	866.1	723.8	687.2	687.2	687.2	476.5
EXIT CORRIDOR/ PODIUM		2,676.5	1,760.6	1,760.6	1,760.6	
ROOF TERRACE						1,775.6
MECHANICAL AREA						2,520.0
TOTAL	12,604.3	7,317.1	9,764.0	9,764.0	9,764.0	476.5
DECK AREA		2,916.2	722.9	722.9	722.9	
BUILDING TOTAL	49,689.9 SF					



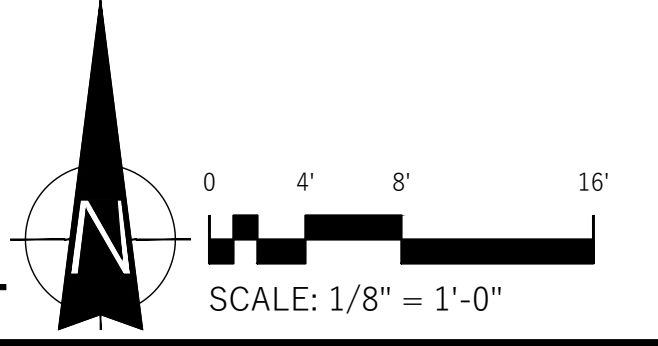
C Street Apartments
 RESIDENTIAL DEVELOPMENT
 643 - 637 S. 'C' STREET OXNARD CA 93030



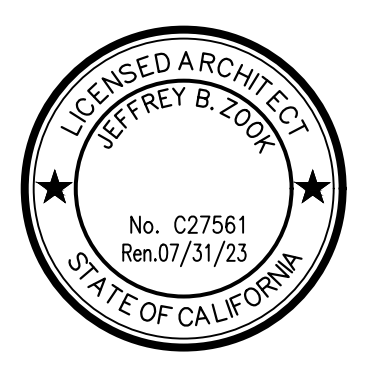
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PROJECT ANALYSIS
 Sheet No:
A-1
 CLIENT: Raul Orozco
 312 Camarillo Dr.
 Camarillo CA 93010
 auzcompany@aol.com
 170903 DEC. 01, 2021



2 EXISTING SITE
1" = 16'-0"



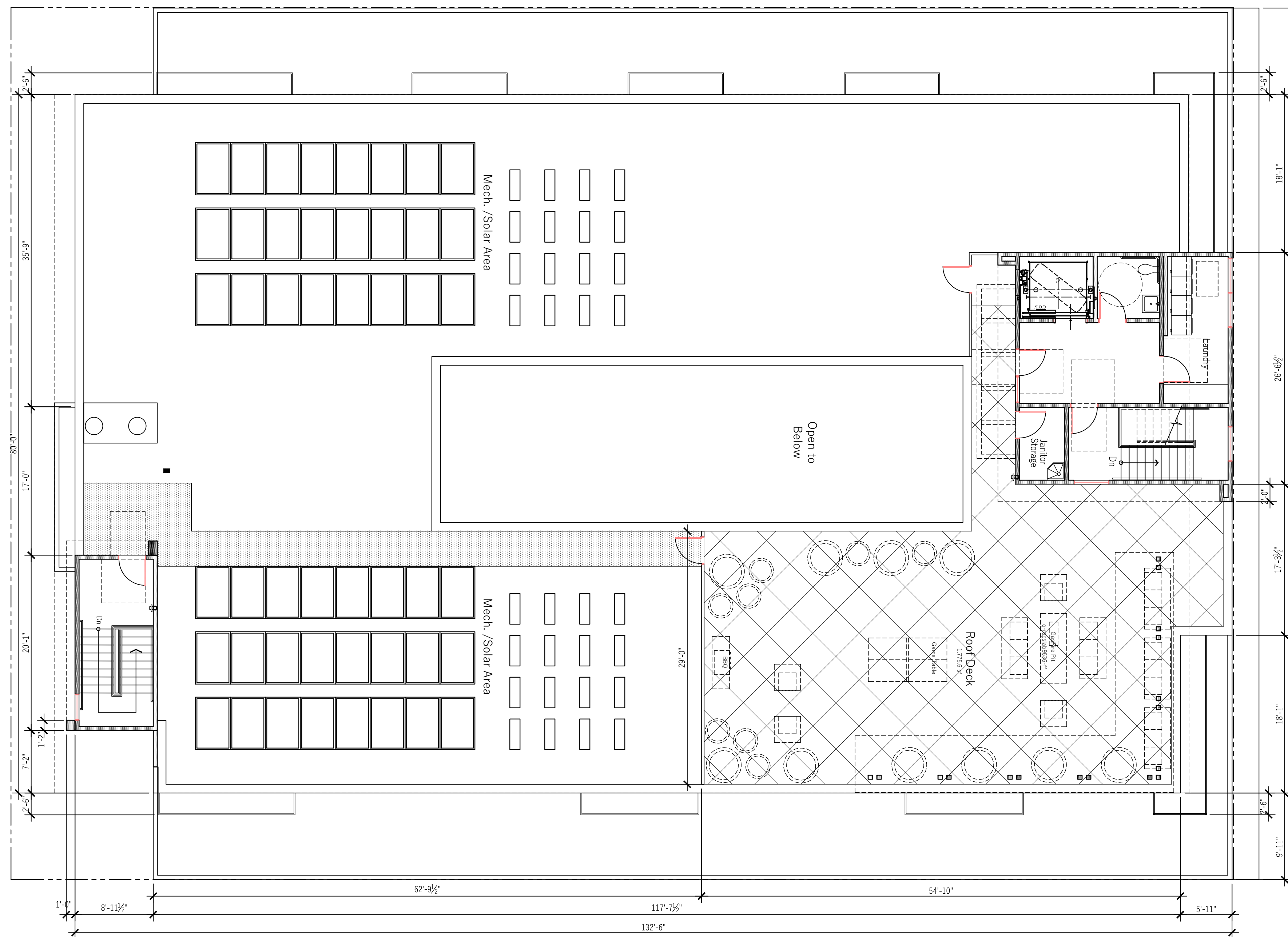
C Street Apartments
RESIDENTIAL DEVELOPMENT
643-637 S. 'C' STREET OXNARD CA 93030



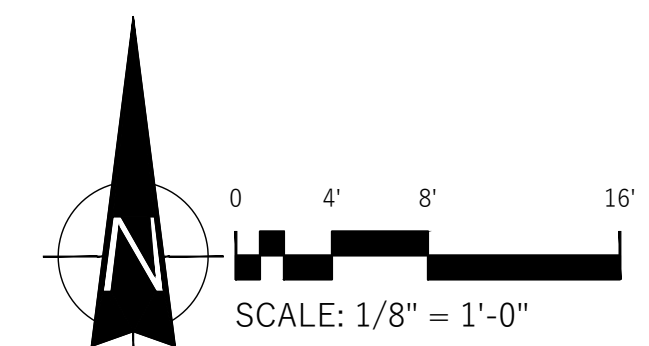
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Sheet No:

A1

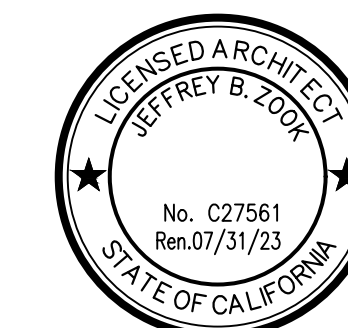
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312 Camarillo Dr.
Camarillo CA 93010
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1 ROOF PLAN
1/8"=1'-0"



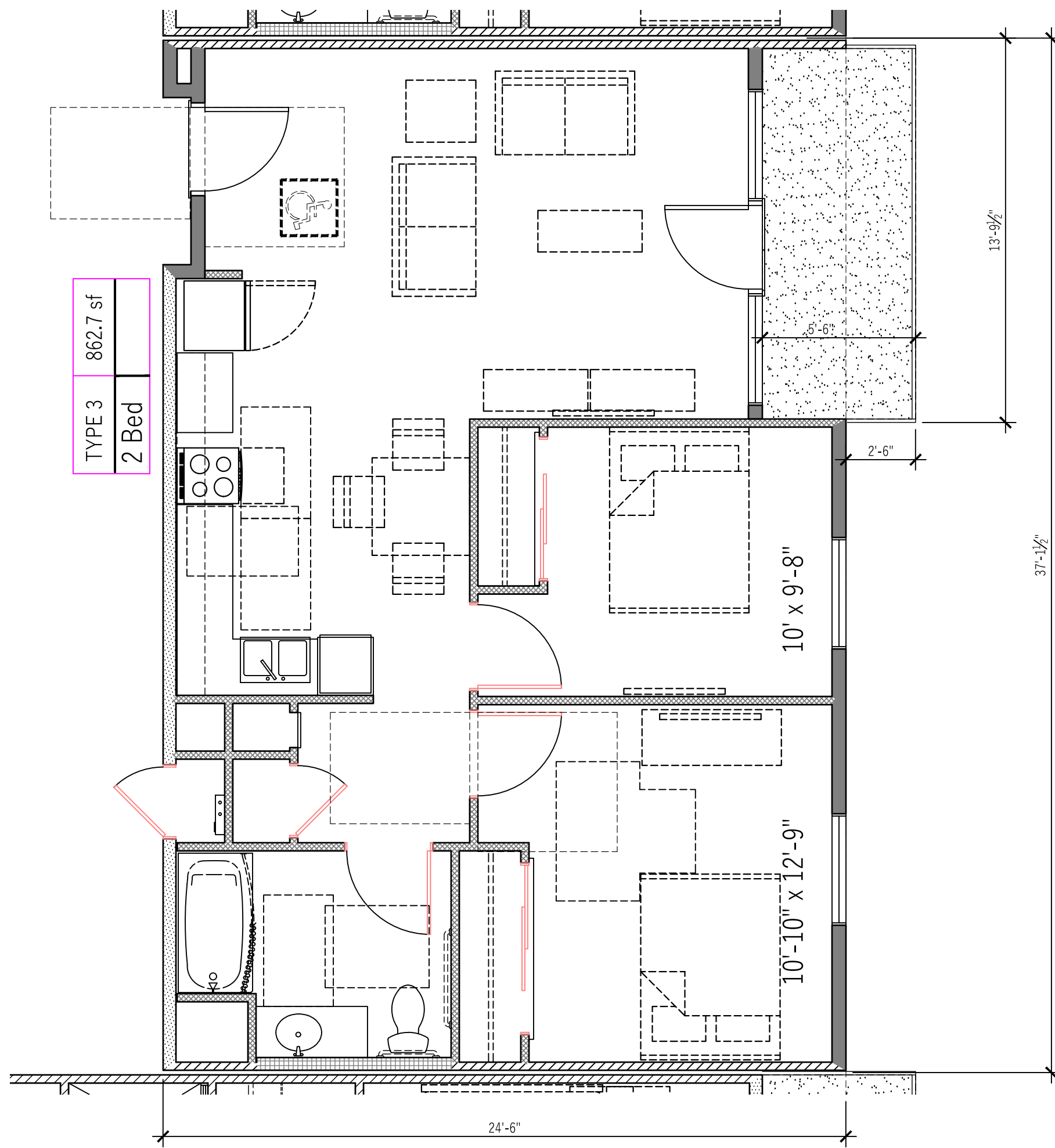
C Street Apartments
RESIDENTIAL DEVELOPMENT
643-637 S. 'C' STREET OXNARD CA 93030



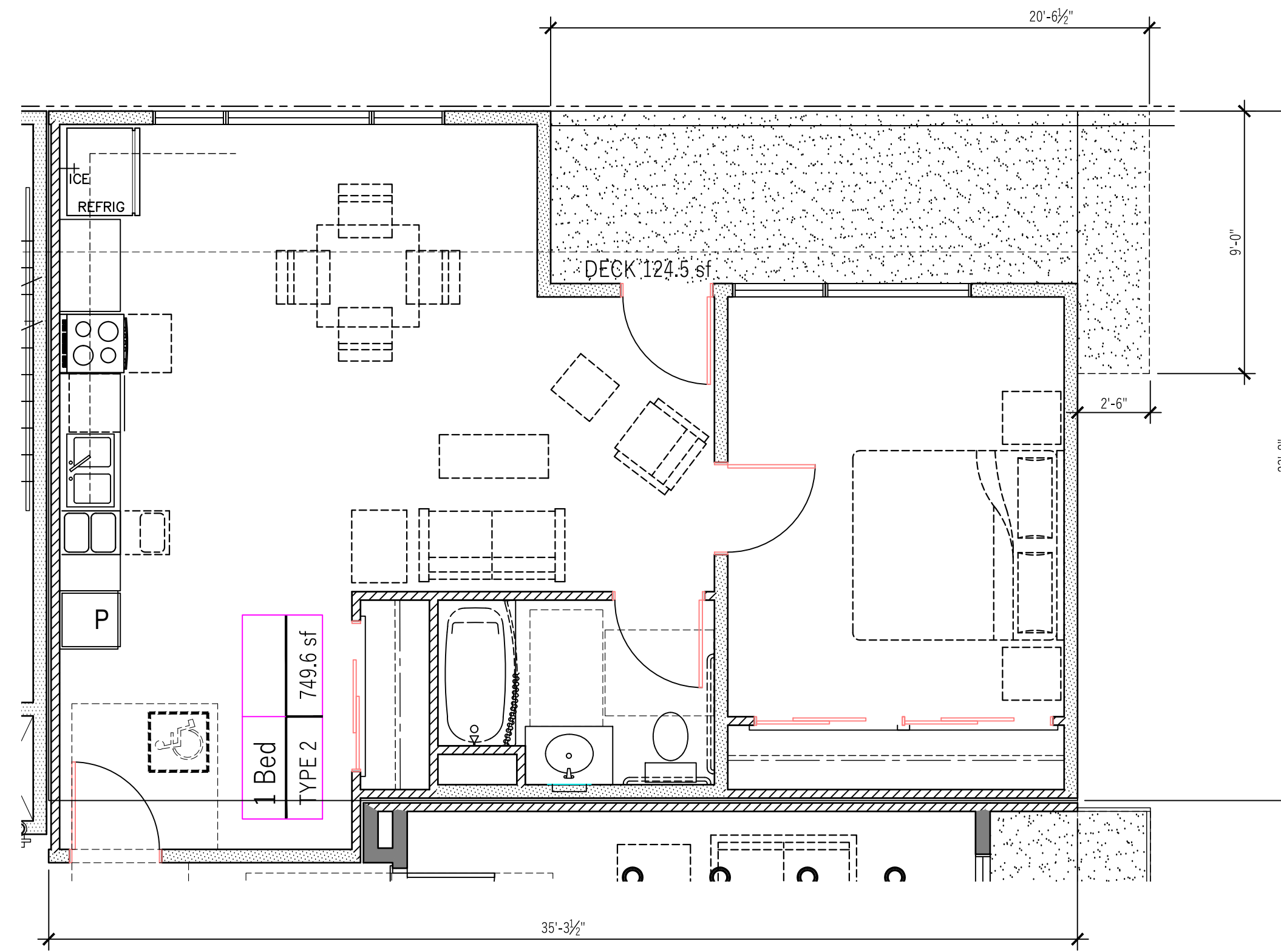
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Sheet No:

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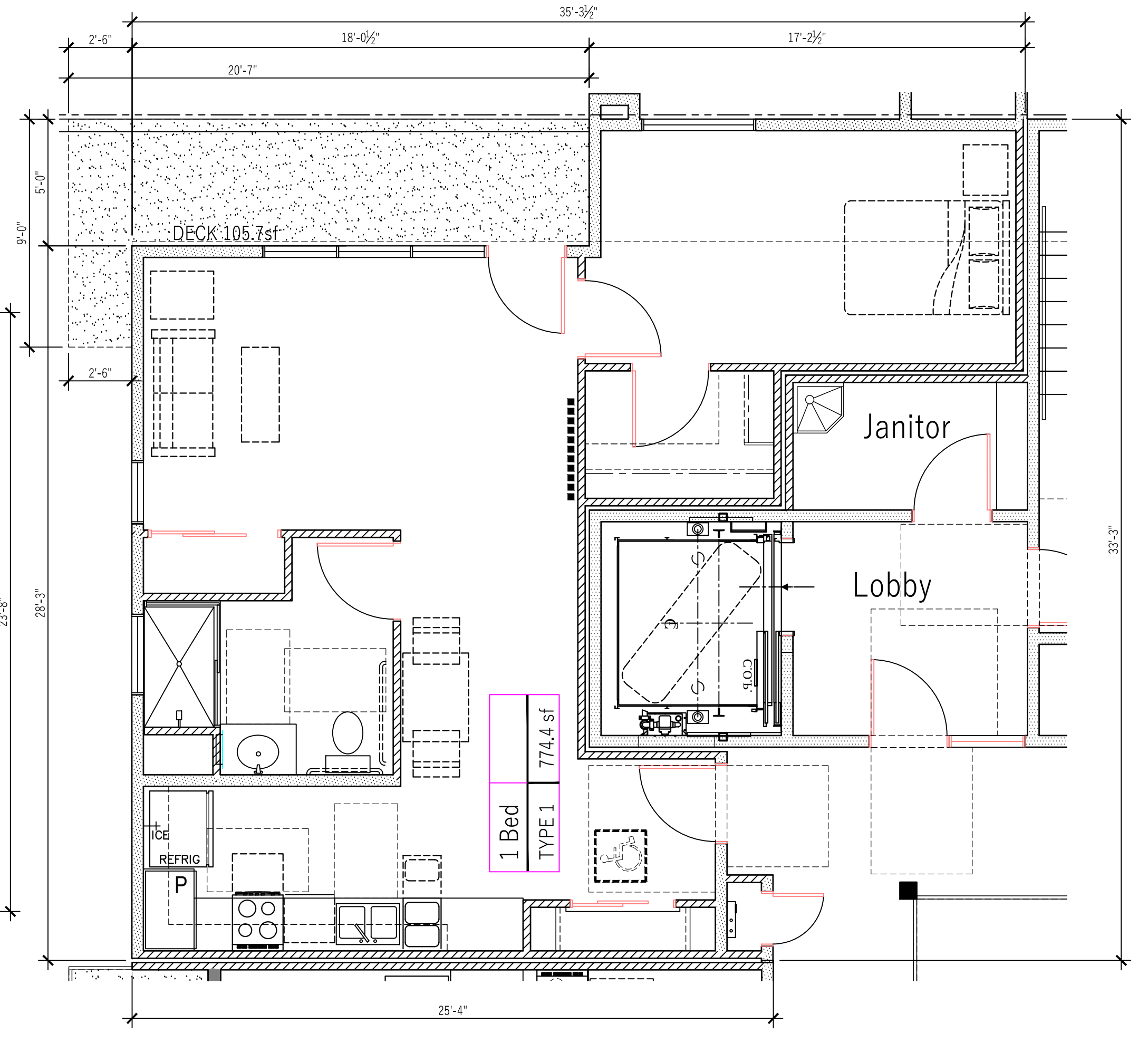
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Camarillo CA 93010
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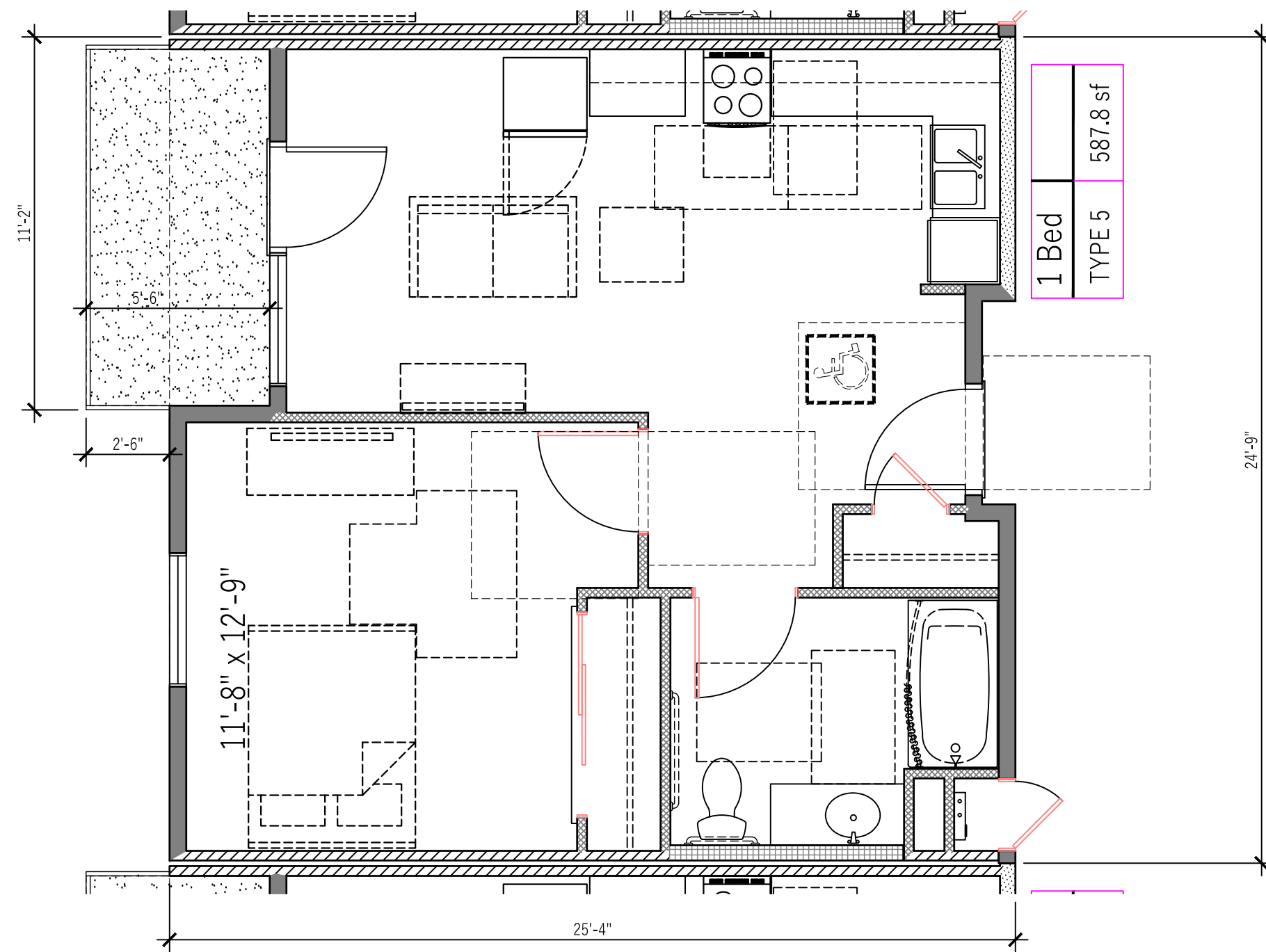
3 UNIT 3 PLAN
1/4"=1'-0"



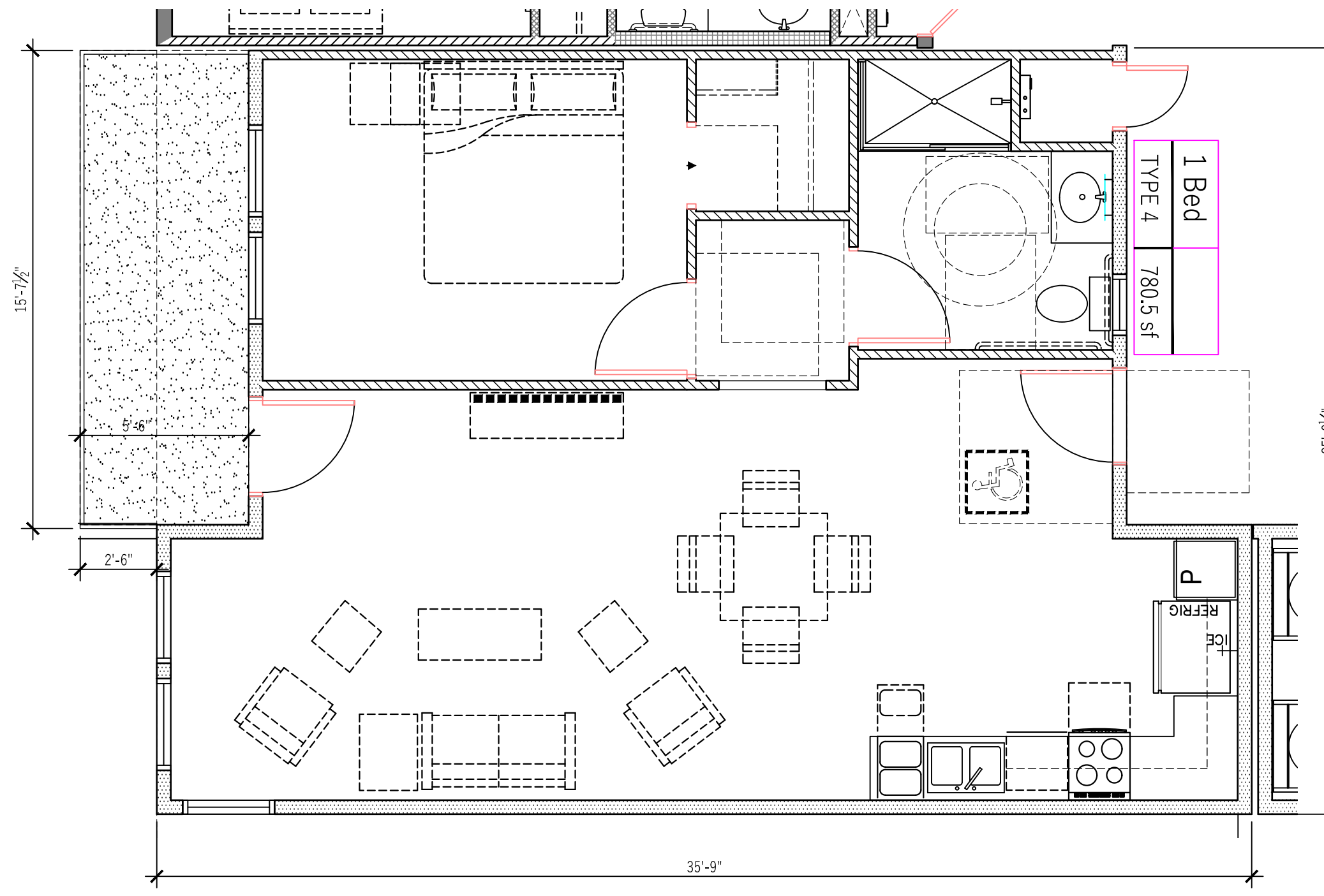
2 UNIT 2 PLAN
1/4"=1'-0"



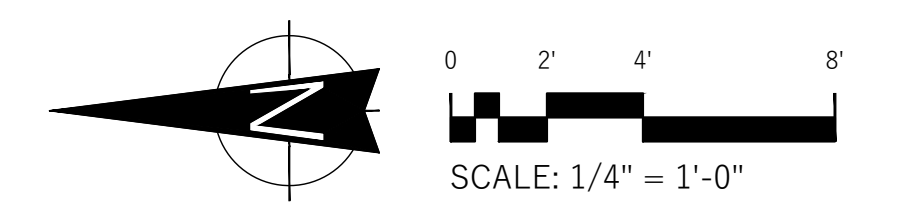
1 UNIT 1 PLAN
1/4"=1'-0"



5 UNIT 5 PLAN
1/4"=1'-0"

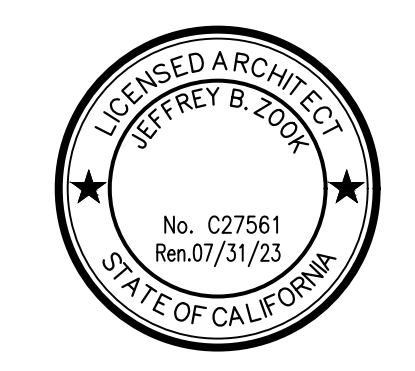


4 UNIT 4 PLAN
1/4"=1'-0"



COASTAL ARCHITECTS

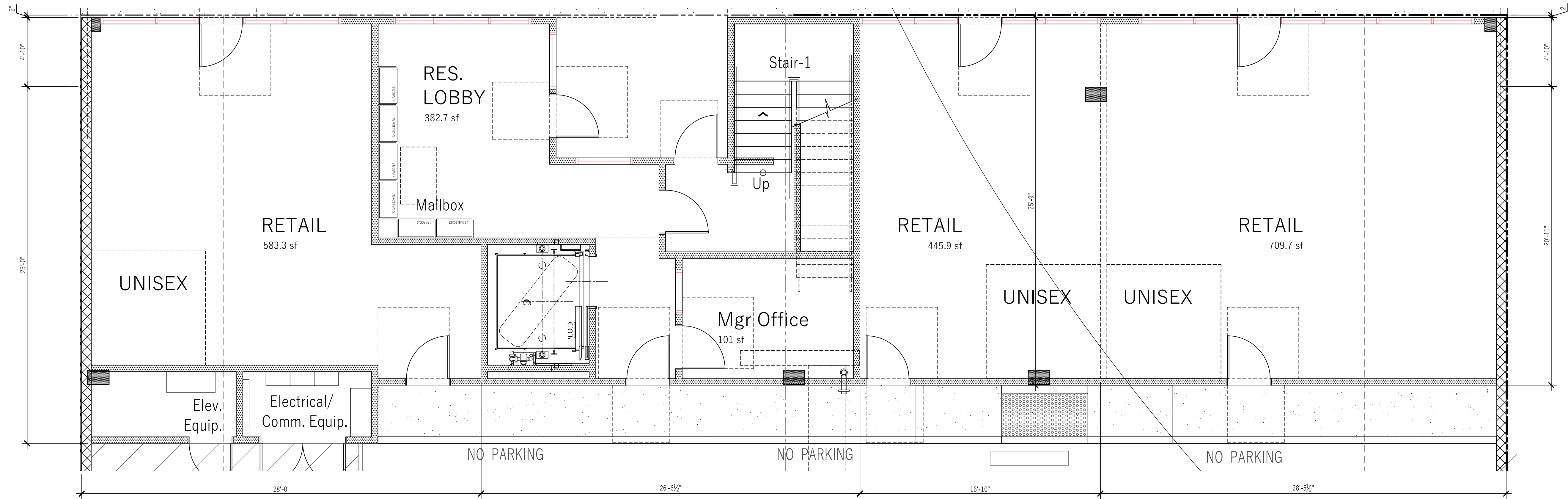
C Street Apartments
RESIDENTIAL DEVELOPMENT
643-637 S. 'C' STREET OXNARD CA 93030



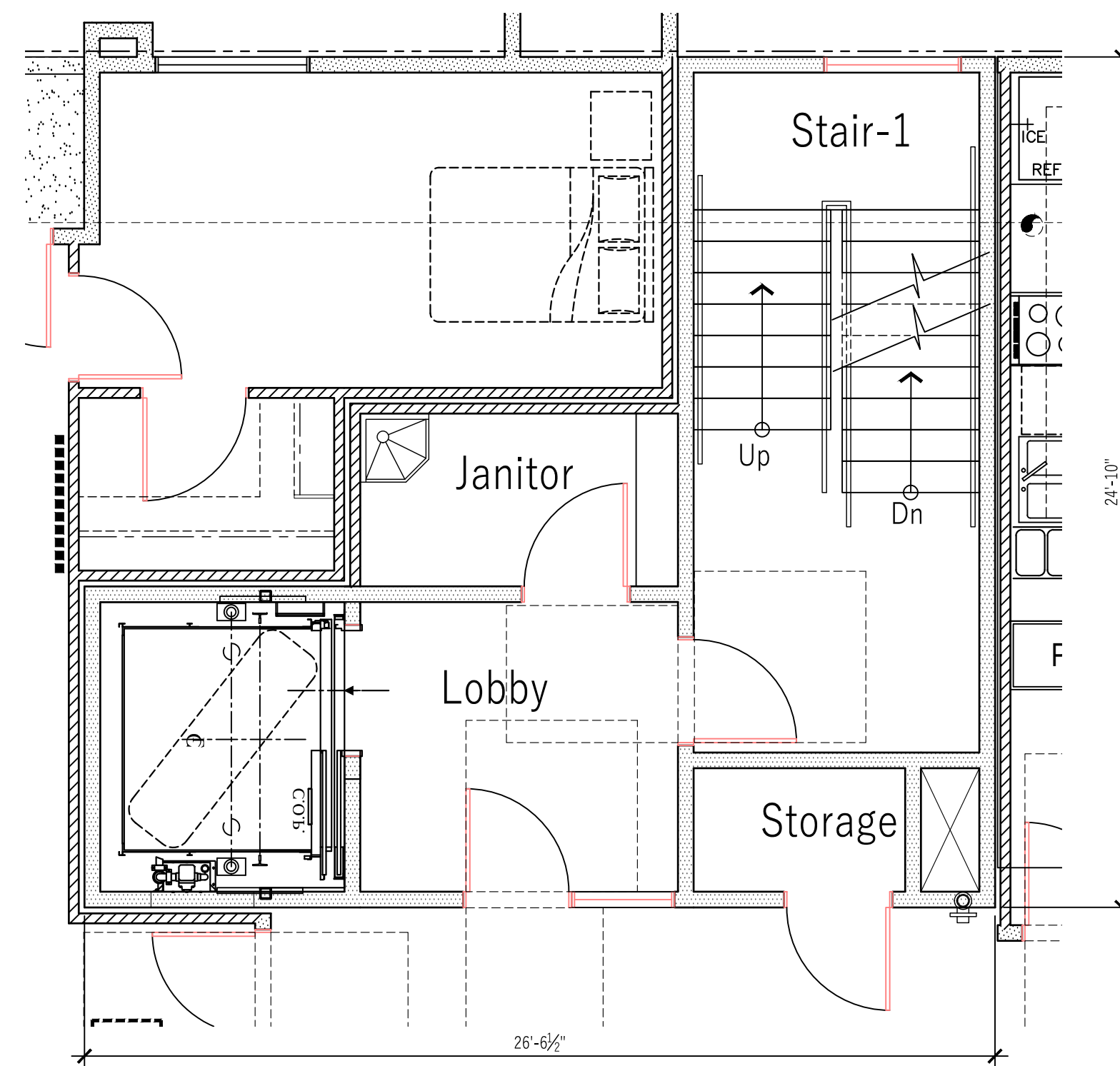
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UNIT PLANS
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A6

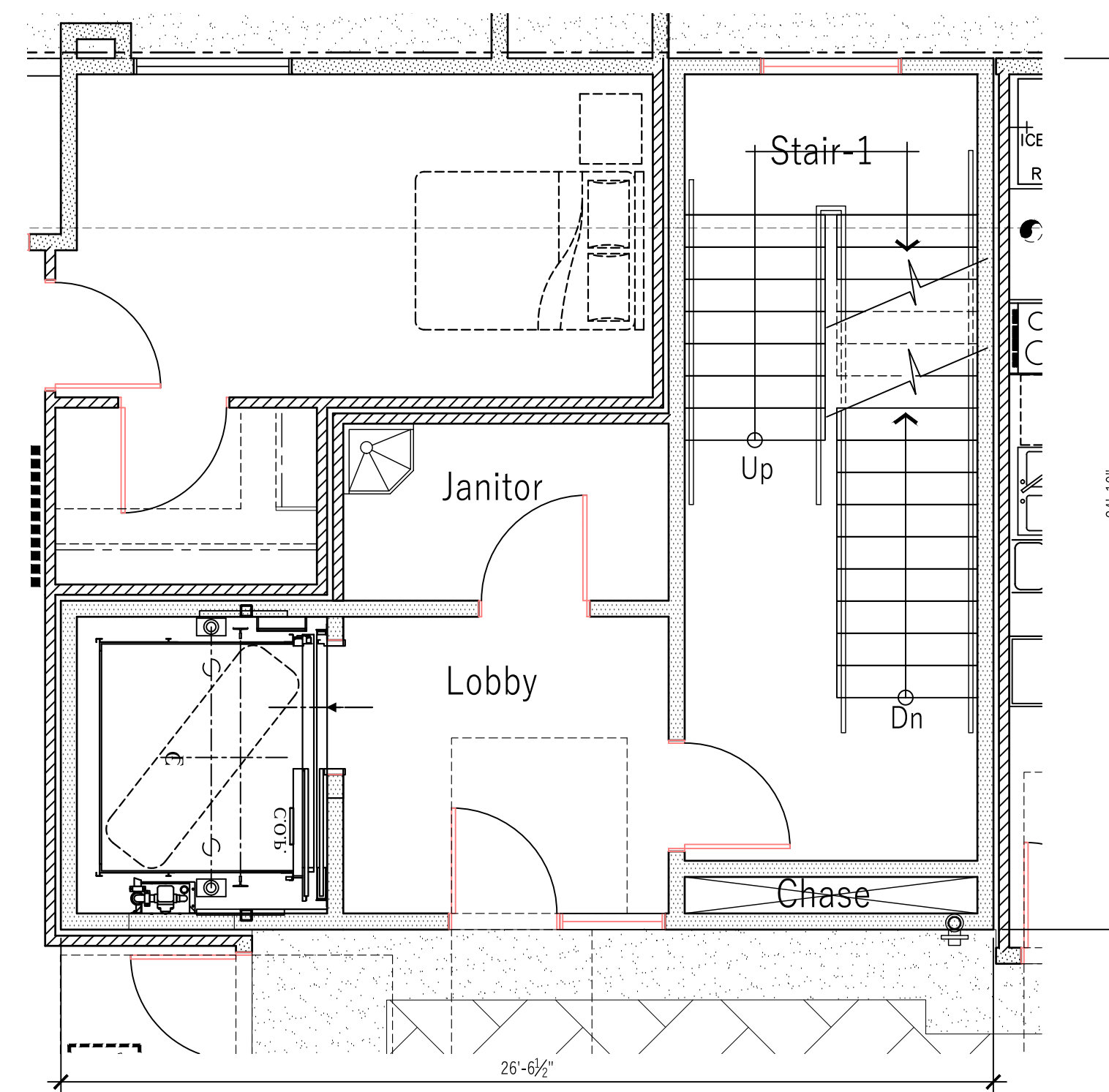
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Camarillo CA 93010
aузcompany@aol.com



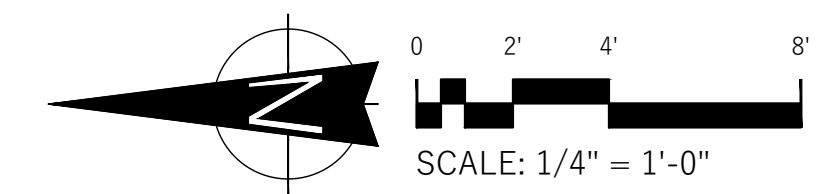
1 FIRST FLOOR - LOBBY / RETAIL
1/4" = 1'-0"



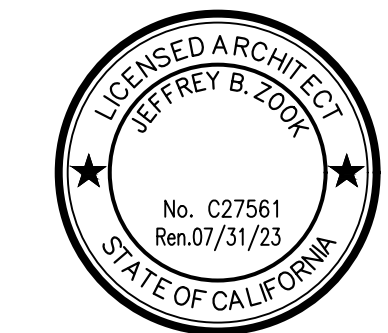
3 3RD-5TH FLOOR LOBBY PLAN
1/4" = 1'-0"



2 2ND FLOOR LOBBY PLAN
1/4" = 1'-0"



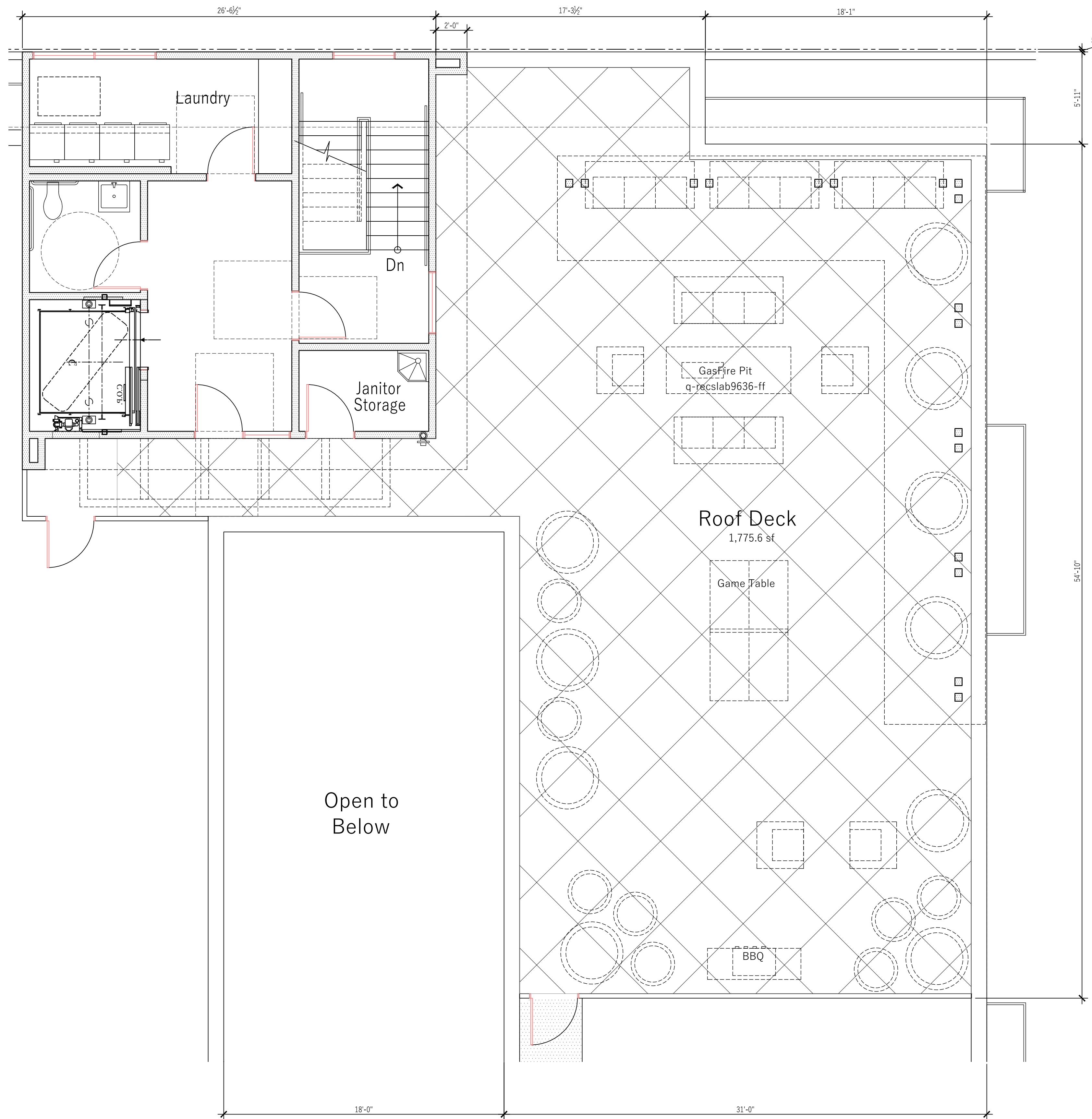
C Street Apartments
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643-637 S. 'C' STREET OXNARD CA 93030



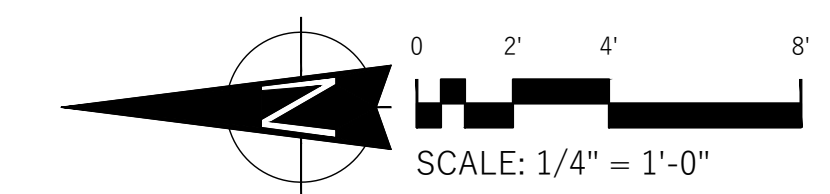
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LOBBY PLANS
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A7

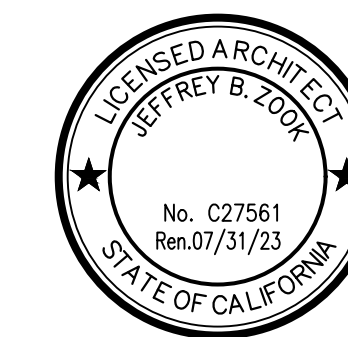
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312 Camarillo Dr.
Camarillo CA 93010
aузcompany@aol.com



1 ROOF DECK / LOBBY PLAN
1/4"=1'-0"



C Street Apartments
RESIDENTIAL DEVELOPMENT
643-637 S. 'C' STREET OXNARD CA 93030



Sheet Title:
ROOF DECK PLAN
Sheet No:

A8

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312 Camarillo Dr.
Camarillo CA 93010
aузcompany@aol.com



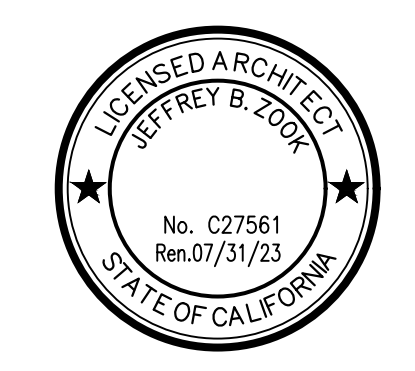
- ELEVATION KEY NOTES**
- 1 ACRYLIC STUCCO FINISH
 - 2 CEMENT FIBER LAP SIDING
 - 3 CEMENT FIBER RIBBED PANEL RAINSCREEN PATTERN DESIGN
 - 4 VINYL WINDOW SYSTEM
 - 5 STAINLESS STEEL HAND RAILING SYSTEM
 - 6 ALUM. STOREFRONT SYSTEM
 - 7 MASONRY WALL W/ GRAFFITI PROOF FINISH 9' A.F.F.
 - 8 TUBE STEEL TRELLIS AT ROOF DECK
 - 9 SIGNAGE LOCATION - UNDER SEPARATE PERMIT
 - 10 ADDRESS W/ CONTRASTING COLOR
 - 11 SECURITY GARAGE DOOR

1 EXTERIOR ELEVATIONS "C" STREET - EAST
 1/8" = 1'-0"



COASTAL ARCHITECTS

C Street Apartments
 RESIDENTIAL DEVELOPMENT
 643 - 637 S. 'C' STREET OXNARD CA 93030



Sheet Title:
 EXTERIOR ELEVATIONS
 Sheet No:

A9

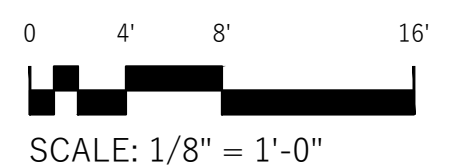
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 312 Camarillo Dr.
 Camarillo CA 93010
 auzcompany@aol.com



ELEVATION KEY NOTES

- 1 ACRYLIC STUCCO FINISH
- 2 CEMENT FIBER LAP SIDING
- 3 CEMENT FIBER RIBBED PANEL RAINSCREEN PATTERN DESIGN
- 4 VINYL WINDOW SYSTEM
- 5 STAINLESS STEEL HAND RAILING SYSTEM
- 6 ALUM. STOREFRONT SYSTEM
- 7 MASONRY WALL W/ GRAFFITI PROOF FINISH 9' A.F.F.
- 8 TUBE STEEL TRELLIS AT ROOF DECK
- 9 SIGNAGE LOCATION - UNDER SEPARATE PERMIT
- 10 ADDRESS W/ CONTRASTING COLOR
- 11 SECURITY GARAGE DOOR

1 EXTERIOR ELEVATIONS - NORTH
1/8" = 1'-0"



COASTAL ARCHITECTS

C Street Apartments
RESIDENTIAL DEVELOPMENT
643-637 S. 'C' STREET OXNARD CA 93030



Sheet Title:
EXTERIOR ELEVATIONS
Sheet No:

A10

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312 Camarillo Dr.
Camarillo CA 93010
aузcompany@aol.com

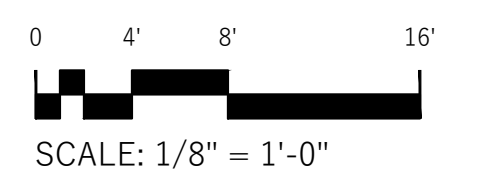
170903 DEC. 01, 2021



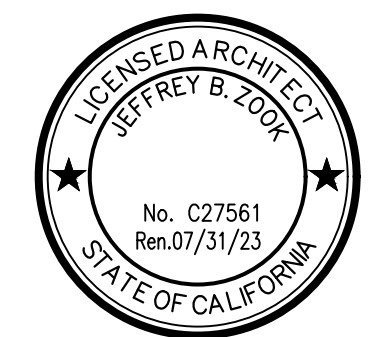
ELEVATION KEY NOTES

- 1 ACRYLIC STUCCO FINISH
- 2 CEMENT FIBER LAP SIDING
- 3 CEMENT FIBER RIBBED PANEL RAINSCREEN PATTERN DESIGN
- 4 VINYL WINDOW SYSTEM
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- 9 SIGNAGE LOCATION - UNDER SEPARATE PERMIT
- 10 ADDRESS W/ CONTRASTING COLOR
- 11 SECURITY GARAGE DOOR

1 EXTERIOR ELEVATIONS - SOUTH
1/8"=1'-0"



C Street Apartments
RESIDENTIAL DEVELOPMENT
643-637 S. 'C' STREET OXNARD CA 93030



Sheet Title:
EXTERIOR ELEVATIONS
Sheet No:

A11

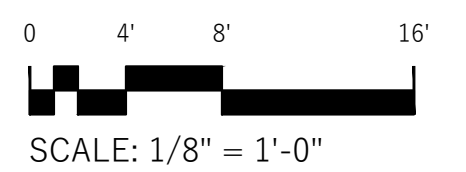
CLIENT: Raul Orozco
312 Camarillo Dr.
Camarillo CA 93010
aузcompany@aol.com



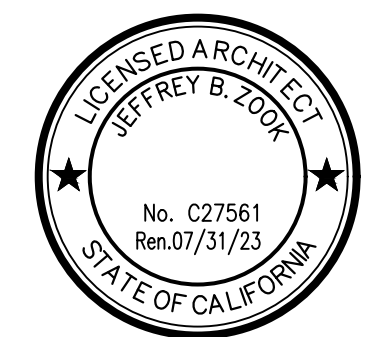
 ELEVATION KEY NOTES

- 1 ACRYLIC STUCCO FINISH
- 2 CEMENT FIBER LAP SIDING
- 3 CEMENT FIBER RIBBED PANEL RAINSCREEN PATTERN DESIGN
- 4 VINYL WINDOW SYSTEM
- 5 STAINLESS STEEL HAND RAILING SYSTEM
- 6 ALUM. STOREFRONT SYSTEM
- 7 MASONRY WALL W/ GRAFFITI PROOF FINISH 9' A.F.F.
- 8 TUBE STEEL TRELLIS AT ROOF DECK
- 9 SIGNAGE LOCATION - UNDER SEPARATE PERMIT
- 10 ADDRESS W/ CONTRASTING COLOR
- 11 SECURITY GARAGE DOOR

1 EXTERIOR ELEVATION ALLEY - WEST
1/8"=1'-0"



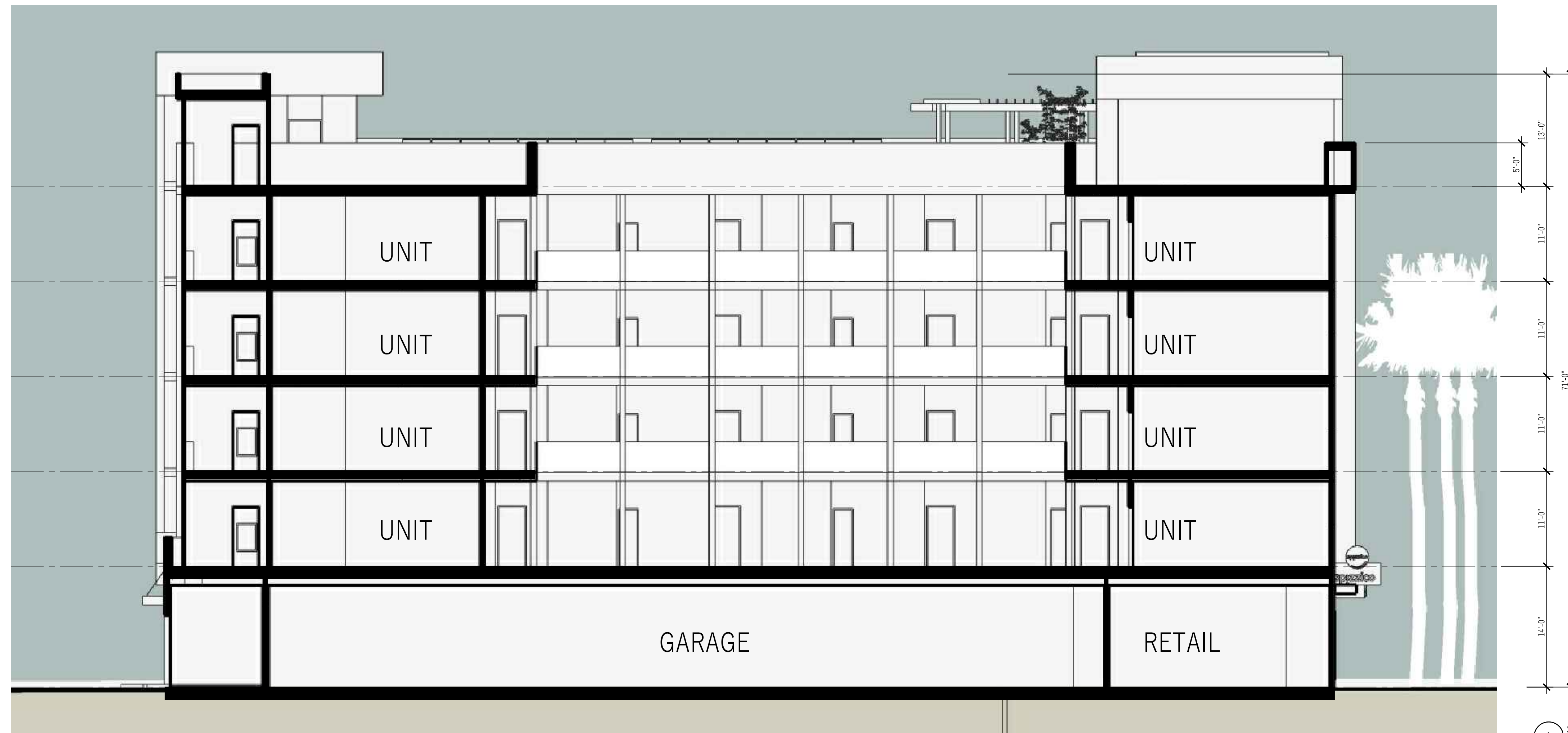
C Street Apartments
RESIDENTIAL DEVELOPMENT
643-637 S. 'C' STREET OXNARD CA 93030



Sheet Title:
EXTERIOR ELEVATIONS
Sheet No:

A12

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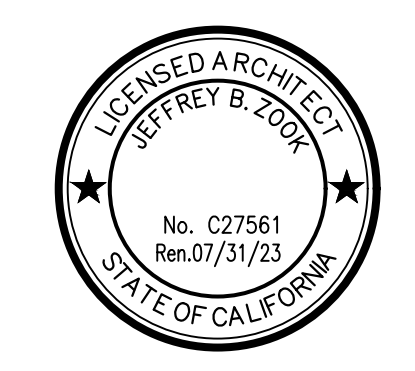


1 SECTION A - A
1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



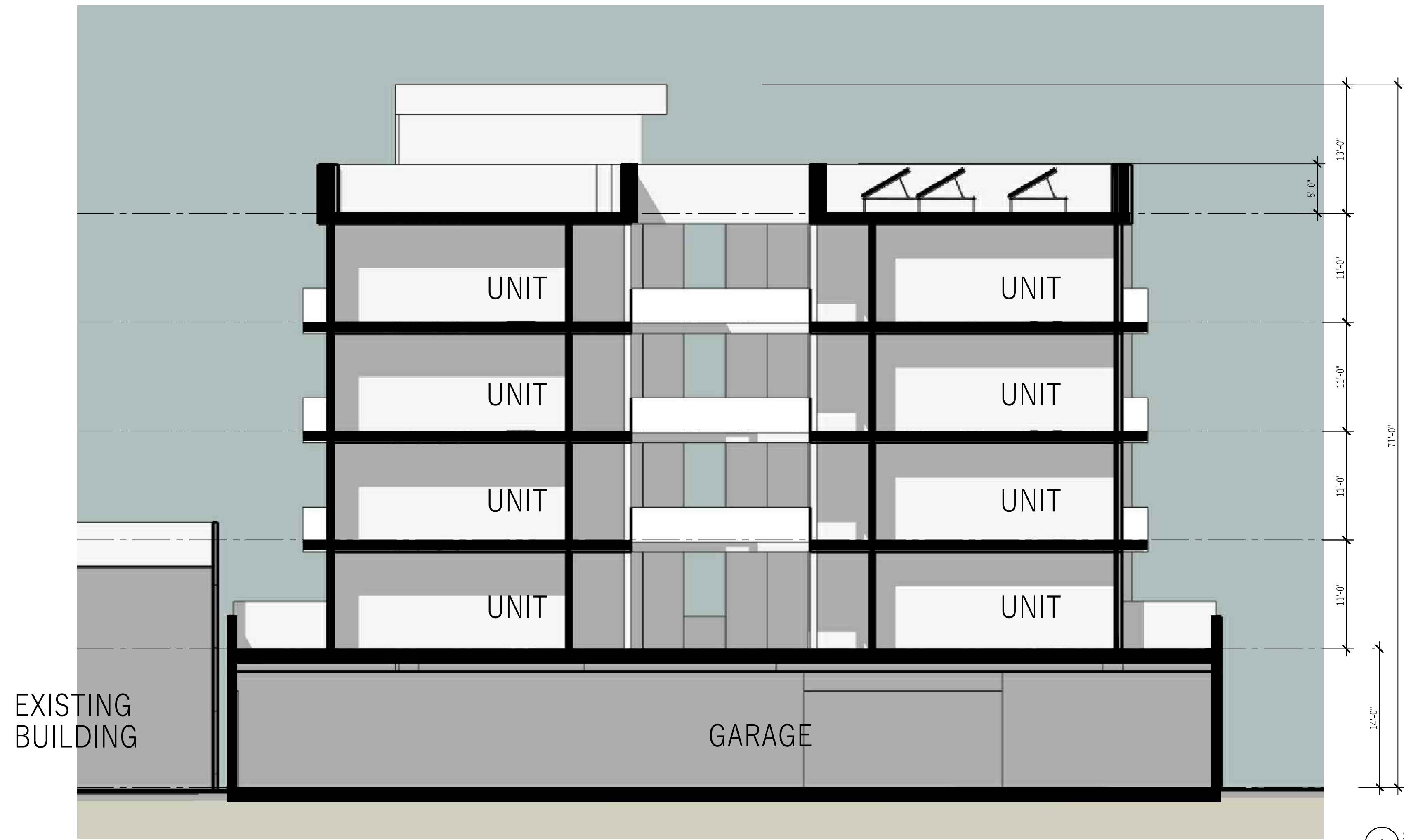
C Street Apartments
 RESIDENTIAL DEVELOPMENT
 643-637 S. 'C' STREET OXNARD CA 93030



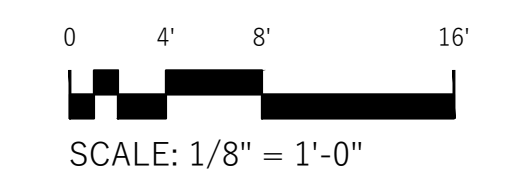
Sheet Title:
 EXTERIOR ELEVATIONS
 Sheet No:

A13

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 312 Camarillo Dr.
 Camarillo CA 93010
 auzcompany@aol.com



1 SECTION B-B
1/8" = 1'-0"

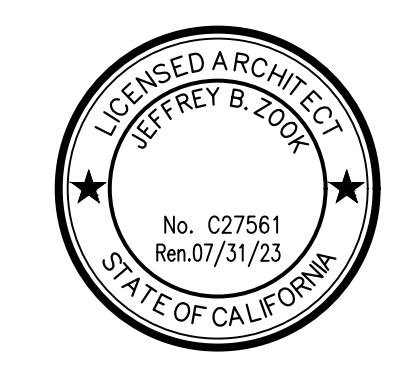


COASTAL ARCHITECTS

1567 SPINNAKER DRIVE, SUITE 204 VENTURA CA 93003 www.coastalarch.com TEL: 805.985.7654 FAX: 805.201.3023 ARCHITECT: JEFF ZOOK EMAIL: jeff@coastalarch.com PRINCIPAL PLANNER: MIKE SANCHEZ EMAIL: mike@coastalarch.com

C Street Apartments

RESIDENTIAL DEVELOPMENT
643-637 S. 'C' STREET OXNARD CA 93030



Sheet Title:
EXTERIOR ELEVATIONS
Sheet No:

A14

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312 Camarillo Dr.
Camarillo CA 93010
aузcompany@aol.com

170903 DEC. 01, 2021

Planting Legend

TREES

- (E) Mexican Fan Palm to be Relocated
- (E) Mexican Fan Palm to be Removed
- (E) Carrot Wood to be Removed
- Podocarpus gracillior - Fern Pine
- 8" BT Archontophoenix alexandriae - King Alexander Palm
- 18" Box Ficus religiosa - Bronze Loquat Multi Trunk

SHRUBS & VINES

- Chamaecyparis humilis - Mediterranean Fan Palm
- Raphiopholis indica 'Jack Evans'
- Indian Hawthorn
- Raphiopholis indica 'Clara'
- Indian Hawthorn
- Nerium oleander 'betie pink'
- Oleander
- Nerium oleander 'Petie Salmon'
- Phormium t. 'Dusky Chief'
- Phormium t. 'Maori Queen'
- Red Flax

GROUNDCOVERS

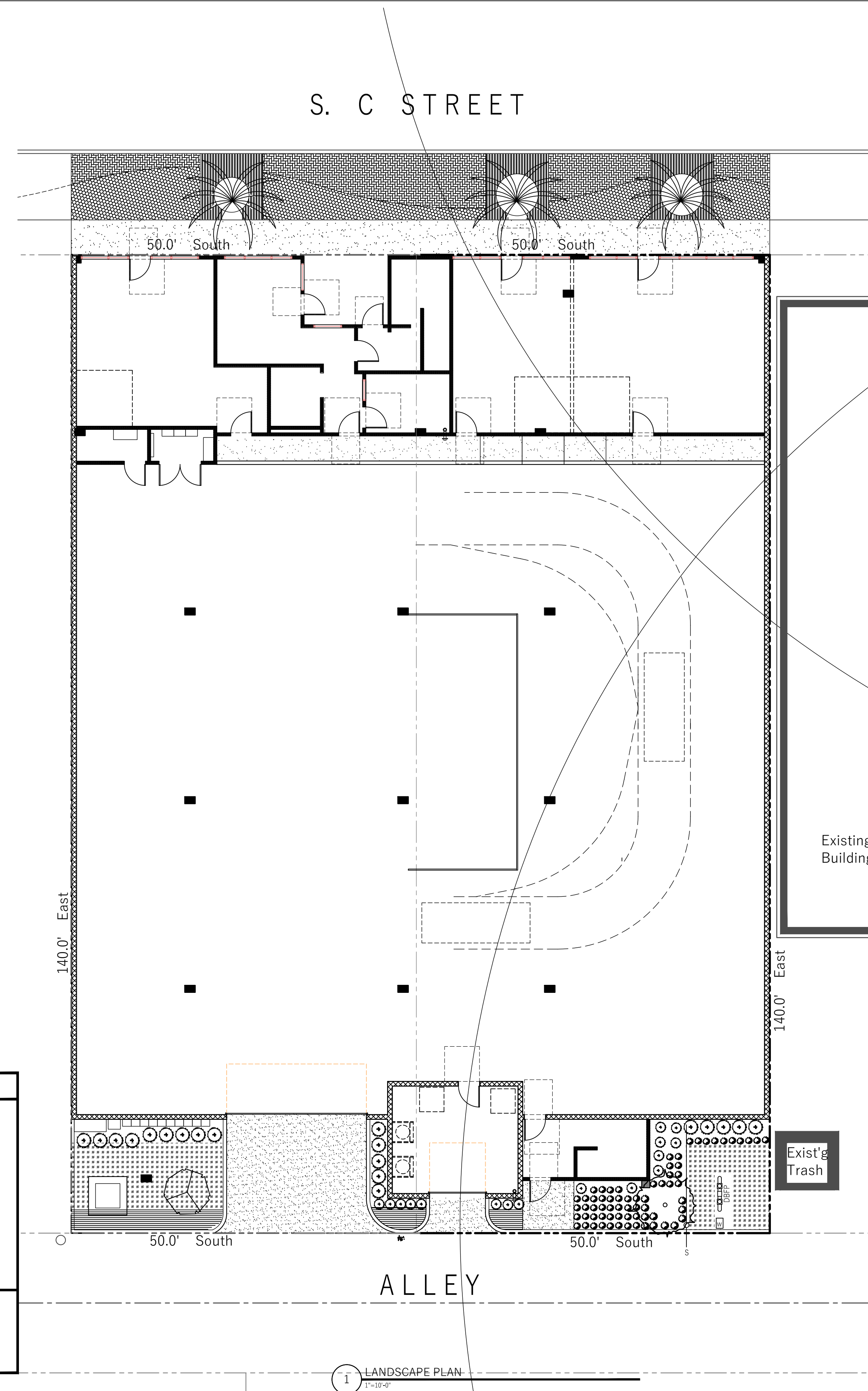
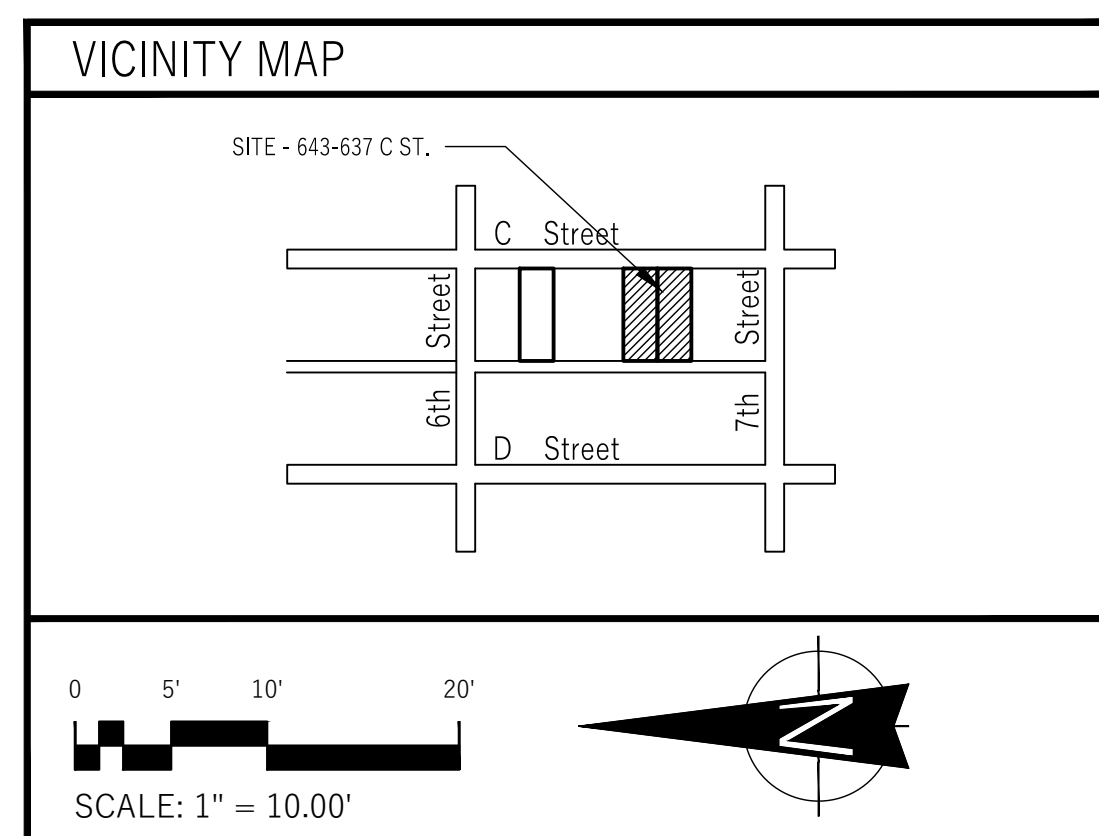
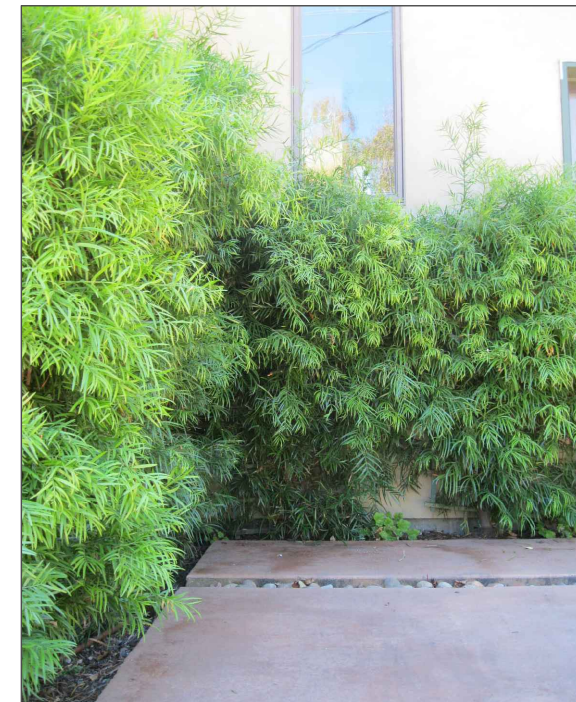
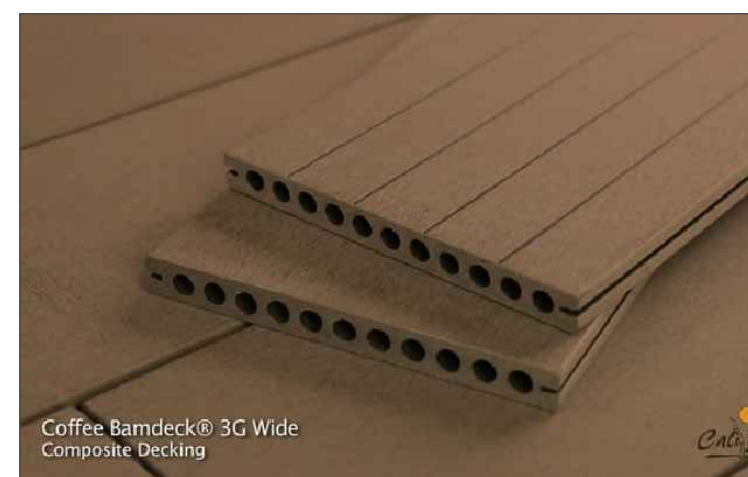
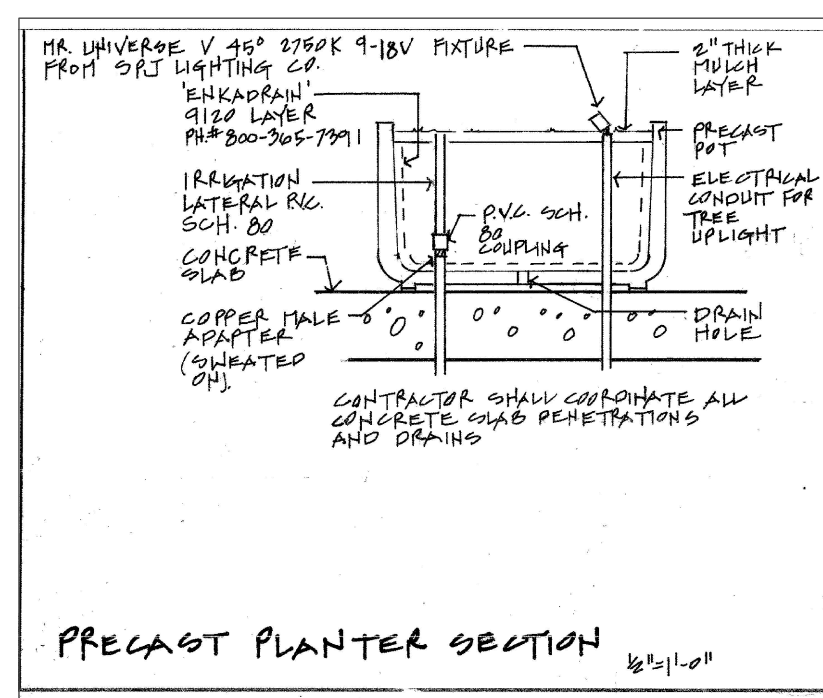
- 12" o.c. Lampranthus productus - Purple Productus
- 12" o.c. Vinca minor - Purple Periwinkle
- 12" o.c. Lantana monte 'purple and white'
- Trailing Lantana 50/50 mix

Pot configurations



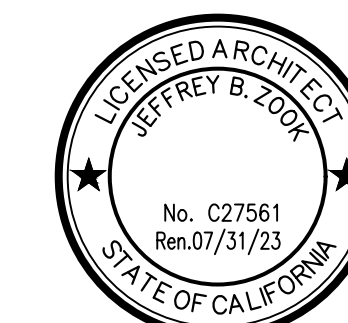
Planting Notes

- The work to be performed under this contract shall include furnishing all labor, materials, tools, machinery and Equipment necessary to completely install plants, turf, mowstrips, etc. as shown on the plans.
- Landscape contractor and all of his subcontractors shall comply with all state and local codes, ordinances and regulations.
- Landscape contractor and all of his subcontractors shall store all garbage generated from site construction out of site from street and completely remove all garbage generated from construction upon completion and prior to beginning of maintenance period.
- PLANTS - All plant material shall be well established, vigorous, of normal growth habit and free of disease and/or insect infestation. Plants shall have normal, healthy root systems filling their container, but without being rootbound. Plants that do not comply with these conditions shall be removed from the site and replaced at no cost to the owner.
- In the case of a discrepancy, the number of plants shown on the plan shall take precedent over the plant count shown on the callout. Landscape Contractor shall be responsible for supplying plants actually shown on plan without additional cost to the Owner.
- Trunk Guard required on all trees in turf areas. Manufactured by Deep Root Corp. or equal. Size and installation per manufacturer specifications and details.
- MULCH - Topdress all shrub areas with 2" layer of shredded mulch equal to Agromin ES2 Mulch (800)482-8749.
- Thirty days after installation, fertilize landscape areas with Best Fert. Co. 16-6-8 applied at the rate recommended by manufacturer or as specified in soil analysis. Fertilizer applications to continue thereafter at rate recommended by manufacturer.
- Contractor to contact the Parks and Facilities Division for inspection and approval of all trees prior to planting. Allow 48 hours notice. (805) 385-7956.
- Soil Amendment - Introyzed
- Organic soil amendment (AGROMEND or equal) shall be rototilled into the top six inches of soil after finish grade has been established. For turf and shrub areas with slopes less than 2:1, rototill at the following rates per 1000 square feet. For SLOPES of 2:1 or greater, broadcast and scarify into the top 2" of topsoil. These amounts are for bidding purposes only. Landscape contractor shall provide an agronomic soil test per instructions in specifications: Planting Materials, A.
- GENERAL SOIL PREPARATION: 4 cy nitrogen stabilized redwood, fir or cedar shavings 25 lbs. soil sulphur 150 lbs. 5-3-1 Gro-Power Fertilizer 25 lbs./cy nagi, Gypsum BACKFILL MIX: To be incorporated into plant holes at time of planting.
- Non Acidic Plants: 4 parts Introyzed amendment 6 parts Native Soil Gro-power 5-3-1 Iron sulphate Agri, Gypsum (All fertilizers and soil additives to be incorporated per the recommendations of the manufacturer)
- Acidic Plants (such as ferns, azaleas, camellias, etc.) 2 part peatmoss 1 part sharp sand Turf Supreme Sequestrene Fe 330 Iron Chelate (All fertilizers and soil additives to be incorporated per the recommendations of the manufacturer)
- Landscape shall comply with all applicable City of Oxnard Parks Landscape Standards.



COASTAL ARCHITECTS

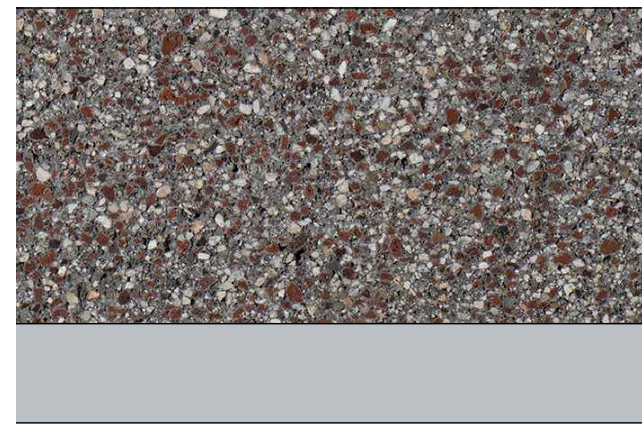
C Street Apartments
RESIDENTIAL DEVELOPMENT
643-637 S. 'C' STREET OXNARD CA 93030



Sheet Title:
LANDSCAPE PLAN
Sheet No:

L1

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312 Camarillo Dr.
Camarillo CA 93010
aузcompany@aol.com



EXPOSED MASONRY WALL
ONYX BURNIS
GRAY MORTAR
WITH ANTI GRAFFITI COATING

A



CEMENT FIBER PANEL SIDING
JAMES HARDIE - AGED PEWTER

B

SW 7005
Pure White
Interior / Exterior
Location Number: 255-C1

ACRYLIC STUCCO
SHERWIN WILLIAMS
EXTERIOR PAINT

C

SW 7641
Colonnade Gray
Interior / Exterior
Location Number: 283-C2

ACRYLIC STUCCO
SHERWIN WILLIAMS
EXTERIOR PAINT

D

SW 7637
Oyster White
Interior / Exterior
Location Number: 254-C7

ACRYLIC STUCCO
SHERWIN WILLIAMS
EXTERIOR PAINT

E

SW 7060
Attitude Gray
Interior / Exterior
Location Number: 237-C5

ACRYLIC STUCCO
SHERWIN WILLIAMS
EXTERIOR PAINT

F



CEMENT FIBER RIBBED PANEL
RAIN SCREEN SYSTEM
PAINTED

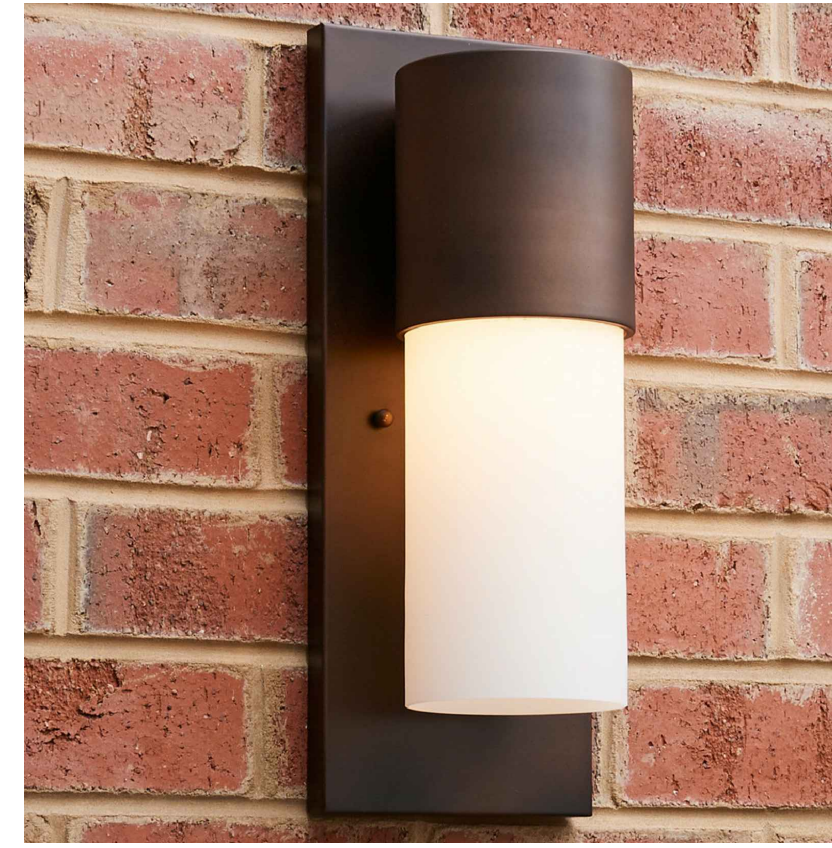
G

SW 6244
Naval
Interior / Exterior
Location Number: 253-C6



LIGHTING
SECURITY AT ALLEY

J



LIGHTING AT UNIT ENTRY
WALL MOUNTED SCONES

K



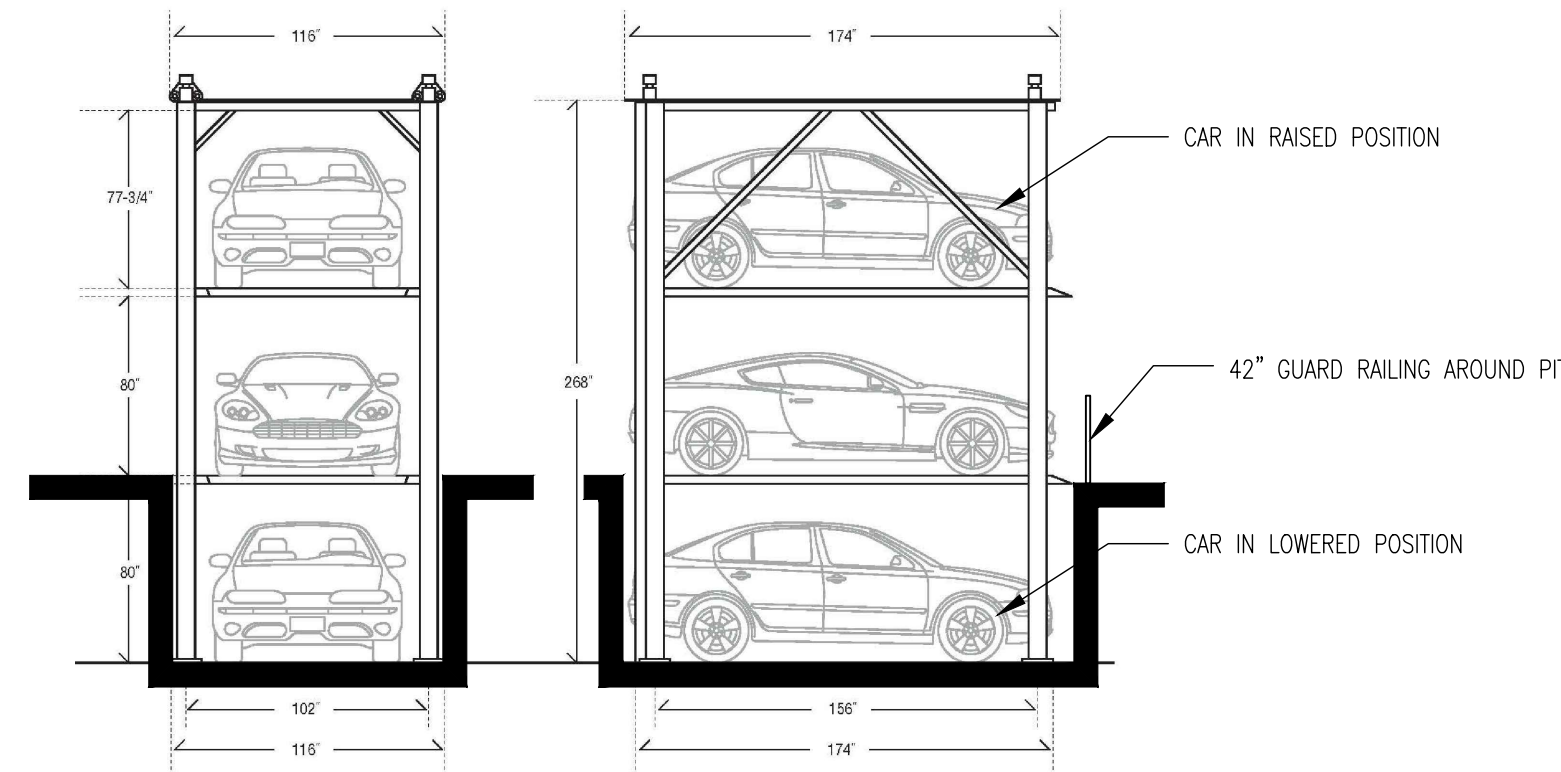
LIGHTING AT BUILDING
WALL MOUNTED SCONES
UP AND DOWN LIGHTING

L



STAINLESS STEEL
HAND RAILING SYSTEM

M



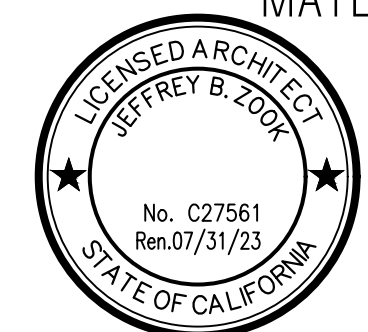
CAR LIFT

N



COASTAL ARCHITECTS

C Street Apartments
RESIDENTIAL DEVELOPMENT
643-637 S. 'C' STREET OXNARD CA 93030



Sheet Title:
MATERIALS/ LIGHTING/ COLORS
Sheet No:

A13

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312 Camarillo Dr.
Camarillo CA 93010
aузcompany@aol.com



SOUTH - ALLY AT VACANT LOT ①



SOUTHEAST - ALLEY AT LOT ②



EAST - AT ADJACENT VACANT LOT ③



WEST - C STREET ④



WEST - ADJACENT BUILDING ⑤



VICINITY SITE MAP

Oxnard Downtown Code – Downtown General Zone			
PZ-20-200-19 & 21-310-10: 637/643 South C Street Apartments Project			
DT-G Zone	Required/Allowed		
Overlay Zone	Choose All Applicable: NA	--	DT-G

Site Design, Building Size and Massing			
Code Section/Figure/Table		Required/Allowed	Proposed Project
<u>Figure 16-147.4.A</u>	<u>Lot Size (With Alley Access)</u>		
	Width (interior lot, other)	25 feet minimum/200 feet maximum	100'
	Width (Corner)	add 10% to minimum	
	Width (interior lot, SF attached)	75 feet minimum/160 feet maximum	
	Width (interior lot, SF detached)	150 feet maximum	
	Depth	100 feet minimum/140 feet maximum	140'
<u>Figure 16-147.4.A</u>	<u>Lot Size (Without Alley Access)</u>		N/A
	Width (interior lot)	50 feet minimum/150 feet maximum	
	Width (corner lot)	add 10% to minimum	
	Depth	90 feet minimum/140 feet maximum	
<u>Figure 16-147.4.B</u>	<u>Building Setbacks (Residential)</u>		
	Ground Floor Primary Street (Build-to Line)	10 feet to 15 feet	N/A
	Ground Floor Side Street (Build-to Line)	10 feet to 15 feet	N/A

	Ground Floor Side Yard	7 feet minimum	N/A
	Ground Floor Rear with Alley	5 feet minimum	N/A
	Ground Floor Rear without Alley	15 feet minimum	N/A
	Upper Story Side Yard Setback	10 feet minimum	10'
	Distance Between Facing Garages on Alley	25 feet minimum	N/A
	Amount of Facade at Build-to-Line	70 percent minimum	75%
	Roof Deck Setback From Facades	0 feet minimum	0'
<u>Figure 16-147.4.B</u>	<u>Building Setbacks (Non-Residential)</u>		
	Ground Floor Primary Street (Build-to Line)	0 feet or 10 feet	10'
	Ground Floor Side Street (Build-to Line)	0 feet to 10 feet	N/A
	Ground Floor Side Yard	0 feet	1"
	Ground Floor Rear with Alley	5 feet minimum	5'
	Ground Floor Rear without Alley	15 feet minimum	N/A
	Upper Story Side Yard Setback	0 feet minimum	1"
	Distance Between Facing Garages on Alley	25 feet minimum	16'
	Amount of Facade at Build-to-Line Frontage	70 percent minimum	75%

	Roof Deck Setback From Facades	0 feet minimum	0
Figure 16-147.4.E	<u>Above Ground Parking Placement Setbacks</u>		
July 20 Interpretation	Primary Street	<i>18ft Director's Interpretation</i>	26'
July 20 Interpretation	Side Street, within 75 feet of Front Property Line	<i>18ft Director's Interpretation</i>	36'
	Side Street, 75 feet back from Front Property Line	<i>0 feet minimum</i>	N/A
	Side Yard	<i>0 feet minimum</i>	N/A
	Rear (With or Without Alley)	<i>5 feet minimum</i>	5'
Figure 16-147.4.E	<u>Fully-subterranean Parking Placement Setbacks</u>		N/A
	Primary Street	<i>18 feet minimum</i>	
	Side Street, within 75 feet of Front Property Line	<i>18 feet minimum</i>	
July 20 Interpretation	Side Street, 75 feet back from Front Property Line	<i>0 feet minimum</i>	
	Side Yard	<i>0 feet minimum</i>	
	Rear (With or Without Alley)	<i>0 feet minimum</i>	
Figure 16-147.4.C	<u>Building Height</u>		
	Highest Top Plate	<i>81 feet maximum/102 feet maximum¹</i>	73'
	Top of Parapet of Flat Roof	<i>85 feet maximum/106 feet maximum¹</i>	73'
	Top of Pitched Roof Above Highest Top Plate	<i>85 feet maximum/106 feet maximum¹</i>	73'

¹ Maximum available when one or more of the qualifying community benefits described in 16-145.2.L are included in the project.

	Ground Floor Above Grade At Building Setback Line (Residential)	<i>1.5 to 4 feet maximum</i>	N/A
	Ground Floor Above Grade At Building Setback Line (Non-Residential)	<i>0 feet maximum</i>	0
	Ground Story Height	<i>12 feet minimum</i>	12'
July 20 Interpretation	Ground Story Depth	<i>18 ft minimum Interpretation</i>	29'-10"
<u>Figure 16-147.4.D</u>	<u>Massing Requirements</u>		Block form
	Overall Building Dimensions For House-Form Buildings	<i>100 feet</i>	N/A
	Primary Mass Width or Depth (House Form Massing)	<i>80 feet by 80 feet</i>	80'x135'
	Secondary Mass Width or Depth (House Form Massing)	<i>20 feet</i>	N/A
	<u>Allowable Architectural Styles</u>	<i>new traditional Spanish revival Victorian craftsman contemporary/modern art deco</i>	contemporary/modern
Section 16-147.4.C.2	Visitor/Pedestrian Access		Yes
Section 16-147.4.C.2.a	Building Access	Sidewalk access required via Table 16-150	Yes
Section 16-147.4.C.2.a	Distance Between Entries on Each Building	<i>50 feet maximum between entries</i>	N/A
Section 16-147.4.C.2.b	Upper Floor Access	sidewalk access required via shared	Through Lobby

		courtyard, paseos, or a lobby	
Section 16-147.4.C.2.c	Side Street Facades	<i>architectural treatment and materials must be designed to same level of primary frontage</i>	Yes
Figure 16-147.4.E	Required Parking Minimum		
	Commercial	1 space/1,000 sf (minimum of 50% of the required parking must be in-lieu fee)	1 Space
	Residential (When Private Garages are Provided)	<ol style="list-style-type: none"> 1. 1 space/unit for studios and 1-bedrooms 2. 2 spaces/unit for 2-bedrooms or more 	N/A
	Residential-Multi-Family(Shared Parking/Open Structure)	0.5 spaces/unit minimum and 1.65 spaces/unit maximum (if less than 1 space/unit in-lieu fee payment is required)	36 units / 22 spaces
	Loading Space	1 space, if no loading spaces or alley within 350 feet of the subject property	Alley loaded
	Motorcycle Parking	As required in 16-342 & 16-638(B)	
Figure 16-147.4.E	Vehicular Access	side or rear of lot via alley, lane, or drive	Rear via alley
	Residential Side Street Driveway (Not within 50 feet of front facade and when alley not present)	12 feet minimum	N/A
	Residential Front Drive (Only within 25 feet of interior lot line)	12 feet minimum	N/A
	Commercial Side Street	18 feet minimum(1-way)	N/A

	Driveway (Not within 50 feet of front facade and when alley not present)	25 feet minimum (2-way)	
	Commercial Front Drive (Only within 25 feet of interior lot line)	18 feet minimum(1-way) 25 feet minimum (2-way)	N/A
	Alley Access	for lots less than 50 feet wide vehicular access must be provided via a rear service lane	Yes
Table 16-152	Private Open Space	<ol style="list-style-type: none"> 1. 5 percent of total lot area for lots ≤8,000sf (250 sq ft required) 2. 10 percent of total lot area for lots >8,000sf (not including setback areas)	2.= 1,400sf req Provided: Plaza= 1,126.6 sf Decks = 702.9 sf Roof deck= 1,775.6 sf
Table 16-152.C	Rear Yard	15 feet x 15 feet minimum	N/A
	Rear Yard Architectural Encroachments	30 percent of width and/or length maximum	N/A
Table 16-152.D	Court	15 feet x 25 feet minimum	N/A
	Court Architectural Encroachments	30 percent of width and/or length maximum	N/A
Table 16-152.E	Side Yard	12 feet x 20 feet minimum	N/A
	Side Yard Architectural Encroachments	30 percent of width and/or length maximum	N/A
Table 16-152.F	Roof Deck	15 feet x 15 feet minimum	55'x 31'
Table 16-152.G	Passage	10 feet wide minimum	N/A

	Passage Architectural Encroachments	4 feet maximum	N/A
Table 16-152.H	Balcony	6 feet x 8 feet minimum	
Section 16-153	Public Open Space Type	Plaza Pocket Park Paseos Woonerf (July 20 Interpretation)	N/A
Table 16-153	Required Public Space	<ol style="list-style-type: none"> 1. 7 percent of total lot area for lots 20,000sf to 2 acres. 2. 10 percent of total lot area for lots > 2 acres (not applicable to lots less than 20,000 sf)	N/A
Table 16-153.B	Plaza	25 feet x 50 feet minimum	N/A
Table 16-153.C	Pocket Park	25 feet x 50 feet minimum	N/A
Table 16-153.C.2.e	Pocket Park hedges and walls	36 inch maximum height	N/A
Table 16-153.C.2.f	Pocket Park Frontages	mid-block: at least one public frontage corner: at least two public frontages	N/A
Table 16-153.D	Paseo	10-25 feet wide minimum	N/A
Table 16-152.I.1	Limitation of Turf in Residential Development	30 percent maximum	N/A
Table 16-152.I.6	Site Lighting (Parking Areas, Buildings, Pedestrian Routes, and Public Ways)	1 foot candle minimum and 7 foot candle maximum.	1 ft candle min.
Table 16-152.I.6	Lighting Height (From Bottom of Lamp)	20 feet maximum above sidewalk or other path	N/A
Table 16-149.A	Surface Parking Lots		
Table 16-149.A.3.a	Screening	screening may include landscape screening, screening structures/facades, or	N/A

		public art/murals (walls or landscaping, excluding trees, are limited to 36 to 48 inches tall)	
Table 16-149.A.3.b	Landscape Shading (Including arbors, trellises, pergolas, mesh, and overhead canopies) Solar Shade Structures (Allowed only were not visible from sidewalk or on existing structures)	10 percent coverage (gross)	Provided trellis and potted planting at roof deck, landscaping at alley = 10% min.
Table 16-149.A.3.c	Lighting Height	15 feet maximum	N/A
Table 16-149.A.3.c	Lighting Type	lighting must be shielded and recessed	Shielded type
Table 16-149.A.3.c	Illumination Levels	1 foot candle minimum and 7 foot candle maximum.	1 ft candle min.
Table 16-149.A.3.d	Landscape Coverage	10 percent gross landscape coverage and 1 shade tree for every 8 parking spaces or 30 percent mature canopy converge, whichever greater	N/A
Table 16-149.B.2	Podium and Subterranean Parking Structures		Yes
Table 16-149.B.2.b; 16-149.B.3.b	Non-lined portion of garages	5 foot setback 0ft Interpretation	N/A
Table 16-149.B.2.b	Primary Street and Side Street (within 75 feet	30 feet minimum depth of occupiable and usable space	30'

	of front property line) Frontages	18ft Interpretation	
Table 16-150	Architectural Encroachment Into Setbacks	<i>porch: up to 5 feet of sidewalk</i> <i>stoop: up to 1 foot of sidewalk</i> <i>terrace: within 1 foot of sidewalk</i> <i>dooryard: up to 1 foot of sidewalk</i> <i>shopfront: awning and canopy up to 2 feet of curb</i> <i>gallery: up to 3 feet of curb</i> <i>arcade: up to 3 feet of curb</i>	N/A

**Allowed Private Frontages and Encroachment Standards
Table 16-150**

Standard	Downtown Zones				Min ft Between PL and Façade ³	Encroachment into setbacks	See Guidelines	
	Type	DT E	DT E-O	DT G				DT C
Residential Ground Floor Commercial Ground Floor	Porch	P	P	P	---	12 to 20	Up to 5' of sidewalk	16-150.C
	Stoop	P	P	P	P ¹	4 to 6	Up to 1' of sidewalk	16-150.D
	Terrace	---	---	P	P	7 to 12	Within 1' of sidewalk	16-150.E
	Dooryard	P	P	P	P ¹	7 to 12	Up to 1' of sidewalk	16-150.F
	Common Entry	---	---	P	P	10 to 15	Not applicable	16-150.G
	Shopfront	---	P	P ²	P	0 or 10	Awning / canopy up to 2' of curb	16-150.H
	Gallery	---	---	P ²	P	0	Up to 3' of curb	16-150.I
	Arcade	---	---	---	P	0	Up to 3' of curb	16-150.J

Notes

P Allowed in Zone
 --- Not allowed in zone

¹ Not allowed in shopfront overlay.

² Only where shopfront overlay applies.

³ At a massing break, the edge of the required 15' x 15' area is considered the property line for the purposes of applying frontage type(s) standards.

		Private and Public Frontages	
		Required/Allowed	Proposed Project
Section 16-150	Private Frontages		
Table 16-150	Allowed Private Frontages	<i>Porch</i> <i>Stoop</i> <i>Terrace</i>	

		<i>Dooryard</i> <i>Common Entry</i> <i>Shopfront</i> (November 23 Interpretation) <i>Gallery</i> (November 23 Interpretation) <i>Arcade</i>	
Table 16-150.C	Porch	25 feet minimum/200 feet maximum	N/A
	Distance between Property Line and Facade	12 feet to 20 feet	
	Porch Depth (Between Wall and Inside Column Face)	7 feet minimum	
	Porch Width (Between Corner Column and Building Face)	10 feet minimum	
	Porch Height (Measured From Porch Surface to Top of Porch Columns)	8 feet minimum and 12 feet maximum	
	Floor Height for Residential Ground Floor (Measured From Adjacent Finish Grade)	18 inch minimum and 3 feet maximum	
	Separation Between Porch and Fence or Sidewalk	5 feet minimum	
Table 16-150.D	Stoop		N/A
	Stoop Width	4 feet minimum and 8 feet maximum	
	Stoop Depth (Not Including Stairs)	4 feet minimum and 8 feet maximum	
	Stoop Floor Height (Measure from Adjacent Finished Grade)	18 inch minimum and 3 feet maximum	
	Planter/Fence Height	5 feet maximum	
	Setback From Back of Sidewalk	18 inch minimum	

Table 16-150.E	Terrace		N/A
	Depth, Clear	8 feet minimum	
	Finish Level above Sidewalk	18 inch minimum (residential only) and 3 feet maximum	
	Length of Terrace	150 feet maximum	
	Distance Between Stairs	50 feet maximum	
Table 16-150.F	Dooryard		N/A
	Size of Dooryard	per building setback	
	Wall Height Above Adjacent Sidewalk	4 feet maximum	
	Wall Height Above Dooryard Floor	3 feet maximum	
	Dooryard Floor Height Above Adjacent Sidewalk	18 inch maximum	
	Dooryard Floor Height Below Adjacent Sidewalk	3 feet maximum	
Table 16-150.G	Common Entry		N/A
	Height To Bottom of Awning/Canopy (Clear)	10 feet minimum and 25 feet maximum	
	Awning/Canopy Depth	4 feet minimum and within 2 feet of curb maximum	
	Entry Distance to Back of Sidewalk	8 feet minimum and 20 feet maximum	
	Area of Outdoor Space (Does Not Include Public R.O.W)	150 square feet minimum	
	Glass Area of Ground Floor Lobby Wall Area	70 percent minimum	
Table 16-150.H	Shopfront		
	Height to (clear)/top of shopfront	12 feet minimum and 18 feet maximum	12'
	Height to bottom of awning/canopy (clear)	8 feet minimum and 10 feet maximum	12'

	Width of shopfront base	10 feet minimum and 20 feet maximum	
	Height of shopfront base	6 inch minimum and 3 feet maximum	12"
	Glass area of ground floor wall area (each facade)	70 percent minimum	90%
	Width of Shopfront on second frontage (corner building)	20 feet minimum	N/A
	Awning Depth	5 feet minimum up to within 2 feet of curb	4'
	Awning Location	located over shopfront opening only	N/A
	Awning Design	quarter sphere or quarter cylinder configurations not allowed	N/A
	Distance between openings in wall	10 linear feet maximum (primary street frontage) 25 linear feet maximum (side street frontage)	10 l.f.
	Traditional Shopfront	header: 24 inches minimum and 36 inches maximum shopfront windows: recessed a minimum of 2 inches base panels/shopfront base: 36 inch in height maximum	
	Shopfront Tint	10 percent maximum	N/A
Table 16-150.H	Gallery		N/A
	Height (sidewalk to ceiling)	12 feet minimum and 16 feet maximum	
	Depth (facade to interior column face)	10 feet minimum and 16 feet maximum	
	Length along frontage (% of building facade width)	25 feet minimum and 100 feet maximum	
	Setback from Back of Sidewalk	0 feet minimum and 5 feet maximum	
	Right-of-way	no encroachment	

	Distance between openings in wall	10 linear feet maximum	
Table 16-150.H	Arcade		N/A
	Height (sidewalk to ceiling)	12 feet minimum and 16 feet maximum	
	Depth (facade to interior column face)	10 feet minimum and 16 feet maximum	
	Length along frontage (% of building facade width)	25 feet minimum and 100 feet maximum	
	Setback from Back of Sidewalk	0 feet minimum and 5 feet maximum	
	Right-of-way	no encroachment	
	Distance between openings in wall	10 linear feet maximum	
Section 16-151	Public Frontage		
Section 16.151.1.A	Sidewalk Width	5 feet minimum	5'
Table 16-151.C	Commercial Parking lane trees, where provided	located every 2 to 6 spaces	N/A
Table 16-151.C	Commercial Parklets Buffers	24 inch buffer from travel lane (recommended) 36 inch buffer from adjacent parking spaces (recommended) 15 feet from bus stop or shelter	N/A
Table 16-151.D	Residential Parkways	breaks every 50 feet (recommended)	N/A
Table 16-151.D	Residential Parking lane trees, where provided	should be located every 2 to 4 spaces	N/A

Architectural Guidelines			
Table 16-156.A.i	Bay windows	8 foot maximum width height equal or greater than width 3 feet minimum from corner 50 percent transparency or greater.	N/A
Table 16-156.A.j	Door Glazing	glazing must provide at least 90 percent visible light transmission	Yes
Table 16-156.B.a	Orientation to Public Space	buildings must face open spaces and may not back on to open spaces.	N/A
Table 16-156.B.d	Residential Entry	access from the sidewalk is required if the unit is within 5 feet of grade.	N/A
Table 16-156.C.a	Building Wall Materials	walls must be finished in stone, brick, finished concrete block, poured in place or pre-cast concrete, smooth plaster or stucco, and wood. synthetic materials may be approved through design review	Poured in placed conc. / Stucco/ Wood rain screen/ Metal Siding
Table 16-156.D.2.d	Upward Acting Doors (Contemporary Building Only)	maximum width: 16 feet maximum height: 10 feet minimum separation: 2 feet materials: clear, see-through glazing	N/A
Table 16-156.E.1.a	Window Materials	wood, vinyl-clad wood, aluminum-clad wood or metal. pvc and vinyl windows require design review approval.	Alum. Storefront Vinyl windows above
Table 16-156.E.2.b	Non Shopfront ground floor window	window sills should be 4-8 feet from public sidewalks and open spaces	N/A
Table 16-156.E.2.g	Window Recesses	minimum 2 inch recess from facade (Advisory)	2"
Table 16-156.F.1.e	Balconies	minimum of 5 feet in depth (Advisory)	6'

Table 16-156.F.2.e	Planter Boxes	should be between 18 to 42 inches tall (cannot block windows)	N/A
Table 16-156.F.3.a	Masonry and Stucco Arches	depth: 12 inches minimum piers/columns: 12 by 12 inches minimum	N/A
Table 16-156.F.3.b	Wood Posts	6-by-6 inches minimum and articulated	N/A
Table 16-156.G	Building Colors	coordinated and subdued colors typical of natural building materials, such as earth tone colors (recommended) exterior facade colors should be limited to two or three	Earth tones
Table 16-156.H.1.d	Gutters and Downspouts	should be made of: galvanized steel copper pre-finished aluminum	Concealed
Table 16-156.H.2.a	Traditional Building Shed Roof Slope	minimum slope of two in twelve (2:12)	N/A
Table 16-156.H.2.e	Service Equipment	roof top equipment must be screened from public view	Yes
Table 16-156.H.2.f	Skylights	must be flat and not visible from the public areas	N/A
Table 16-156.H.2.g	Gutters	half-round or ogee (rectangular allowed on contemporary buildings only)	N/A
Table 16-156.H.3.b	Exposed Rafter Tails	minimum nominal dimension of 3 inches by 4 inches.	N/A
Table 16-156.H.3.c	Supporting Brackets	minimum dimension of 5 inches	N/A
Table 16-156.I.1	Vents	must be screened from public and semi-public areas	Yes
Table 16-156.I.3 and 4	Service Entrances and Waste Disposal Areas, etc	lots with alley access: must be adjacent to and accessed from alley lots without alley access: must be screened and far from public view	Alley access
Table 16-156.I.5	Fire Sprinklers	should be building mounted rather than freestanding	Yes
Table 16-156.J.2.a	Garden Walls	6 inches wide minimum with cap	Yes
Table 16-156.J.2.b	Fences	wood fences: maximum of 3 inch gap between vertical lattices	N/A

		wrought iron, including steel bar: minimum of 4 inches between bars	
Table 16-156.J.2.c	Front Yard Wall Height (front or side street setback areas)	must be between 30 inches to 42 inches	N/A
Table 16-156.J.2.d	Side Yard Wall Height (at or behind building facade)	8 feet maximum	N/A
Table 16-156.J.2.e	Wall Setbacks (Fences built parallel to frontage between houses or structures, unless integral part of architecture)	should be setback 2 to 5 feet	N/A
Table 16-156.J.2.f	Retaining Walls at Frontages	5 feet maximum	N/A
Table 16-156.J.2.h	Parking Wall Height	must be between 36 inches and 48 inches	N/A
Table 16-156.J.3.e	Wood Siding Patterns (recommendation)	clapboard should not exceed 6 inches to the weather shingles should not exceed 8 inches to the weather dropsiding should not exceed 12 inches and 4 inches, alternatively	Rain Screen assembly

**DOWNTOWN DESIGN REVIEW COMMITTEE
STAFF REPORT**

TO: Downtown Design Review Committee

FROM: Joe Pearson II, AICP, Senior Planner

DATE: December 9th, 2021

SUBJECT: **Project Name: 613 South C Street Apartments Project;** Planning and Zoning Permit No(s). 20-200-18 (Major Downtown Design Review Permit); 613 South C Street (APN: 202-0-133-020).

1) Project Description and Applicant: A request for review by the Downtown Design Review Committee related to request for a Major Downtown Design Review Permit. proposed 26,308 square foot 5-story mixed use apartment building with 20 residential units (2 affordable), 12 parking spaces, 656 square-feet of non-residential space, and 1,053 square-feet of open space on a 0.16-acre project site. Proposed development includes commercial space, and parking for the residences on the ground level, with an additional 4 levels of residential units (for a 5 story building). The proposed building is designed with sixteen 1-bedroom units and four 2-bedroom units. All of the units open to the south side of the building. The roof deck is provided as common space for the residents. The existing vacant building will be demolished. The Project is located at 613 South C Street within the Downtown land use designation and Downtown General (DT-G) zone. The project is exempt from environmental review pursuant to Section 15332 (Infill Development), Class 32 of the California Environmental Quality Act (CEQA) Guidelines. Filed by Mike Sanchez, of Coastal Architects (“Agent”) 505 S. A Street, Suite 200, Oxnard, CA 93030 on behalf of Raul Orozco (“Owner”)

For purposes of this staff report, the foregoing project description shall be referred to as the “**Project**”.

Please see the reduced Project plans (Attachment A) for more details.

2) Existing & Surrounding Land Uses: The following table describes the General Plan Land Use Designations, Zoning designations, and existing land uses of the Project site and adjacent properties:

LOCATION	GENERAL PLAN	ZONING	EXISTING LAND USE
Project Site	DTN	Downtown General	Commercial Building
North	DTN	Downtown General	Vacant
South	DTN	Downtown General	Vacant
East	DTN	Downtown General	Commercial
West	DTE	Downtown Edge	Office

3) Background Information:

- a) On March 29, 1955, building permits (Permit No. 6228) were granted for the construction of the existing commercial building. The following year on February 14, 1956, building permits were issued for the construction of a approximately 510 square foot addition. Since then the site has generally remained in the current configuration.
- b) On July 30, 2019, the City Council adopted Ordinance No. 2963, which amended the Oxnard City Code Chapter 16, Division 10 and instituted a new "Downtown Code," and associated Zone Changes. The Downtown Code allows for a maximum development of 2,284 residential units and 3,025,370 square-feet of commercial space.

4) Analysis:

- a) **Conformance with Zoning Development Standards:** Pursuant to the Downtown Code, the proposed development is located in the Downtown General zone. Applicable development standards of the Downtown General zone have been compared with the proposed project in Attachment B.

Attachments:

- A. Reduced Project Plans
- B. Downtown Code Consistency Table



SCOPE OF WORK

1. REMOVAL OF EXISTING 4,776.8 SF COMMERCIAL STRUCTURE.
2. NEW 5 STORY 26,308.0 SF MIXED-USE BUILDING; 20 UNITS APARTMENTS, WITH COMMERCIAL RETAIL (656.6 sf) AND GRADE LEVEL PARKING GARAGE (4,772.0 sf).

BUILDING UNIT MIX

BUILDING UNIT MIX	UNITS	BEDS	SIZE	COUNT PER FLOOR					TOTAL
				1ST	2ND	3RD	4TH	5TH	
UNIT - 1	1	1	520.7	3					3
UNIT - 2	1	1	460.3	3			3	3	9
UNIT - 3	1	1	580.6	1	1	1	1	1	4
UNIT - 4	2	2	864.3	1	1	1	1	1	4
RETAIL			656.6	1					
				5	5	5	5	5	20

PARKING ANALYSIS: (IN-LIEU PARKING FEE PER CITY OF OXNARD DOWNTOWN CODE)

PARKING REQ.	PARKING PROVIDED
RESIDENTS 1/UNIT = 20	10 SPACES + 10 IN LIEU
RETAIL 1:1,000 = 1	1 IN LIEU
PARKING PROVIDED STANDRAD STALL (9'x19')	4 SPACES
ACCESSIBLE STALL	1 SPACE
EV STALL	1 SPACE
CAR LIFT	6 SPACES
TOTAL STALL	12 GARAGED

PROVIDED BICYCLE PARKING :
TOTAL RESIDENT BEDROOMS 24

SHORT TERM	4 SPACES
LONG TERM	8 SPACES

PROJECT INDEX

- A0 PROJECT ANALYSIS
- A1 EXISTING / PROPOSED FIRST FLOOR / SITE PLAN
- L1 LANDSCAPE PLAN
- A2 ALL FLOOR PLANS
- A3 ROOF / DECK PLAN
- A4 UNIT PLANS
- A5 LOBBY PLANS
- A6 ROOF DECK PLAN
- A7 EXTERIOR ELEVATIONS
- A8 EXTERIOR ELEVATIONS
- A9 EXTERIOR ELEVATIONS
- A10 MATERIALS / COLORS
- A11 SITE PHOTOS, BUILDING SECTION

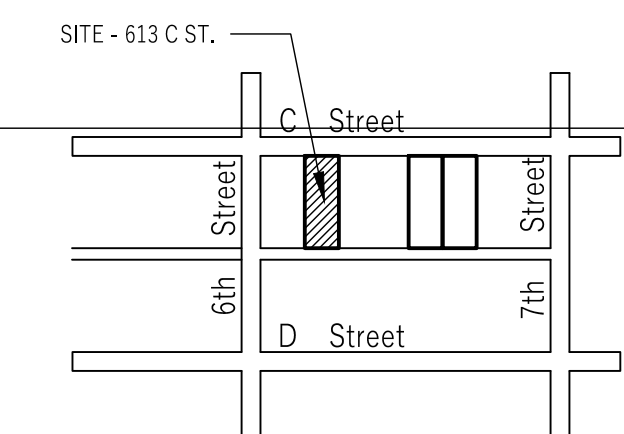
PROJECT DATA

ASSESSORS PARCEL NUMBER:	202-0-133-060	
PROJECT ADDRESS	613 S. C STREET	
ZONING	DT-G	
OCCUPANCY GROUP	MULTI-FAMILY (R-2) COMMERCIAL (B/ A-2) GARAGE (S-2) APARTMENTS W/ AT GRADE COVERED GARAGE	
NUMBER OF STORIES	5 STORIES	
CONSTRUCTION TYPE	1A & VA	
FIRE SPRINKLER SYSTEM	NFPA 13	
FIRE ALARM REQUIRED	NFPA 72	
PROPERTY ANALYSIS:		
SITE AREA (PER LOT)	7,000.0 SF	(0.16 AC)
BUILDING FOOTPRINT	6,596.6 SF	94.2%
PAVING	313.9 SF	04.5%
LANDSCAPING	89.5 SF	01.3%
OPEN SPACE		
ROOF DECK	1,053.0 SF	
PRIVATE DECKS	2,292.7 SF	
TOTAL PROVIDED*	3,345.7 SF	49.8%
SITE SETBACKS:	COMMERCIAL REQ. PROVIDED	RESIDENTIAL REQ. PROVIDED
FRONT YARD*	0" 0"	0" 0"
SIDE YARD*	0" 1"	10" 10"
REAR YARD WITH ALLEY*	5" 5"	5" 5"
BUILDING HEIGHT	106' MAX	73'
FRONT YARD PROJECTIONS	36"	36"
COMMERCIAL RETAIL	656.6 SF	
NUMBER OF UNITS	20 UNITS - STACKED FLATS	

Building Analysis

CONST. TYPE/ OC, GRP FLOORS	VA/ S-2A-2/B 1ST FLOOR	VA/ R-2 2ND FLOOR	VA/ R-2 3RD FLOOR	VA/ R-2 4TH FLOOR	VA/ R-2 5TH FLOOR	VA/ R-2 ROOF
PARKING AREA	4,772.4					
TRASH ENCLOSURE	173.2					
RETAIL AREA	656.6					
UNITS AREA		3,108.0	2,870.1	2,870.1	2,870.1	
COMMON AREA	994.4	549.6	549.6	549.6	549.6	549.6
DECK AREA/ ROOF		1,476.4	272.1	272.1	272.1	1,053.0
EXIT CORRIDOR	1,505.5	665.5	665.5	665.5	665.5	
MECHANICAL AREA						2,754.7
TOTAL	6,596.6	6,639.5	4,357.3	4,357.3	4,357.3	
BUILDING TOTAL	26,308.0 SF					

VICINITY MAP

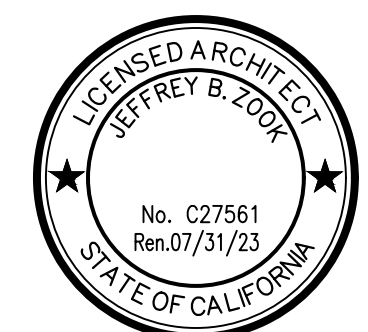


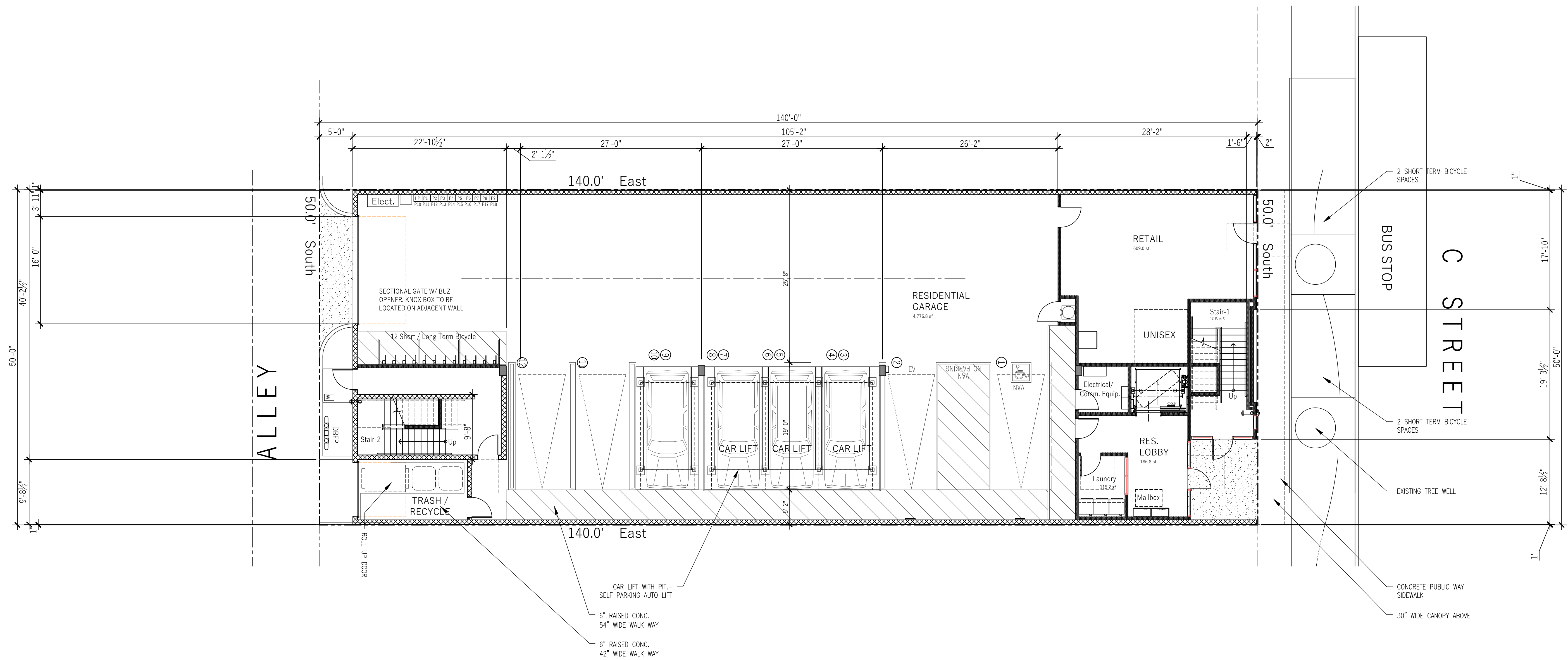
C Street Apartments
RESIDENTIAL DEVELOPMENT
613 S. 'C' STREET OXNARD CA 93030

Sheet Title:
PROJECT ANALYSIS
Sheet No:

A0

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312 Camarillo Dr.
Camarillo CA 93010
aузcompany@aol.com

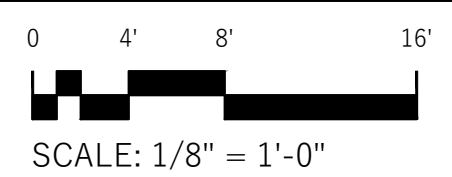




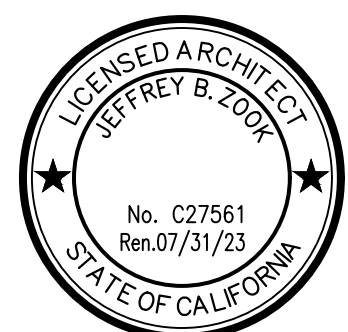
GROUND FLOOR PLAN 1



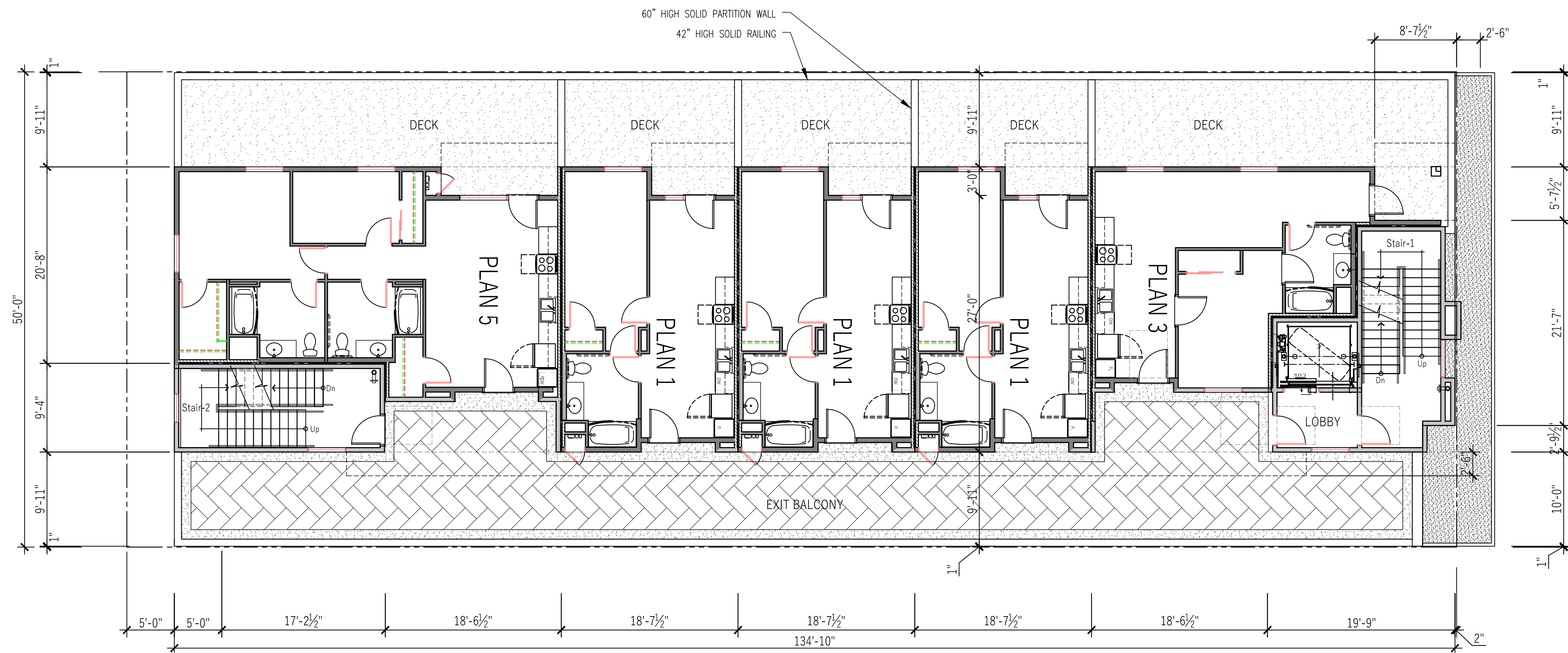
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 Camarillo CA 93010
 auzcompany@aol.com

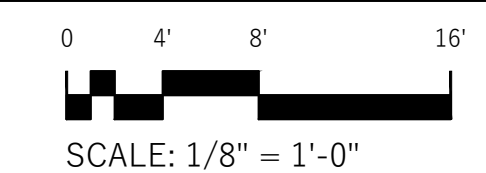


2ND FLOOR PLAN

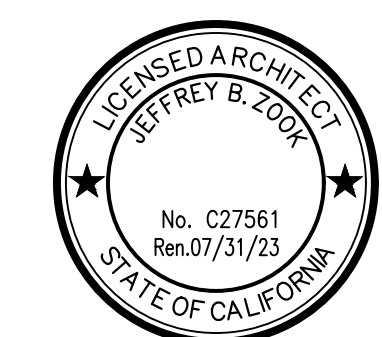
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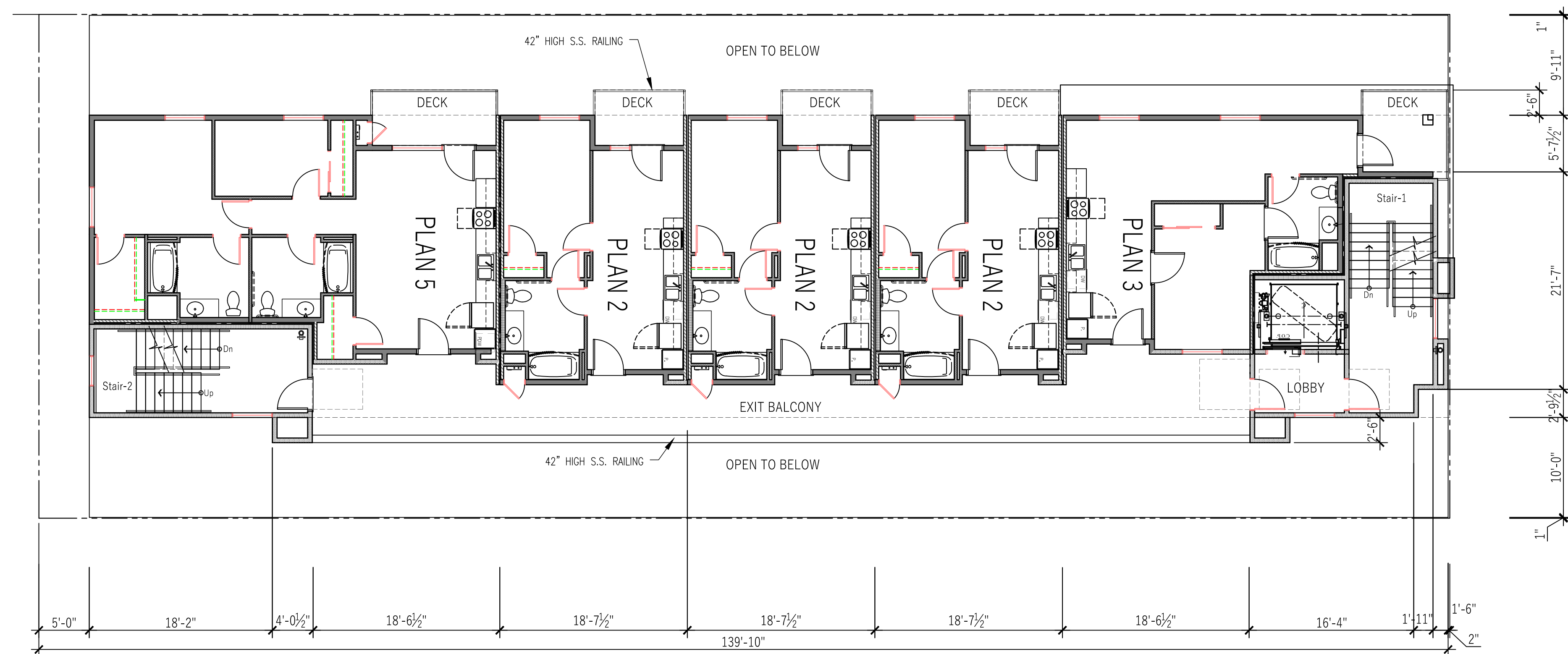
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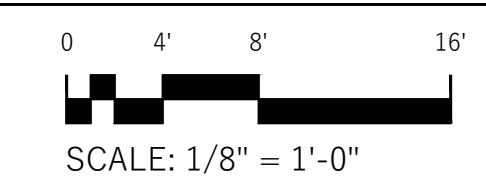


3RD - 5TH FLOOR PLAN

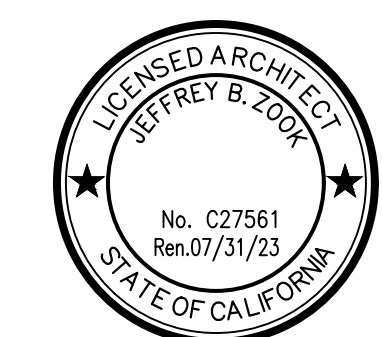
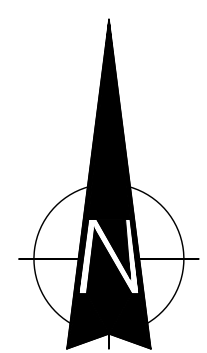
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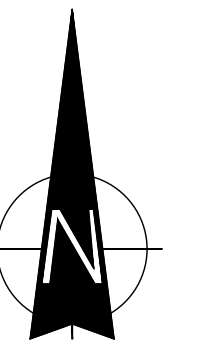
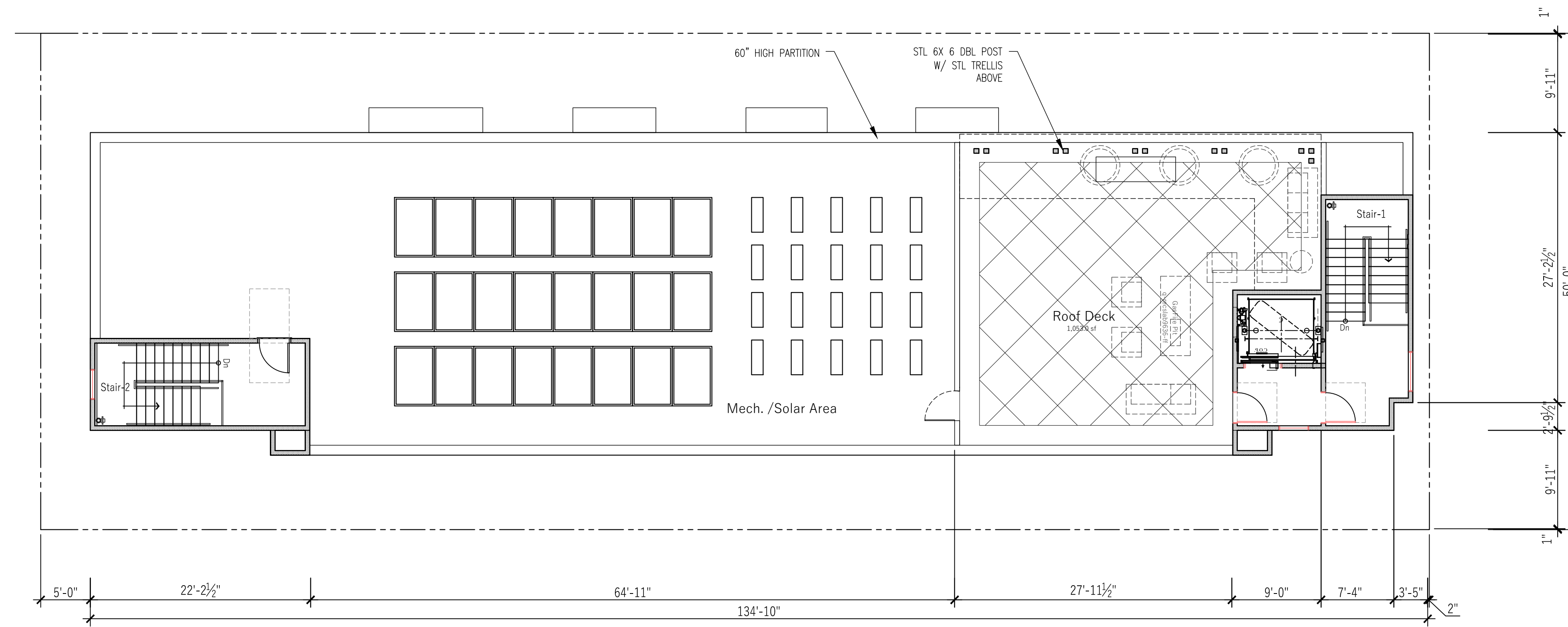
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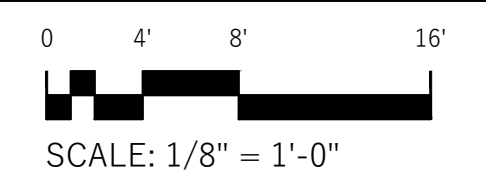
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ROOF DECK FLOOR PLAN 1

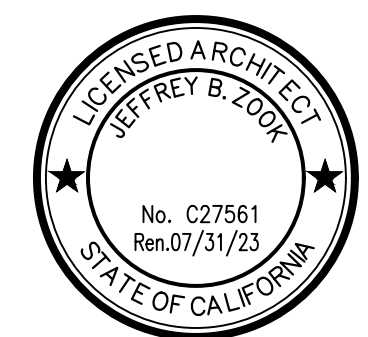


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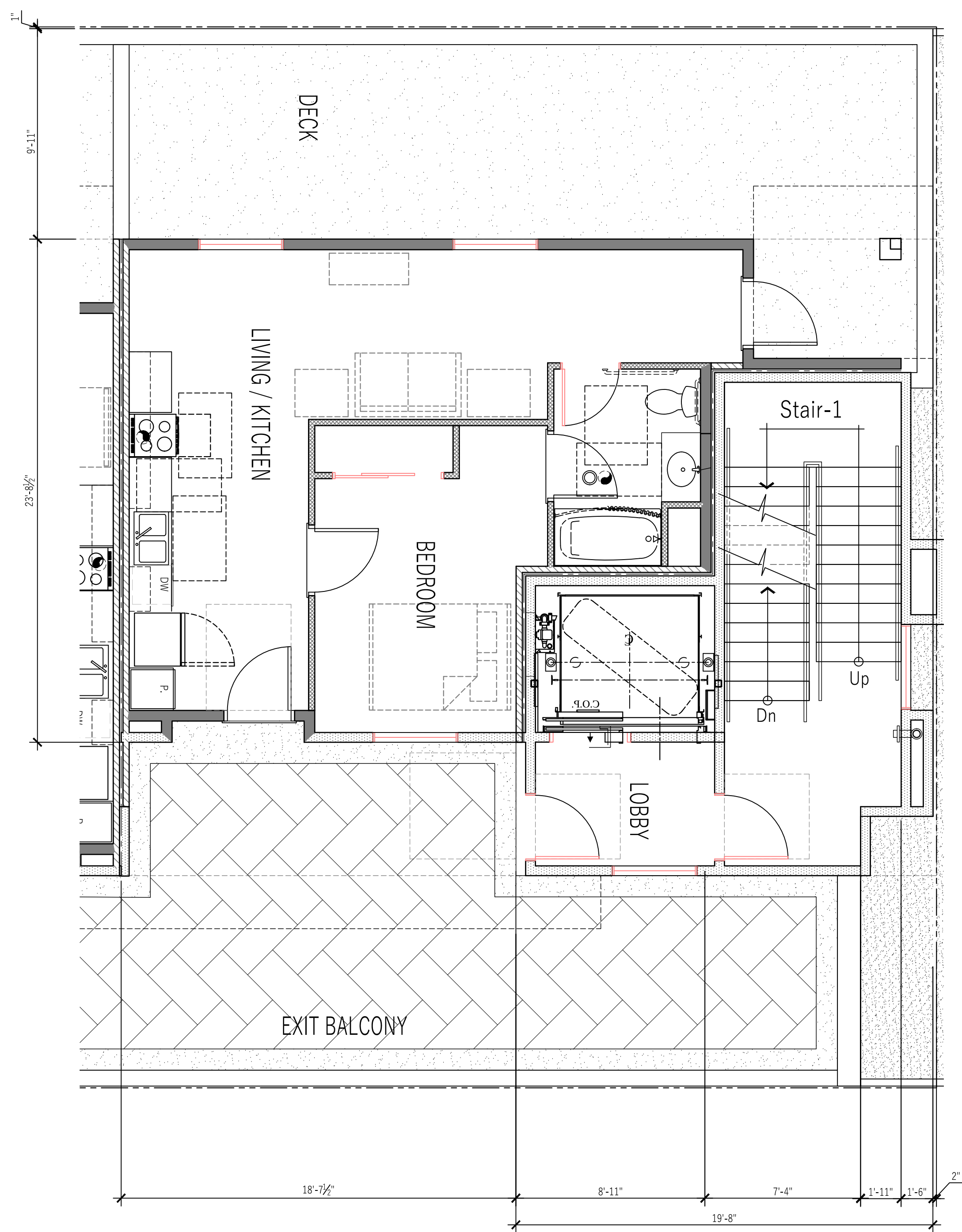
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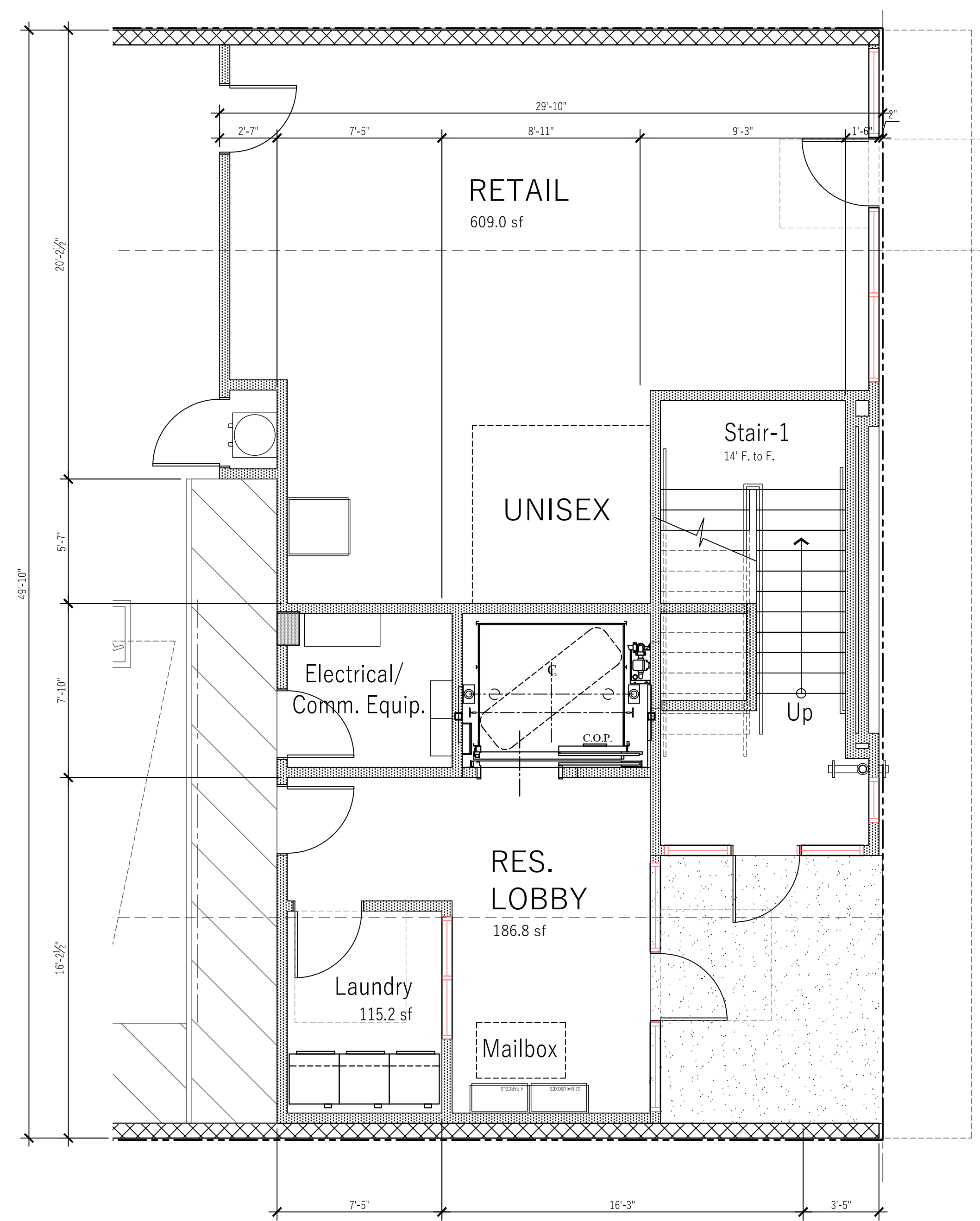


COASTAL ARCHITECTS

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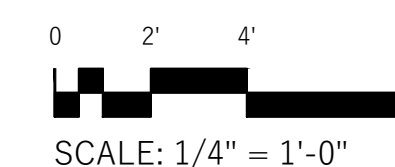
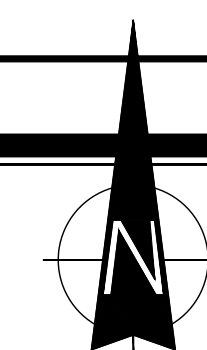
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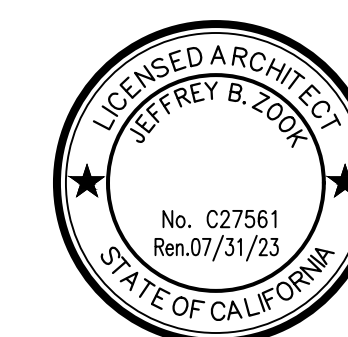
COMMERCIAL / RES. LOBBY PLAN 1



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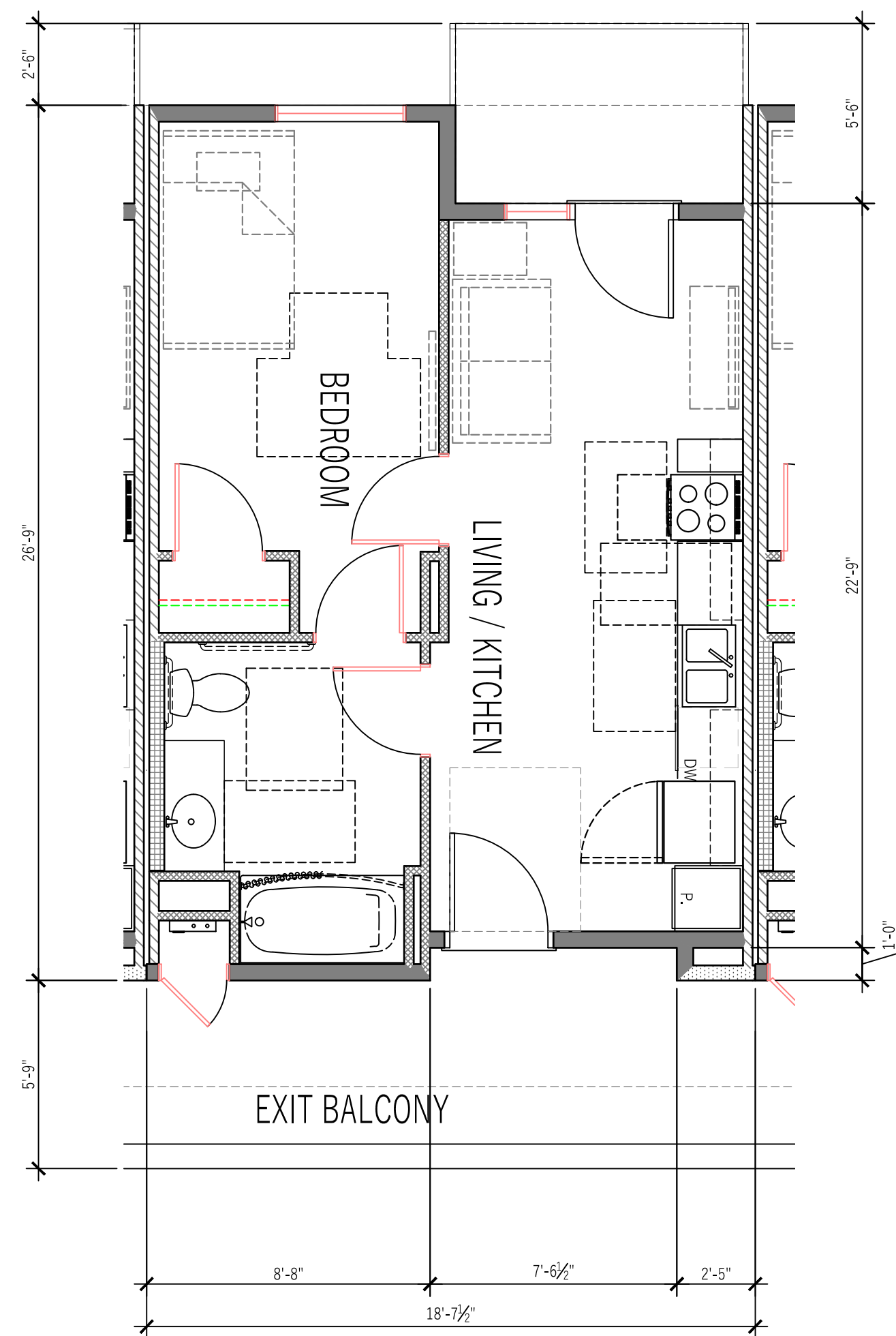
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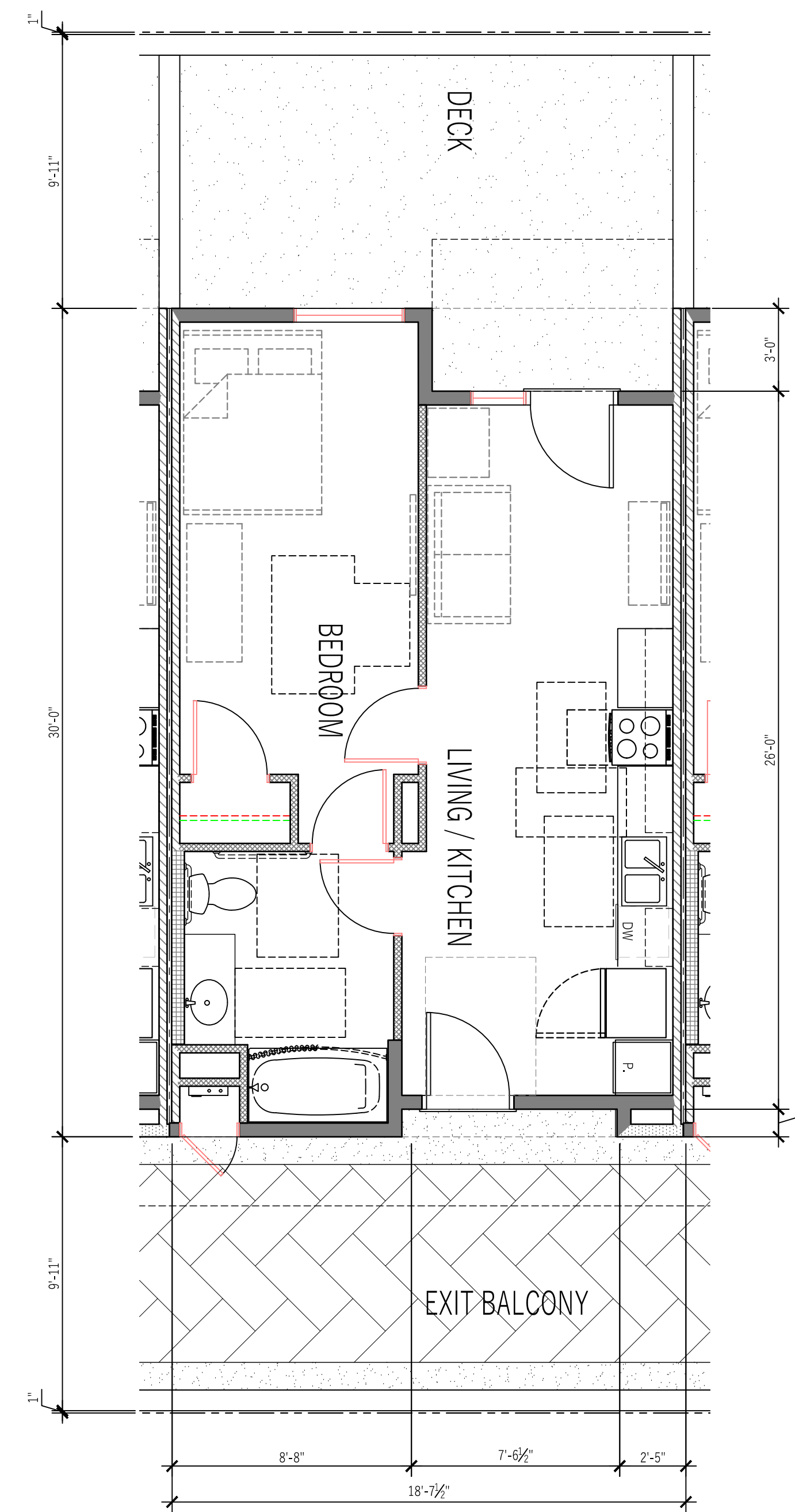
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312 Camarillo Dr.
Camarillo CA 93010
aузcompany@aol.com

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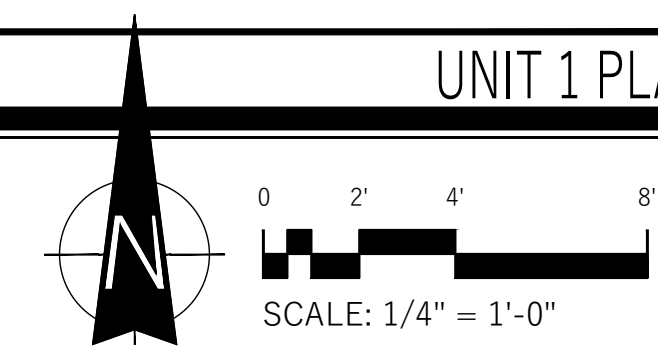
UNIT 2 PLAN 460.3 SF 2



UNIT 1 PLAN 518.9 SF 1



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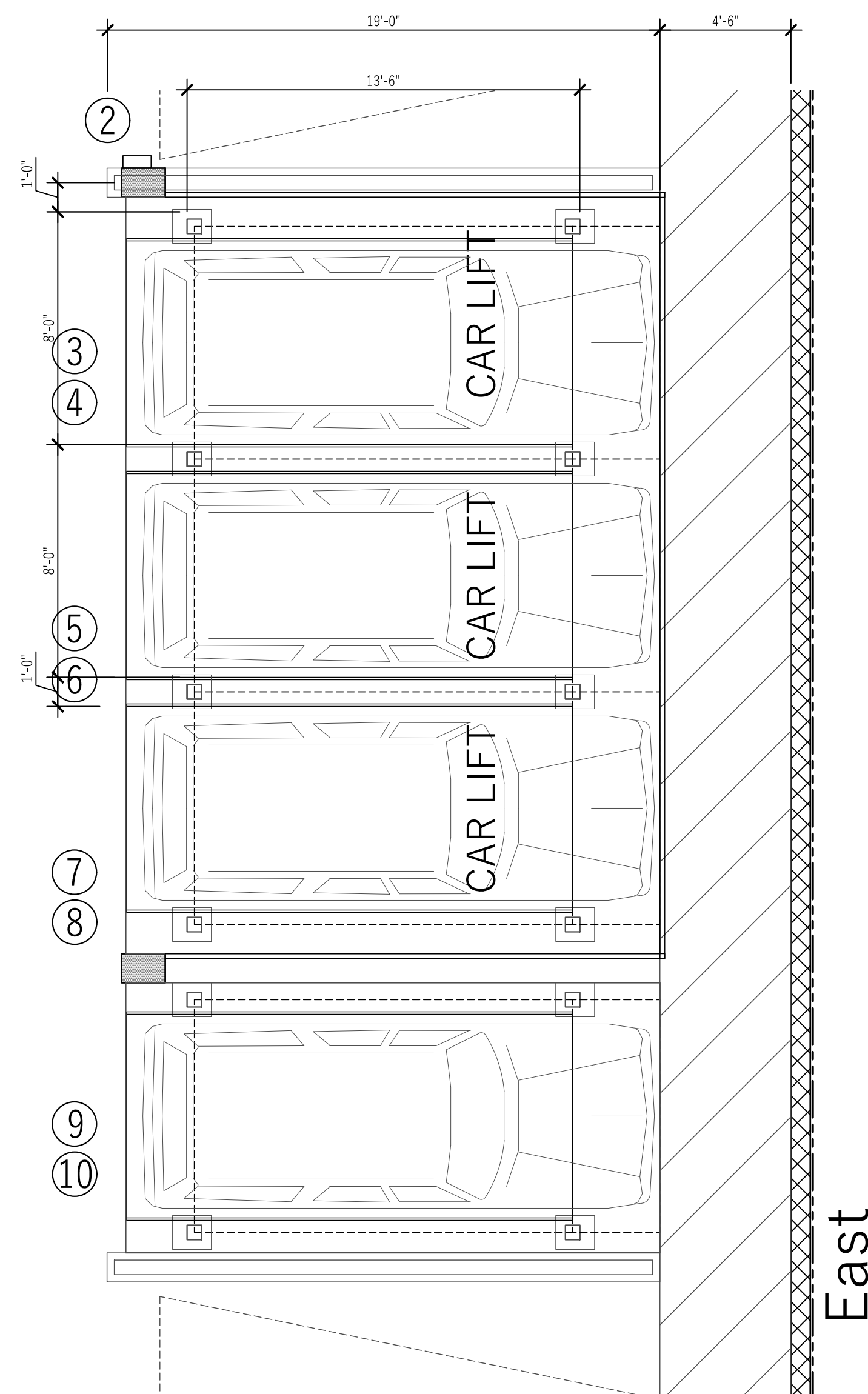
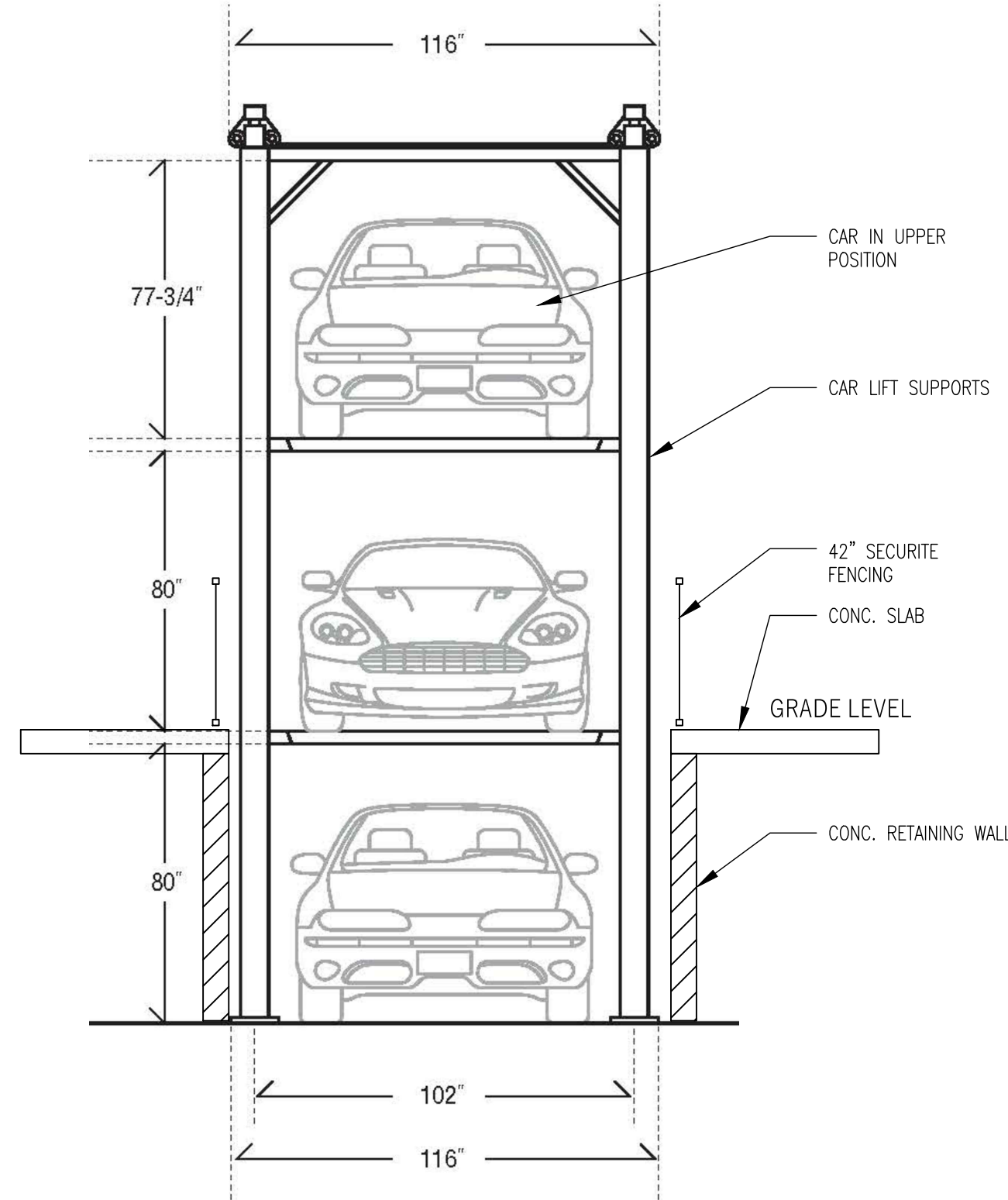
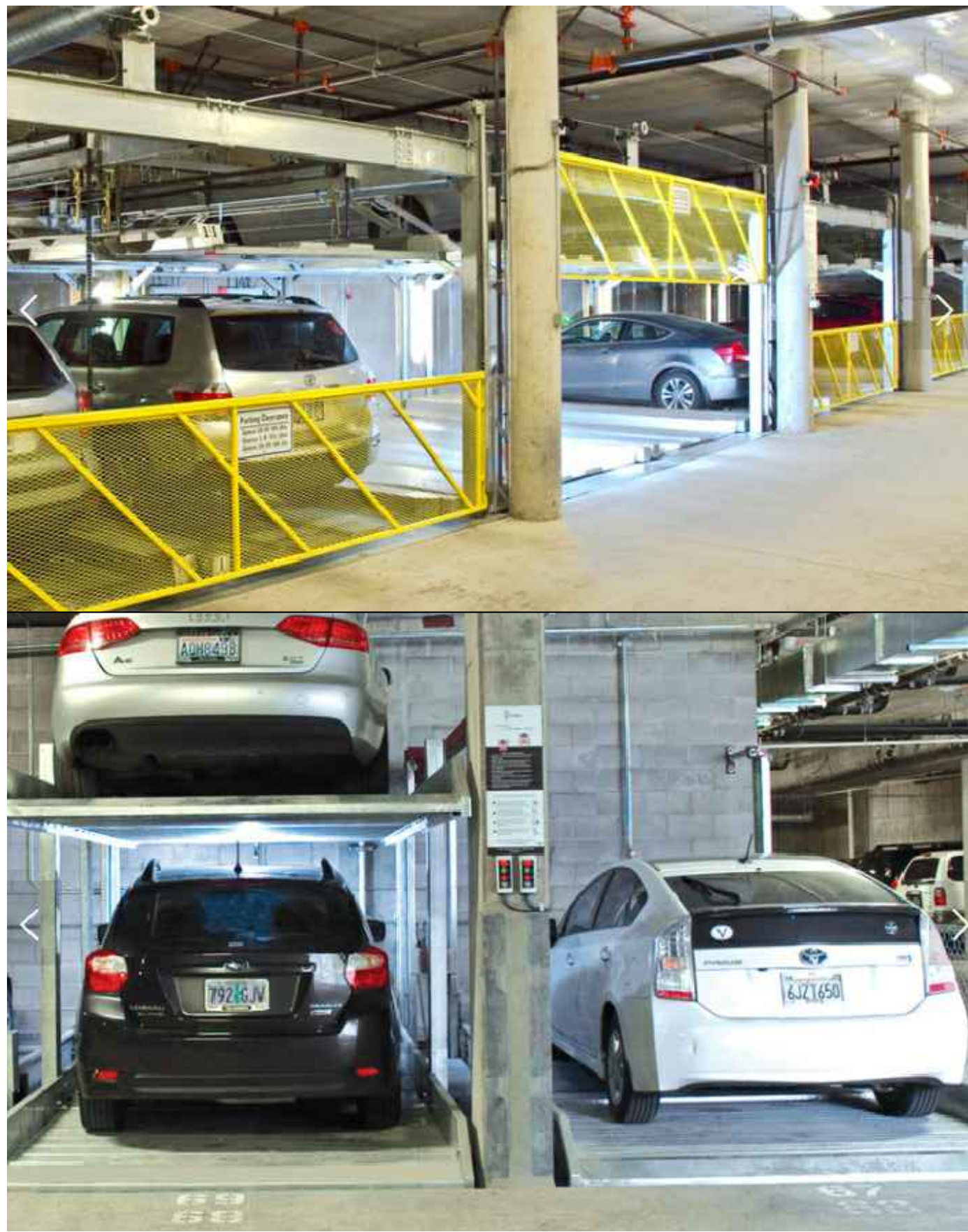


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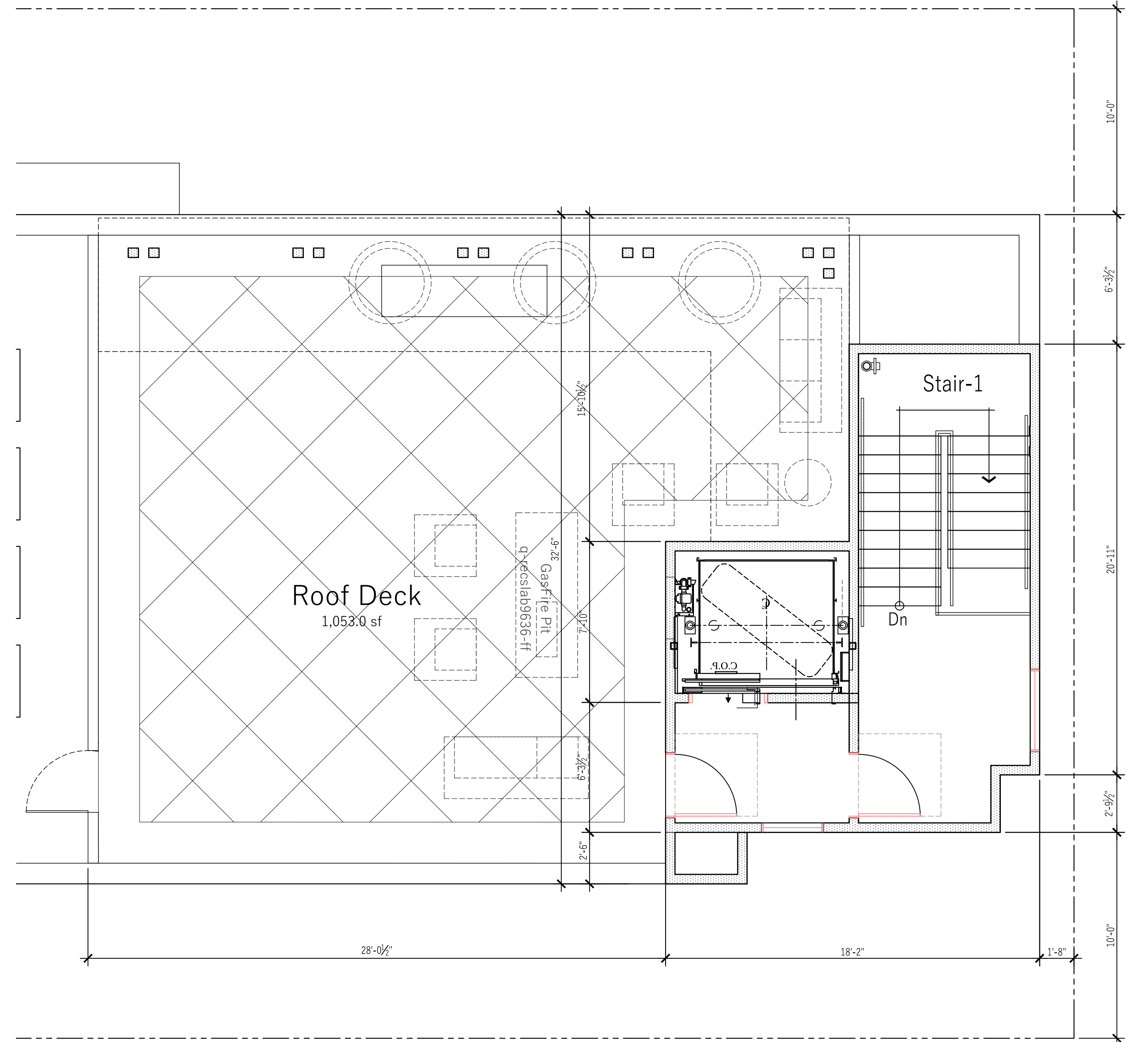


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312 Camarillo Dr.
Camarillo CA 93010
aузcompany@aol.com
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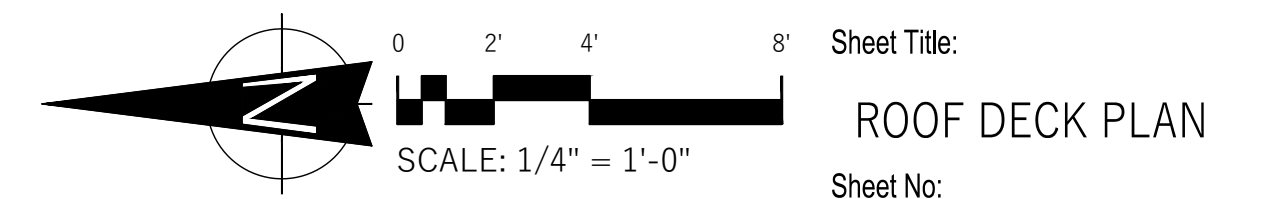
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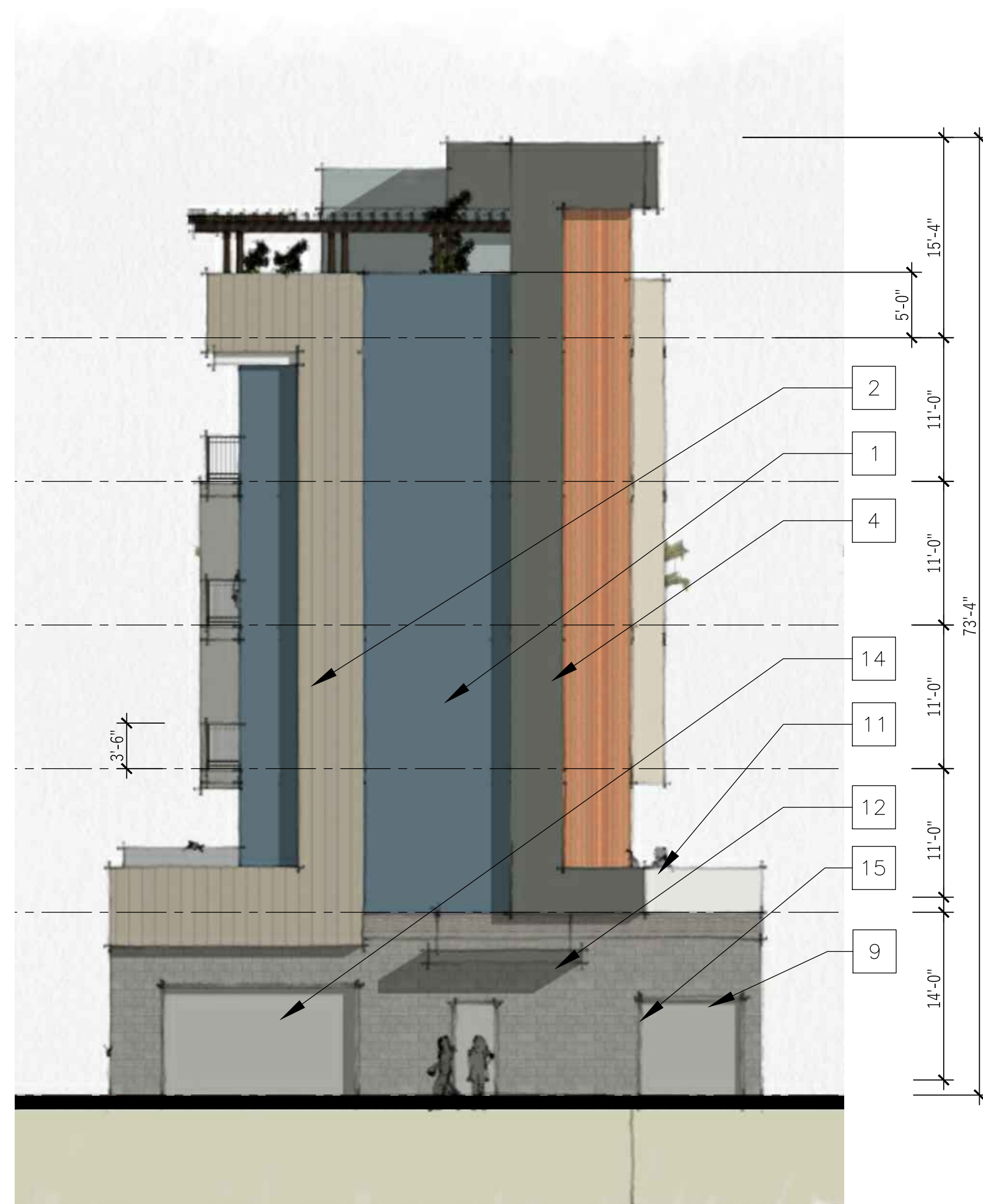
ROOF TRELLIS DECK 1,053.0 sf 1



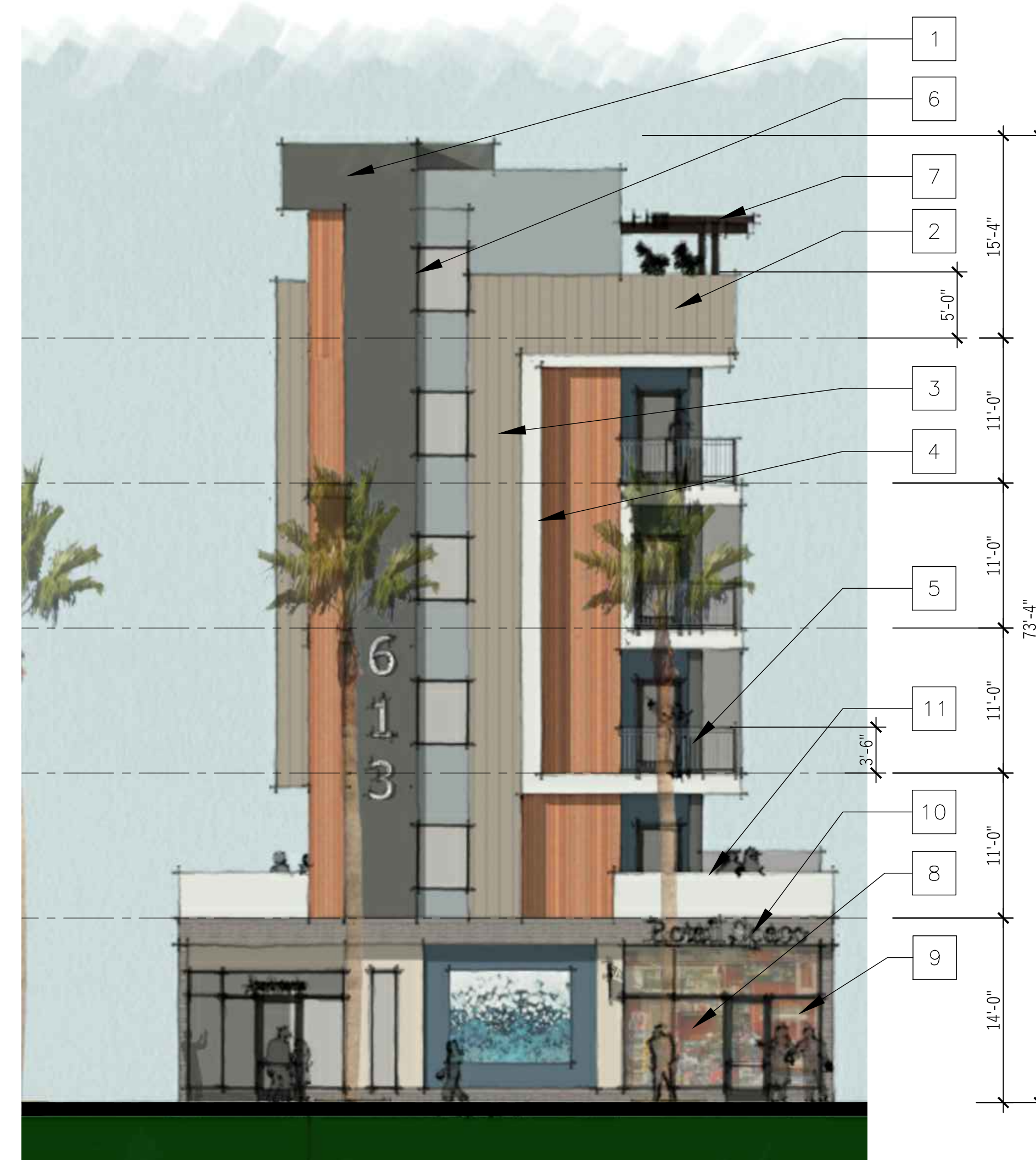
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WEST EXTERIOR ELEVATION 2



EAST EXTERIOR ELEVATION 1

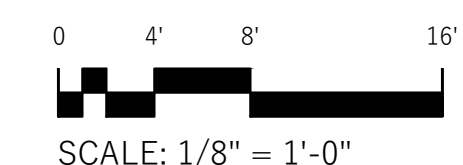
- 1 STUCCO EXTERIOR FINISH
- 2 STANDING METAL SEEM SIDING
- 3 STUCCO BANDING.
- 4 CEMENT FIBER RAIN SCREEN SIDING
- 5 42" HIGH S.S. RAILING
- 6 VINYL FRAME WINDOWS WITH CLEAR GLAZING
- 7 4X STEEL TRELLIS W/ STEEL 6X6 POSTS
- 8 ALUM STOREFRONT W/ CLEAR GLAZING
- 9 MASONRY WALL W/ GRAFFITI PROTECTION 9' A.F.F.
- 10 SIGNAGE UNDER SEPARATE PERMITS AND APPROVALS
- 11 42" HIGH STUCCO PARTITION RAILING
- 12 METAL EYEBROW
- 13 METAL EXIT DOOR
- 14 SECTION GARAGE DOOR W/ BUZ TO ENTRY AND KNOX BOX ADJACENT DOOR.
- 15 ROLL UP METAL TRASH ACCESS DOOR.

SEE SHEET A10 FOR MATERIALS AND COLORS

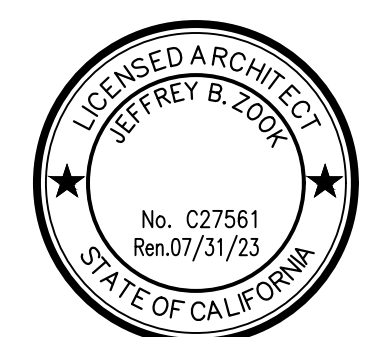
KEY NOTES



C Street Apartments
RESIDENTIAL DEVELOPMENT
613 S. 'C' STREET OXNARD CA 93030



Sheet Title:
EXTERIOR ELEVATIONS
Sheet No:



CLIENT: Raul Orozco
312 Camarillo Dr.
Camarillo CA 93010
aузcompany@aol.com

A7

170903 Dec. 02 2021



- 1 STUCCO EXTERIOR FINISH
- 2 STANDING METAL SEEM SIDING
- 3 STUCCO BANDING.
- 4 CEMENT FIBER RAIN SCREEN SIDING
- 5 42" HIGH S.S. RAILING
- 6 VINYL FRAME WINDOWS WITH CLEAR GLAZING
- 7 4X STEEL TRELLIS W/ STEEL 6X6 POSTS
- 8 ALUM STOREFRONT W/ CLEAR GLAZING
- 9 MASONRY WALL W/ GRAFFITI PROTECTION 9' A.F.F.
- 10 SIGNAGE UNDER SEPARATE PERMITS AND APPROVALS
- 11 42" HIGH STUCCO PARTITION RAILING
- 12 METAL EYEBROW
- 13 METAL EXIT DOOR
- 14 SECTION GARAGE DOOR W/ BUZ TO ENTRY AND KNOX BOX ADJACENT DOOR.
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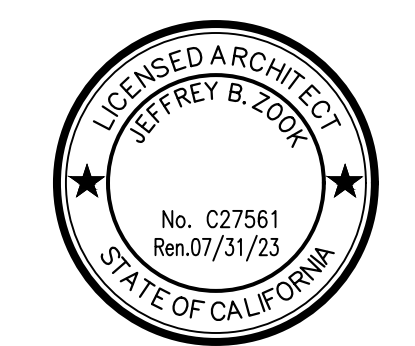
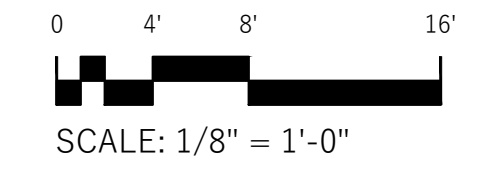
NORTH EXTERIOR ELEVATION 1

KEY NOTES



1567 SPINNAKER, SUITE 204 VENTURA CA 93003 www.coastalarch.com TEL: 805.985.7654 FAX: 805.201.3023 ARCHITECT: JEFF ZOOK EMAIL: jeff@coastalarch.com PRINCIPAL PLANNER: MIKE SANCHEZ EMAIL: mike@coastalarch.com

C Street Apartments
 RESIDENTIAL DEVELOPMENT
 613 S. 'C' STREET OXNARD CA 93030



Sheet Title:
 EXTERIOR ELEVATIONS
 Sheet No:

A8

CLIENT: Raul Orozco
 312 Camarillo Dr.
 Camarillo CA 93010
 auzcompany@aol.com
 170903 Dec. 02 2021



- 1 STUCCO EXTERIOR FINISH
- 2 STANDING METAL SEEM SIDING
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SEE SHEET A10 FOR MATERIALS AND COLORS

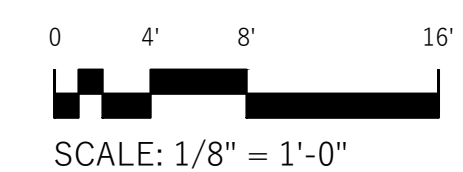
SOUTH EXTERIOR ELEVATION

1

KEY NOTES



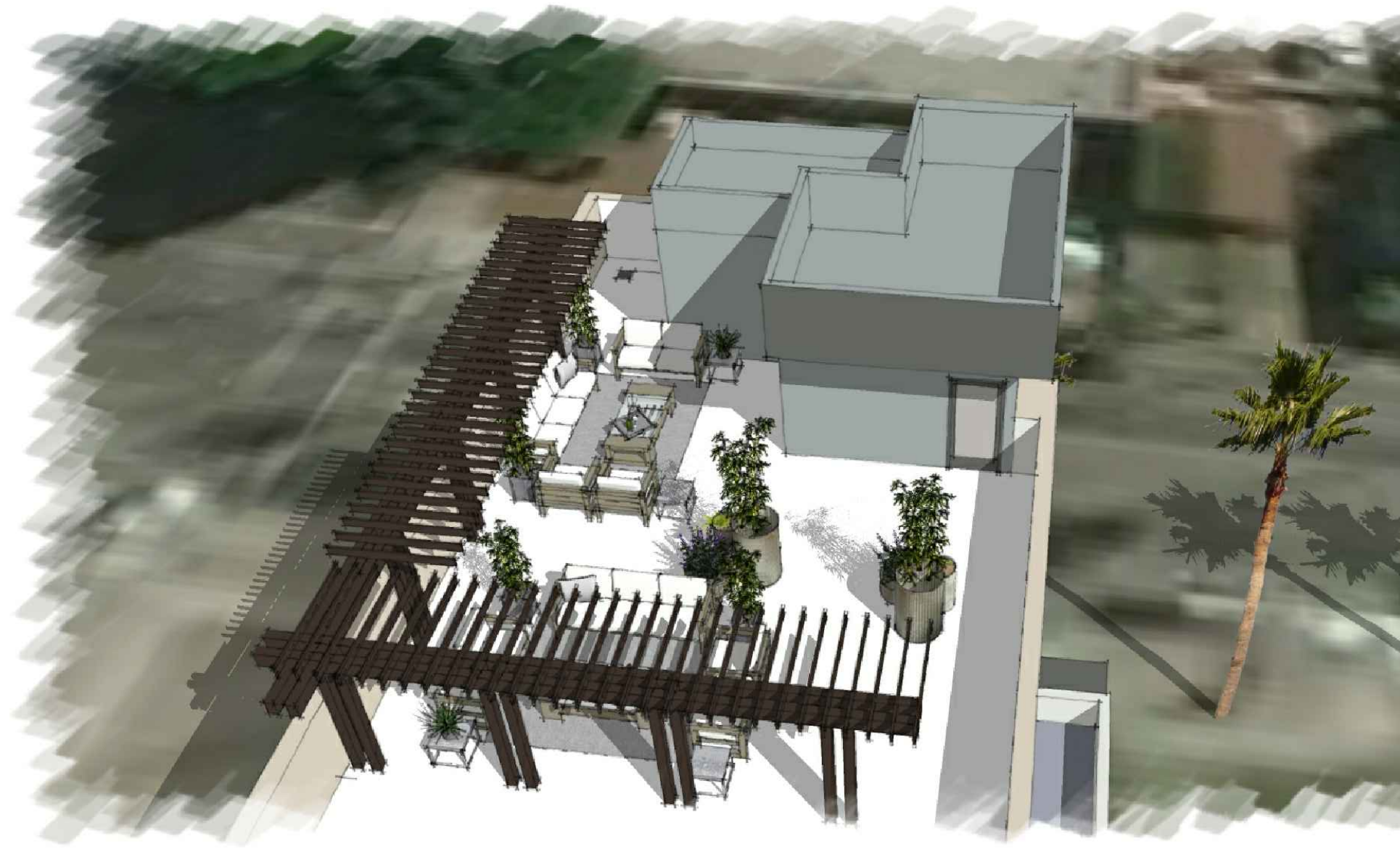
C Street Apartments
 RESIDENTIAL DEVELOPMENT
 613 S. 'C' STREET OXNARD CA 93030


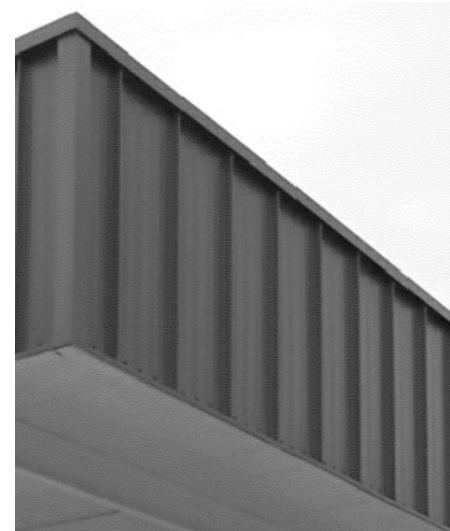

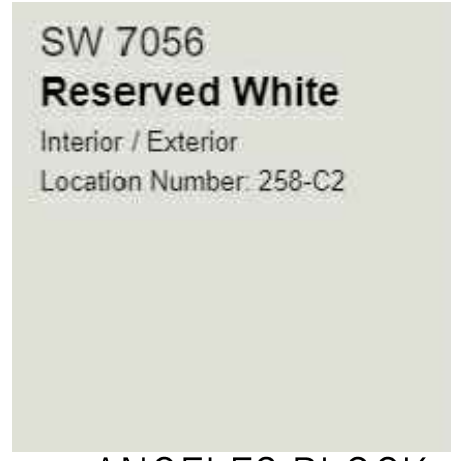







Sheet Title:
EXTERIOR ELEVATIONS
 Sheet No:



A9
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 312 Camarillo Dr.
 Camarillo CA 93010
 auzcompany@aol.com
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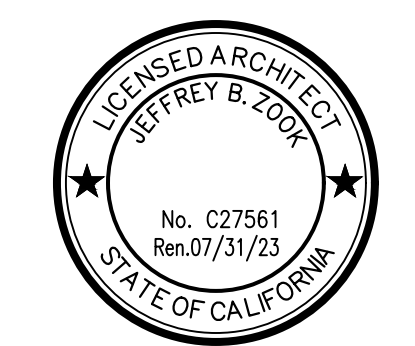
<p>A</p>  <p>NICHIHA FIBER CEMENT PANEL VINTAGEWOOD SPRUCE</p>	<p>B</p>  <p>SW 7541 Grecian Ivory Interior / Exterior Location Number: 247-C1</p> <p>METAL PANEL - SIDING</p>	<p>R</p>  <p>AGS STAINLESS STL- RAILING</p>
<p>C</p>  <p>SW 7056 Reserved White Interior / Exterior Location Number: 258-C2</p> <p>ANGELES BLOCK - PRECISION GREY</p>	<p>D</p>  <p>SW 9177 Salty Dog Interior / Exterior Location Number: 253-C2</p> <p>ANGELES BLOCK - PRECISION GREY</p>	<p>L</p>  <p>LIGHTING</p>
<p>E</p>  <p>SW 9164 Illusive Green Interior / Exterior Location Number: 237-C4</p> <p>POURED IN PLACE CONCRETE - PRECISION GREY</p>	<p>F</p>  <p>SW 9147 Favorite Jeans Interior / Exterior Location Number: 223-C4</p> <p>ANGELES BLOCK - PRECISION GREY</p>	
<p>G</p>  <p>ANGELES BLOCK - PRECISION GREY</p>		



COASTAL ARCHITECTS

1567 SPINNAKER, SUITE 204 VENTURA CA 93003 www.coastalarch.com TEL: 805.985.7654 FAX: 805.201.3023 ARCHITECT: JEFF ZOOK EMAIL: jeff@coastalarch.com PRINCIPAL PLANNER: MIKE SANCHEZ EMAIL: mike@coastalarch.com

C Street Apartments
RESIDENTIAL DEVELOPMENT
613 S. 'C' STREET OXNARD CA 93030



Sheet Title:
MATERIAL / COLORS
Sheet No:

A10

CLIENT: Raul Orozco
312 Camarillo Dr.
Camarillo CA 93010
aузcompany@aol.com
170903 Dec. 02 2021



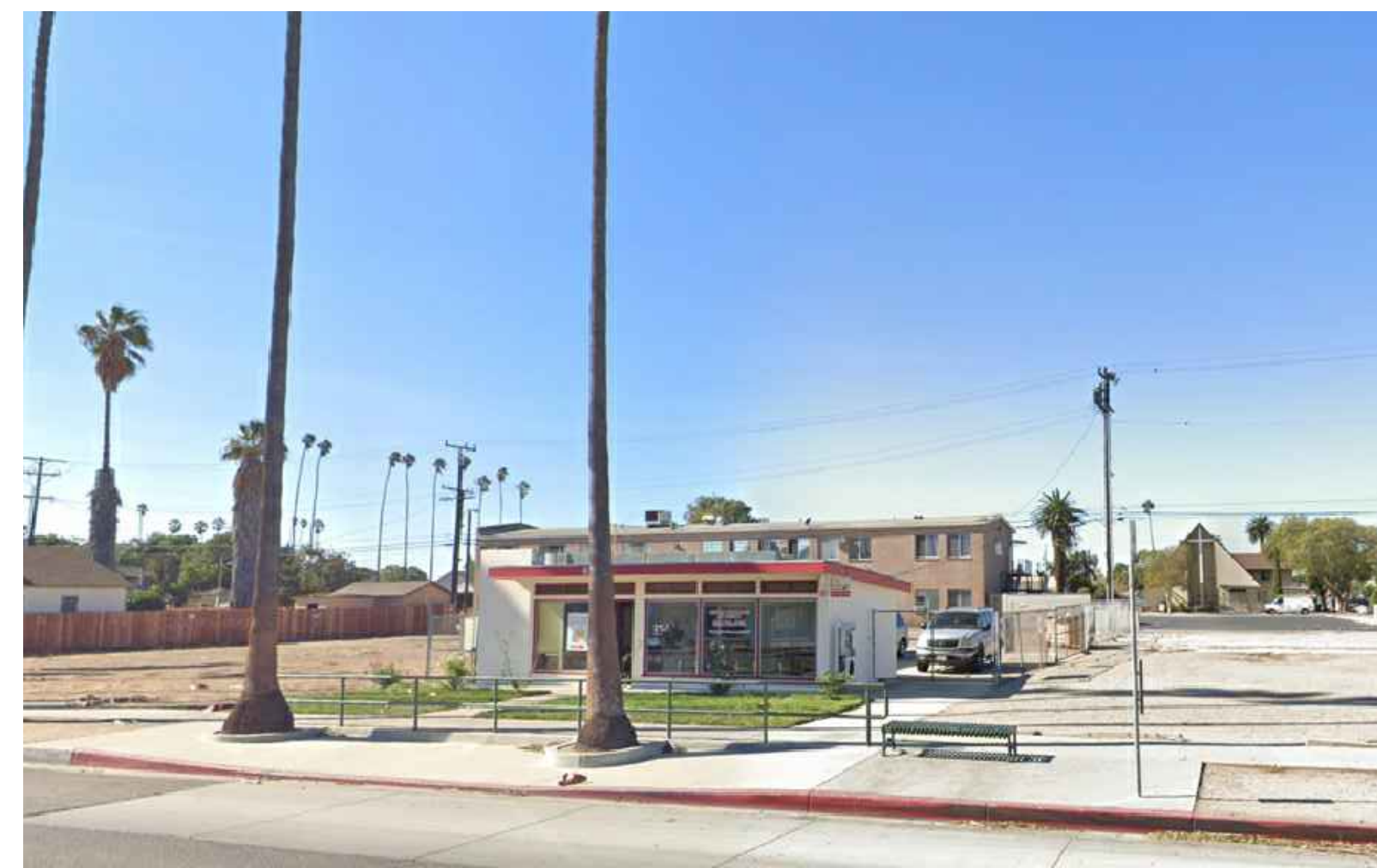
NORTH VIEW AT ALLEY ①



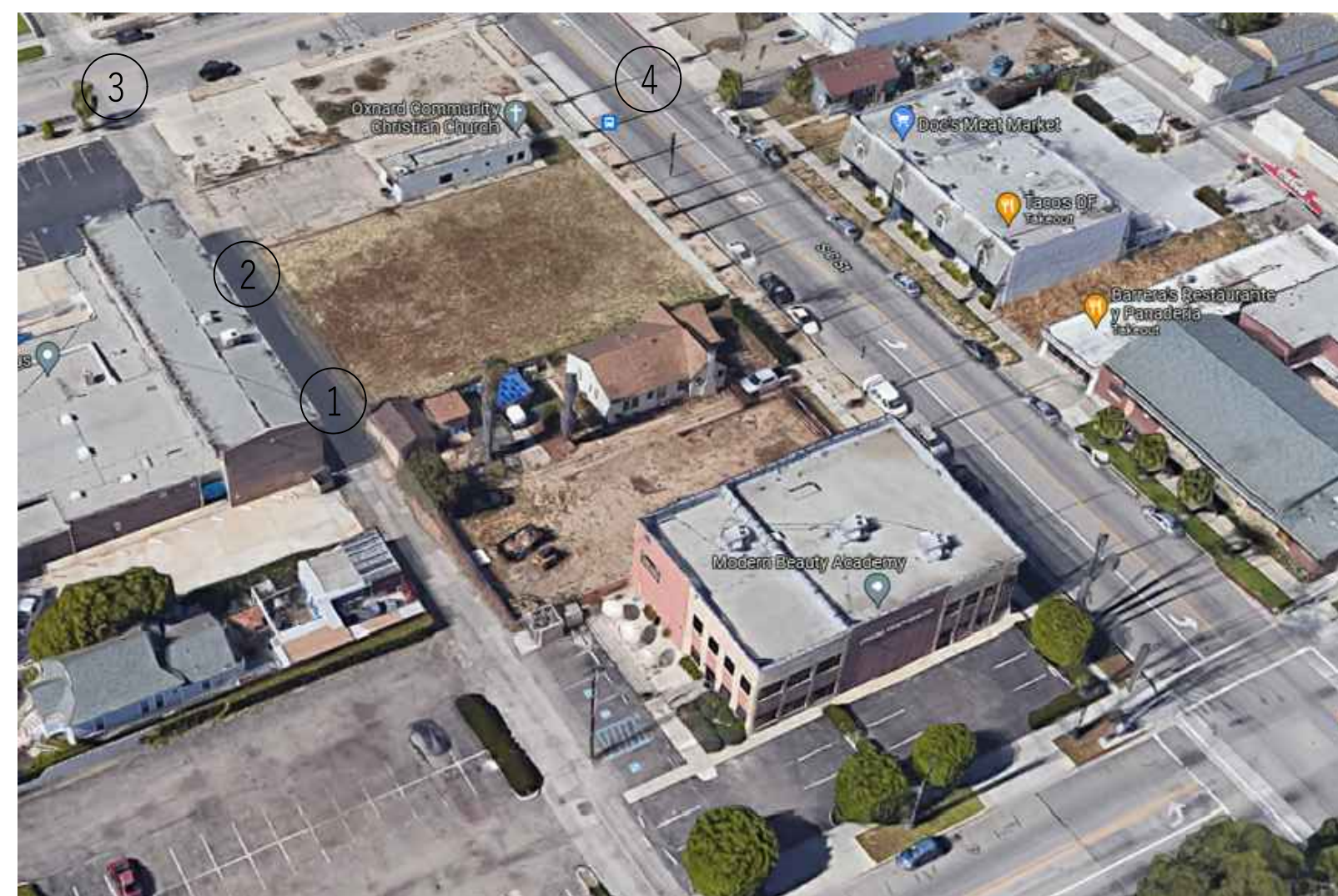
EAST VIEW AT ALLEY ②



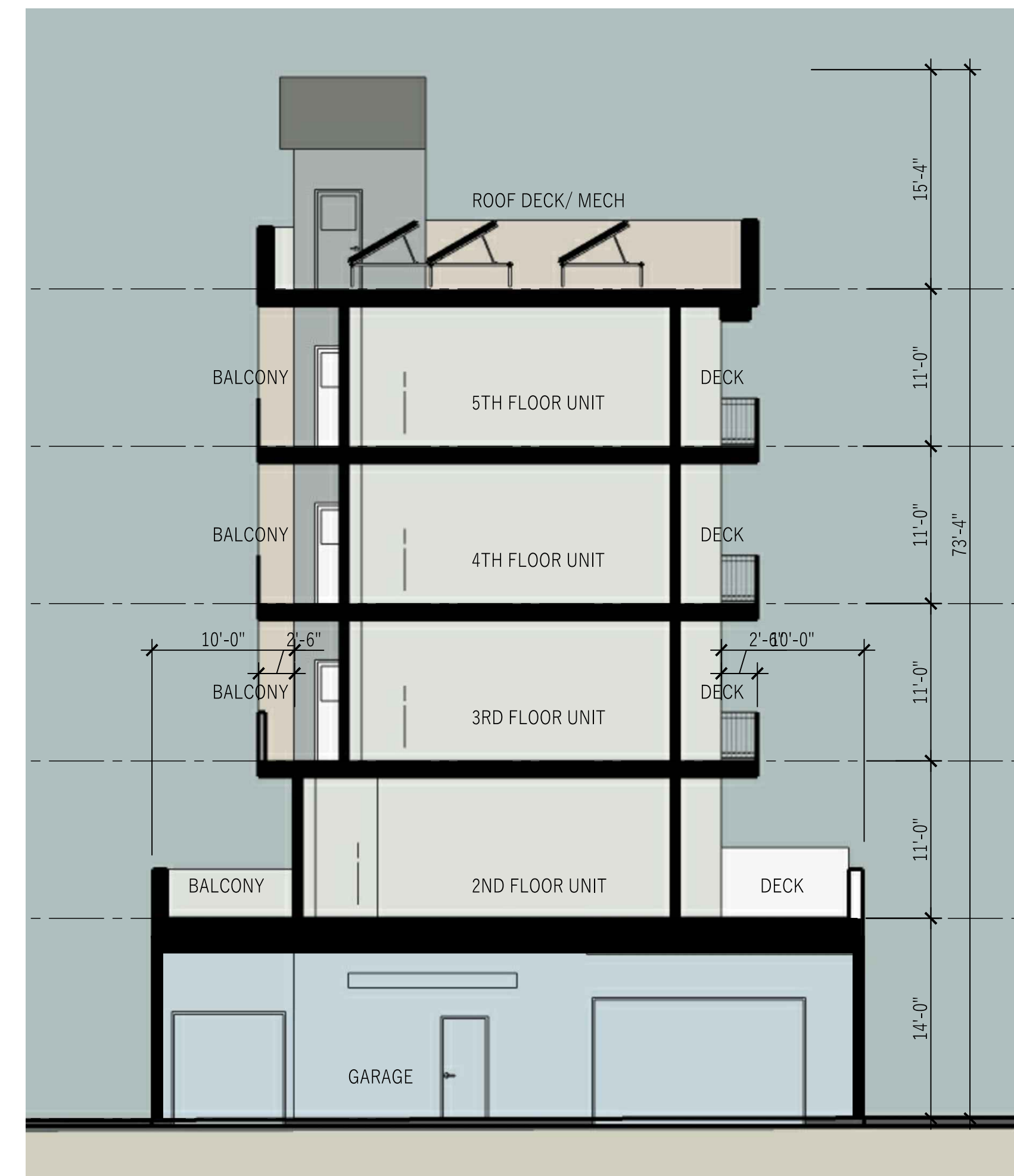
SOUTH VIEW AT ALLEY ③



WESTVIEW AT C STREET ④



VICINITY MAP



BUILDING SECTIONS

Planting Legend

TREES

- (E) Mexican Fan Palm to be Relocated
- (E) Mexican Fan Palm to be Removed
- (E) Carrot Wood to be Removed
- Podocarpus gracillior - Fern Pine
- 8" BT Archontophoenix alexandriae - King Alexander Palm
- 18" Box Eriobotrya Deflexa - Bronze Loquat Multi Trunk

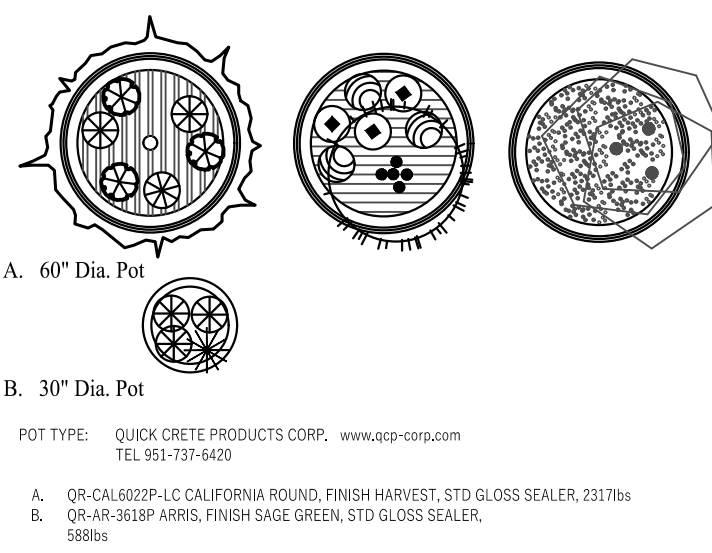
SHRUBS & VINES

- Chamaecyparis humilis - 9 gal Mediterranean Fan Palm
- Raphiopholis indica 'Jack Evans' - 5 gal Indian Hawthorn
- Raphiopholis indica 'Clara' - 5 gal Indian Hawthorn
- Nerium oleander 'betie pink' - 5 gal Oleander
- Nerium oleander 'Petie Salmon' - 5 gal 1' Phoebe Oleander
- Phormium t. 'Dusky Chief' - 1 Phormium t. 'Maori Queen'
- 15 gal Red Flax

GROUNDCOVERS

- 12" o.c. Lampranthus productus - Flats Purple Productus
- 12" o.c. Vinca minor - Flats Periwinkle
- 12" o.c. Lantana monte 'purple and white' - Flats Trailing Lantana 50/50 mix

Pot configurations

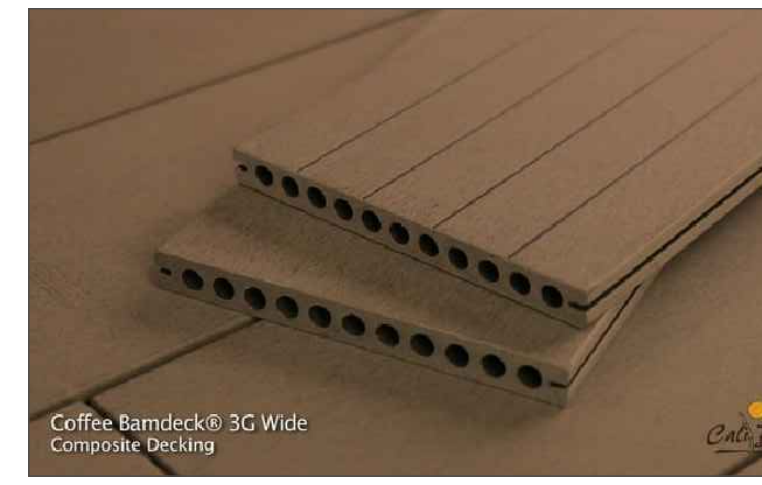
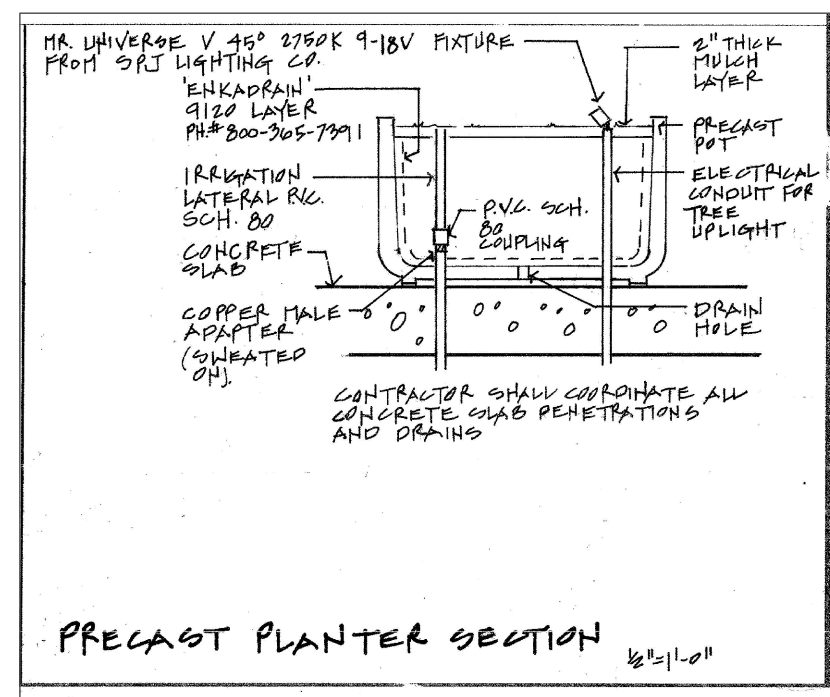


Planting Notes

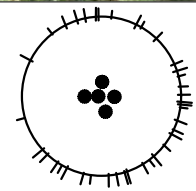
- The work to be performed under this contract shall include furnishing all labor, materials, tools, machinery and equipment necessary to completely install plants, turf, mowstrips, etc. as shown on the plans.
- Landscape contractor and all of his subcontractors shall comply with all state and local codes, ordinances and regulations.
- Landscape contractor and all of his subcontractors shall store all garbage generated from site construction out of site from street and completely remove all garbage generated from construction upon completion and prior to beginning of maintenance period.
- PLANTS - All plant material shall be well established, vigorous, of normal growth habit and free of disease and/or insect infestation. Plants shall have normal, healthy root systems filling their container, but without being rootbound. Plants that do not comply with these conditions shall be removed from the site and replaced at no cost to the owner.
- In the case of a discrepancy, the number of plants actual shown on the plan shall take precedent over the plant count shown on the callout. Landscape Contractor shall be responsible for supplying plants actually shown on plan without additional cost to the Owner.
- Trunk Guard required on all trees in turf areas. Manufactured by Deep Root Corp. or equal. Size and installation per manufacturer specifications and details.
- MULCH - Topdress all shrub areas with 2" layer of shredded mulch equal to Agromin ES2 Mulch (805)482-8749.
- Thirty days after installation, fertilize landscape areas with Best Fert. Co. 16-6-8 applied at the rate recommended by manufacturer or as specified in soil analysis. Fertilizer applications to continue thereafter at rate recommended by manufacturer.
- Contractor to contact the Parks and Facilities Division for inspection and approval of all trees prior to planting. Allow 48 hours notice. (805) 385-7395.
- SOIL AMENDMENT - Introyzed
10. - A organic soil amendment (AGROMEND or equal) shall be rototilled into the top six inches of soil after finish grade has been established. For turf and shrub areas with slopes less than 2:1, rototill at the following rates per 1000 square feet. For SLOPES of 2:1 or greater, broadcast and scarify into the top 2" if topsoil.
- These amounts are for bidding purposes only. Landscape contractor shall provide an agronomic soil test per instructions in specifications: Planting_Materials_A.
- GENERAL SOIL PREPARATION:
4 cy nitrogen stabilized redwood, fir or cedar shavings
25 lbs. soil sulphur
150 lbs. 5-3-1 Gro-Power Fertilizer
25 lbs./cy nagi, Gypsum
BACKFILL MIX: To be incorporated into plant holes at time of planting.
Non Acidic Plants: 4 parts Introyzed amendment, 6 parts Native Soil, Gro-power 5-3-1, Iron sulphate, Agri, Gypsum
Acidic Plants (such as ferns, azaleas, camellias, etc.): 2 part peatmoss, 1 part sharp sand, Turf Supreme, Sequestrene Fe 330 Iron Chelate
(All fertilizers and soil additives to be incorporated per the recommendations of the manufacturer)
11. Landscaping shall comply with all applicable City of Oxnard Parks Landscape Standards.



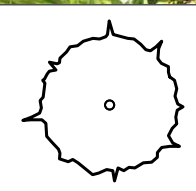
DECK POTS



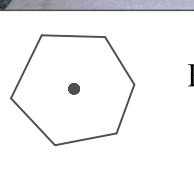
COMPOSITE DECKING



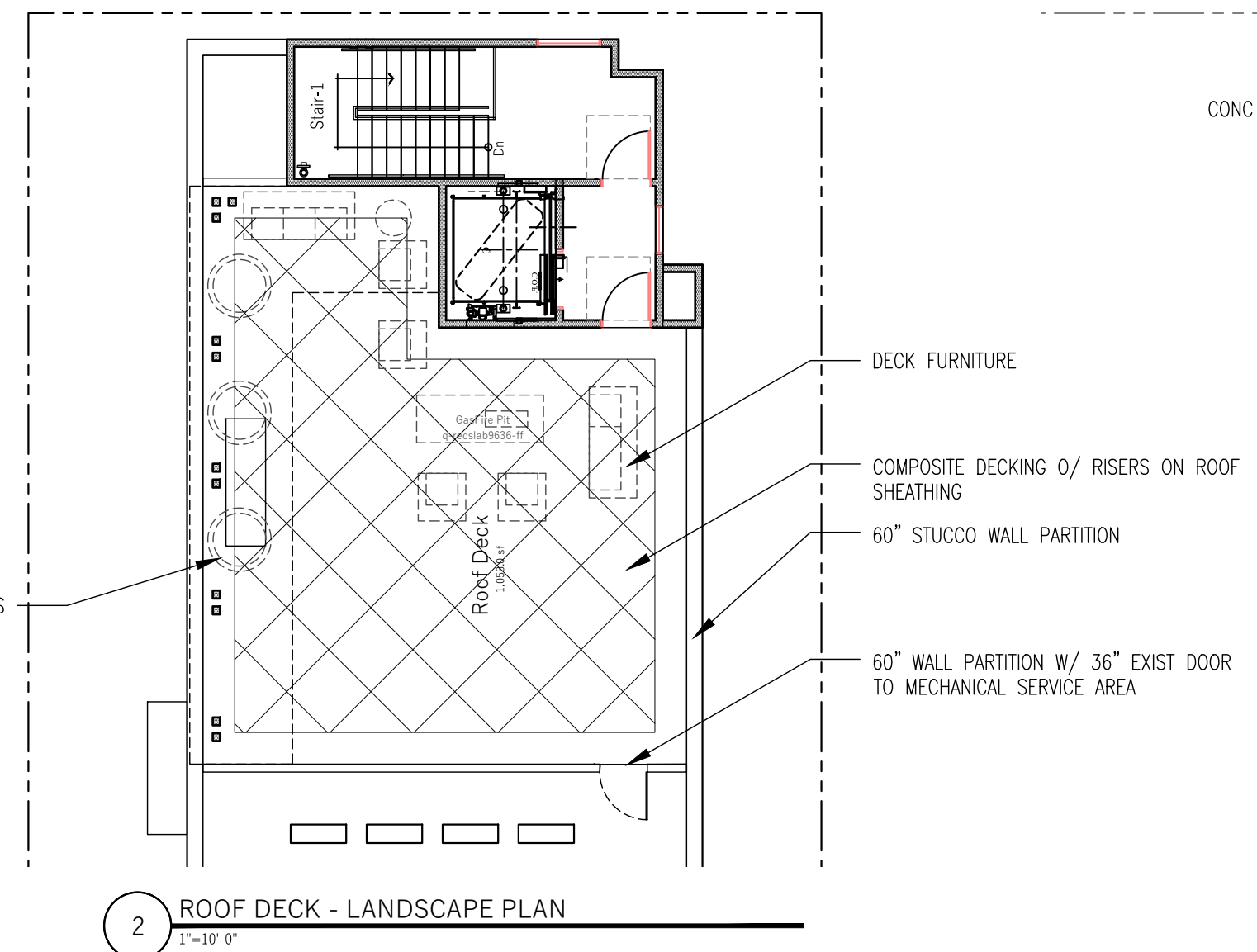
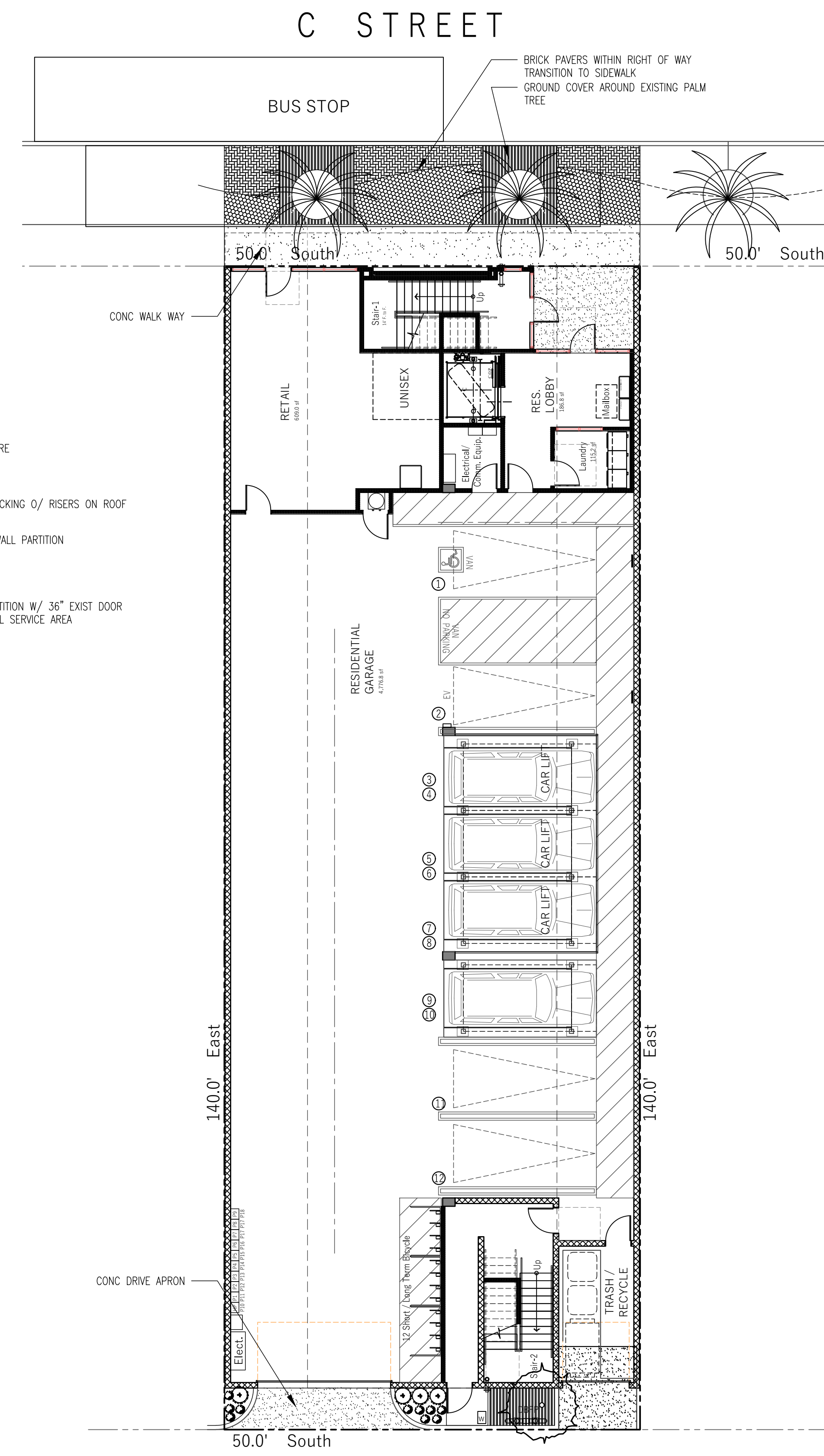
Chamaecyparis humilis



Eriobotrya Deflexa



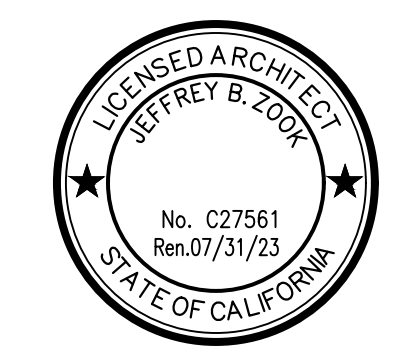
Podocarpus gracillior



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C Street Apartments
RESIDENTIAL DEVELOPMENT
613 S. 'C' STREET OXNARD CA 93030



Sheet Title:
LANDSCAPE PLAN
Sheet No:
L1
CLIENT: Raul Orozco
312 Camarillo Dr.
Camarillo CA 93010
auzcompany@aol.com
170903 Dec. 02 2021

Oxnard Downtown Code – Downtown General Zone			
PZ-20-200-18: 613 South C Street Apartments Project			
DT-G Zone	Required/Allowed		
Overlay Zone	Choose All Applicable: NA	--	DT-G

Site Design, Building Size and Massing			
Code Section/Figure/Table		Required/Allowed	Proposed Project
<u>Figure 16-147.4.A</u>	<u>Lot Size (With Alley Access)</u>		
	Width (interior lot, other)	25 feet minimum/200 feet maximum	50'
	Width (Corner)	add 10% to minimum	
	Width (interior lot, SF attached)	75 feet minimum/160 feet maximum	
	Width (interior lot, SF detached)	150 feet maximum	
	Depth	100 feet minimum/140 feet maximum	140'
<u>Figure 16-147.4.A</u>	<u>Lot Size (Without Alley Access)</u>		
	Width (interior lot)	50 feet minimum/150 feet maximum	
	Width (corner lot)	add 10% to minimum	
	Depth	90 feet minimum/140 feet maximum	
<u>Figure 16-147.4.B</u>	<u>Building Setbacks (Residential)</u>		
	Ground Floor Primary Street (Build-to Line)	10 feet to 15 feet	10'
	Ground Floor Side Street (Build-to Line)	10 feet to 15 feet	N/A

	Ground Floor Side Yard	7 feet minimum	N/A
	Ground Floor Rear with Alley	5 feet minimum	5'
	Ground Floor Rear without Alley	15 feet minimum	N/A
	Upper Story Side Yard Setback	10 feet minimum	10'
	Distance Between Facing Garages on Alley	25 feet minimum	5'
	Amount of Facade at Build-to-Line	70 percent minimum	74.4%
	Roof Deck Setback From Facades	0 feet minimum	0
<u>Figure 16-147.4.B</u>	<u>Building Setbacks (Non-Residential)</u>		
	Ground Floor Primary Street (Build-to Line)	0 feet or 10 feet	0"
	Ground Floor Side Street (Build-to Line)	0 feet to 10 feet	N/A
	Ground Floor Side Yard	0 feet	1"
	Ground Floor Rear with Alley	5 feet minimum	5'
	Ground Floor Rear without Alley	15 feet minimum	N/A
	Upper Story Side Yard Setback	0 feet minimum	1"
	Distance Between Facing Garages on Alley	25 feet minimum	5'
	Amount of Facade at Build-to-Line Frontage	70 percent minimum	90%

	Roof Deck Setback From Facades	0 feet minimum	0'
Figure 16-147.4.E	<u>Above Ground Parking Placement Setbacks</u>		
July 20 Interpretation	Primary Street	<i>18ft Director's Interpretation</i>	26'
July 20 Interpretation	Side Street, within 75 feet of Front Property Line	<i>18ft Director's Interpretation</i>	N/A
	Side Street, 75 feet back from Front Property Line	<i>0 feet minimum</i>	N/A
	Side Yard	<i>0 feet minimum</i>	N/A
	Rear (With or Without Alley)	<i>5 feet minimum</i>	5'
Figure 16-147.4.E	<u>Fully-subterranean Parking Placement Setbacks</u>		N/A
	Primary Street	<i>18 feet minimum</i>	
	Side Street, within 75 feet of Front Property Line	<i>18 feet minimum</i>	
July 20 Interpretation	Side Street, 75 feet back from Front Property Line	<i>0 feet minimum</i>	
	Side Yard	<i>0 feet minimum</i>	
	Rear (With or Without Alley)	<i>0 feet minimum</i>	
Figure 16-147.4.C	<u>Building Height</u>		
	Highest Top Plate	<i>81 feet maximum/102 feet maximum¹</i>	73'
	Top of Parapet of Flat Roof	<i>85 feet maximum/106 feet maximum¹</i>	73'
	Top of Pitched Roof Above Highest Top Plate	<i>85 feet maximum/106 feet maximum¹</i>	73'

¹ Maximum available when one or more of the qualifying community benefits described in 16-145.2.L are included in the project.

	Ground Floor Above Grade at Building Setback Line (Residential)	<i>1.5 to 4 feet maximum</i>	N/A
	Ground Floor Above Grade At Building Setback Line (Non-Residential)	<i>0 feet maximum</i>	1"
	Ground Story Height	<i>12 feet minimum</i>	12'
July 20 Interpretation	Ground Story Depth	<i>18 ft minimum Interpretation</i>	28'-2"
<u>Figure 16-147.4.D</u>	<u>Massing Requirements</u>		
	Overall Building Dimensions For House-Form Buildings	<i>100 feet</i>	135'
	Primary Mass Width or Depth (House Form Massing)	<i>80 feet by 80 feet</i>	30' x 135'
	Secondary Mass Width or Depth (House Form Massing)	<i>20 feet</i>	N/A
	<u>Allowable Architectural Styles</u>	<i>new traditional Spanish revival Victorian craftsman contemporary/modern art deco</i>	contemporary/modern
Section 16-147.4.C.2	Visitor/Pedestrian Access		Yes
Section 16-147.4.C.2.a	Building Access	Sidewalk access required via Table 16-150	Yes
Section 16-147.4.C.2.a	Distance Between Entries on Each Building	<i>50 feet maximum between entries</i>	N/A
Section 16-147.4.C.2.b	Upper Floor Access	sidewalk access required via shared	Through Lobby

		courtyard, paseos, or a lobby	
Section 16-147.4.C.2.c	Side Street Facades	<i>architectural treatment and materials must be designed to same level of primary frontage</i>	Yes
Figure 16-147.4.E	Required Parking Minimum		
	Commercial	1 space/1,000 sf (minimum of 50% of the required parking must be in-lieu fee)	1 Space
	Residential (When Private Garages are Provided)	<ol style="list-style-type: none"> 1. 1 space/unit for studios and 1-bedrooms 2. 2 spaces/unit for 2-bedrooms or more 	N/A
	Residential-Multi-Family(Shared Parking/Open Structure)	0.5 spaces/unit minimum and 1.65 spaces/unit maximum (if less than 1 space/unit in-lieu fee payment is required)	20 units / 12 spaces
	Loading Space	1 space, if no loading spaces or alley within 350 feet of the subject property	Alley loaded
	Motorcycle Parking	As required in 16-342 & 16-638(B)	
Figure 16-147.4.E	Vehicular Access	side or rear of lot via alley, lane, or drive	Rear via alley
	Residential Side Street Driveway (Not within 50 feet of front facade and when alley not present)	12 feet minimum	N/A
	Residential Front Drive (Only within 25 feet of interior lot line)	12 feet minimum	N/A
	Commercial Side Street	18 feet minimum(1-way)	N/A

	Driveway (Not within 50 feet of front facade and when alley not present)	25 feet minimum (2-way)	
	Commercial Front Drive (Only within 25 feet of interior lot line)	18 feet minimum(1-way) 25 feet minimum (2-way)	N/A
	Alley Access	for lots less than 50 feet wide vehicular access must be provided via a rear service lane	Yes
Table 16-152	Private Open Space	<ol style="list-style-type: none"> 1. 5 percent of total lot area for lots ≤8,000sf (250 sq ft required) 2. 10 percent of total lot area for lots >8,000sf (not including setback areas)	2. = 700sf Required Provided: Decks = 2,292.7 sf Roof deck= 1,053 sf Total = 3,345.7 sf
Table 16-152.C	Rear Yard	15 feet x 15 feet minimum	N/A
	Rear Yard Architectural Encroachments	30 percent of width and/or length maximum	N/A
Table 16-152.D	Court	15 feet x 25 feet minimum	N/A
	Court Architectural Encroachments	30 percent of width and/or length maximum	N/A
Table 16-152.E	Side Yard	12 feet x 20 feet minimum	N/A
	Side Yard Architectural Encroachments	30 percent of width and/or length maximum	N/A
Table 16-152.F	Roof Deck	15 feet x 15 feet minimum	26'x 30'
Table 16-152.G	Passage	10 feet wide minimum	N/A

	Passage Architectural Encroachments	4 feet maximum	N/A
Table 16-152.H	Balcony	6 feet x 8 feet minimum	6'x 10'
Section 16-153	Public Open Space Type	Plaza Pocket Park Paseos Woonerf (July 20 Interpretation)	
Table 16-153	Required Public Space	<ol style="list-style-type: none"> 1. 7 percent of total lot area for lots 20,000sf to 2 acres. 2. 10 percent of total lot area for lots > 2 acres (not applicable to lots less than 20,000 sf)	N/A
Table 16-153.B	Plaza	25 feet x 50 feet minimum	N/A
Table 16-153.C	Pocket Park	25 feet x 50 feet minimum	N/A
Table 16-153.C.2.e	Pocket Park hedges and walls	36 inch maximum height	N/A
Table 16-153.C.2.f	Pocket Park Frontages	mid-block: at least one public frontage corner: at least two public frontages	N/A
Table 16-153.D	Paseo	10-25 feet wide minimum	N/A
Table 16-152.I.1	Limitation of Turf in Residential Development	30 percent maximum	N/A
Table 16-152.I.6	Site Lighting (Parking Areas, Buildings, Pedestrian Routes, and Public Ways)	1 foot candle minimum and 7 foot candle maximum.	1 ft candle min.
Table 16-152.I.6	Lighting Height (From Bottom of Lamp)	20 feet maximum above sidewalk or other path	N/A
Table 16-149.A	Surface Parking Lots		
Table 16-149.A.3.a	Screening	screening may include landscape screening, screening structures/facades, or	N/A

		public art/murals (walls or landscaping, excluding trees, are limited to 36 to 48 inches tall)	
Table 16-149.A.3.b	Landscape Shading (Including arbors, trellises, pergolas, mesh, and overhead canopies) Solar Shade Structures (Allowed only were not visible from sidewalk or on existing structures)	10 percent coverage (gross)	Provided trellis and potted planting at roof deck, landscaping at alley = 10% min.
Table 16-149.A.3.c	Lighting Height	15 feet maximum	N/A
Table 16-149.A.3.c	Lighting Type	lighting must be shielded and recessed	Shielded type
Table 16-149.A.3.c	Illumination Levels	1 foot candle minimum and 7 foot candle maximum.	1 ft candle min.
Table 16-149.A.3.d	Landscape Coverage	10 percent gross landscape coverage and 1 shade tree for every 8 parking spaces or 30 percent mature canopy converge, whichever greater	N/A
Table 16-149.B.2	Podium and Subterranean Parking Structures		Yes
Table 16-149.B.2.b; 16-149.B.3.b	Non-lined portion of garages	5 foot setback 0ft Interpretation	N/A
Table 16-149.B.2.b	Primary Street and Side Street (within 75 feet	30 feet minimum depth of occupiable and usable space	30'

	of front property line) Frontages	18ft Interpretation	
Table 16-150	Architectural Encroachment Into Setbacks	<i>porch: up to 5 feet of sidewalk</i> <i>stoop: up to 1 foot of sidewalk</i> <i>terrace: within 1 foot of sidewalk</i> <i>dooryard: up to 1 foot of sidewalk</i> <i>shopfront: awning and canopy up to 2 feet of curb</i> <i>gallery: up to 3 feet of curb</i> <i>arcade: up to 3 feet of curb</i>	N/A

**Allowed Private Frontages and Encroachment Standards
Table 16-150**

Standard	Downtown Zones				Min ft Between PL and Façade ³	Encroachment into setbacks	See Guidelines	
	Type	DT E	DT E-O	DT G				DT C
Residential Ground Floor Commercial Ground Floor	Porch	P	P	P	---	12 to 20	Up to 5' of sidewalk	16-150.C
	Stoop	P	P	P	P ¹	4 to 6	Up to 1' of sidewalk	16-150.D
	Terrace	---	---	P	P	7 to 12	Within 1' of sidewalk	16-150.E
	Dooryard	P	P	P	P ¹	7 to 12	Up to 1' of sidewalk	16-150.F
	Common Entry	---	---	P	P	10 to 15	Not applicable	16-150.G
	Shopfront	---	P	P ²	P	0 or 10	Awning / canopy up to 2' of curb	16-150.H
	Gallery	---	---	P ²	P	0	Up to 3' of curb	16-150.I
	Arcade	---	---	---	P	0	Up to 3' of curb	16-150.J

Notes

P Allowed in Zone
 --- Not allowed in zone

¹ Not allowed in shopfront overlay.

² Only where shopfront overlay applies.

³ At a massing break, the edge of the required 15' x 15' area is considered the property line for the purposes of applying frontage type(s) standards.

Private and Public Frontages			
		Required/Allowed	Proposed Project
Section 16-150	Private Frontages		
Table 16-150	Allowed Private Frontages	<i>Porch</i> <i>Stoop</i> <i>Terrace</i>	N/A

		<i>Dooryard</i> <i>Common Entry</i> <i>Shopfront</i> (November 23 Interpretation) <i>Gallery</i> (November 23 Interpretation) <i>Arcade</i>	
Table 16-150.C	Porch	25 feet minimum/200 feet maximum	N/A
	Distance between Property Line and Facade	12 feet to 20 feet	
	Porch Depth (Between Wall and Inside Column Face)	7 feet minimum	
	Porch Width (Between Corner Column and Building Face)	10 feet minimum	
	Porch Height (Measured From Porch Surface to Top of Porch Columns)	8 feet minimum and 12 feet maximum	
	Floor Height for Residential Ground Floor (Measured From Adjacent Finish Grade)	18 inch minimum and 3 feet maximum	
	Separation Between Porch and Fence or Sidewalk	5 feet minimum	
Table 16-150.D	Stoop		N/A
	Stoop Width	4 feet minimum and 8 feet maximum	
	Stoop Depth (Not Including Stairs)	4 feet minimum and 8 feet maximum	
	Stoop Floor Height (Measure from Adjacent Finished Grade)	18 inch minimum and 3 feet maximum	
	Planter/Fence Height	5 feet maximum	
	Setback From Back of Sidewalk	18 inch minimum	

Table 16-150.E	Terrace		N/A
	Depth, Clear	8 feet minimum	
	Finish Level above Sidewalk	18 inch minimum (residential only) and 3 feet maximum	
	Length of Terrace	150 feet maximum	
	Distance Between Stairs	50 feet maximum	
Table 16-150.F	Dooryard		N/A
	Size of Dooryard	per building setback	
	Wall Height Above Adjacent Sidewalk	4 feet maximum	
	Wall Height Above Dooryard Floor	3 feet maximum	
	Dooryard Floor Height Above Adjacent Sidewalk	18 inch maximum	
	Dooryard Floor Height Below Adjacent Sidewalk	3 feet maximum	
Table 16-150.G	Common Entry		N/A
	Height To Bottom of Awning/Canopy (Clear)	10 feet minimum and 25 feet maximum	
	Awning/Canopy Depth	4 feet minimum and within 2 feet of curb maximum	
	Entry Distance to Back of Sidewalk	8 feet minimum and 20 feet maximum	
	Area of Outdoor Space (Does Not Include Public R.O.W)	150 square feet minimum	
	Glass Area of Ground Floor Lobby Wall Area	70 percent minimum	
Table 16-150.H	Shopfront		
	Height to (clear)/top of shopfront	12 feet minimum and 18 feet maximum	12'
	Height to bottom of awning/canopy (clear)	8 feet minimum and 10 feet maximum	12'

	Width of shopfront base	10 feet minimum and 20 feet maximum	
	Height of shopfront base	6 inch minimum and 3 feet maximum	12"
	Glass area of ground floor wall area (each facade)	70 percent minimum	80%
	Width of Shopfront on second frontage (corner building)	20 feet minimum	N/A
	Awning Depth	5 feet minimum up to within 2 feet of curb	4'
	Awning Location	located over shopfront opening only	N/A
	Awning Design	quarter sphere or quarter cylinder configurations not allowed	N/A
	Distance between openings in wall	10 linear feet maximum (primary street frontage) 25 linear feet maximum (side street frontage)	10 l.f.
	Traditional Shopfront	header: 24 inches minimum and 36 inches maximum shopfront windows: recessed a minimum of 2 inches base panels/shopfront base: 36 inch in height maximum	
	Shopfront Tint	10 percent maximum	N/A
Table 16-150.H	Gallery		N/A
	Height (sidewalk to ceiling)	12 feet minimum and 16 feet maximum	
	Depth (facade to interior column face)	10 feet minimum and 16 feet maximum	
	Length along frontage (% of building facade width)	25 feet minimum and 100 feet maximum	
	Setback from Back of Sidewalk	0 feet minimum and 5 feet maximum	
	Right-of-way	no encroachment	

	Distance between openings in wall	10 linear feet maximum	
Table 16-150.H	Arcade		N/A
	Height (sidewalk to ceiling)	12 feet minimum and 16 feet maximum	
	Depth (facade to interior column face)	10 feet minimum and 16 feet maximum	
	Length along frontage (% of building facade width)	25 feet minimum and 100 feet maximum	
	Setback from Back of Sidewalk	0 feet minimum and 5 feet maximum	
	Right-of-way	no encroachment	
	Distance between openings in wall	10 linear feet maximum	
Section 16-151	Public Frontage		
Section 16.151.1.A	Sidewalk Width	5 feet minimum	10'
Table 16-151.C	Commercial Parking lane trees, where provided	located every 2 to 6 spaces	N/A
Table 16-151.C	Commercial Parklets Buffers	24 inch buffer from travel lane (recommended) 36 inch buffer from adjacent parking spaces (recommended) 15 feet from bus stop or shelter	N/A
Table 16-151.D	Residential Parkways	breaks every 50 feet (recommended)	N/A
Table 16-151.D	Residential Parking lane trees, where provided	should be located every 2 to 4 spaces	N/A

Architectural Guidelines			
Table 16-156.A.i	Bay windows	8 foot maximum width height equal or greater than width 3 feet minimum from corner 50 percent transparency or greater.	N/A
Table 16-156.A.j	Door Glazing	glazing must provide at least 90 percent visible light transmission	90%
Table 16-156.B.a	Orientation to Public Space	buildings must face open spaces and may not back on to open spaces.	Complies
Table 16-156.B.d	Residential Entry	access from the sidewalk is required if the unit is within 5 feet of grade.	N/A
Table 16-156.C.a	Building Wall Materials	walls must be finished in stone, brick, finished concrete block, poured in place or pre-cast concrete, smooth plaster or stucco, and wood. synthetic materials may be approved through design review	Poured in placed conc. / Stucco/ Wood rain screen/ Metal Siding
Table 16-156.D.2.d	Upward Acting Doors (Contemporary Building Only)	maximum width: 16 feet maximum height: 10 feet minimum separation: 2 feet materials: clear, see-through glazing	Glazed Doors
Table 16-156.E.1.a	Window Materials	wood, vinyl-clad wood, aluminum-clad wood or metal. pvc and vinyl windows require design review approval.	Alum. Storefront Vinyl windows above
Table 16-156.E.2.b	Non Shopfront ground floor window	window sills should be 4-8 feet from public sidewalks and open spaces	N/A
Table 16-156.E.2.g	Window Recesses	minimum 2 inch recess from facade (Advisory)	2"
Table 16-156.F.1.e	Balconies	minimum of 5 feet in depth (Advisory)	6'

Table 16-156.F.2.e	Planter Boxes	should be between 18 to 42 inches tall (cannot block windows)	N/A
Table 16-156.F.3.a	Masonry and Stucco Arches	depth: 12 inches minimum piers/columns: 12 by 12 inches minimum	N/A
Table 16-156.F.3.b	Wood Posts	6-by-6 inches minimum and articulated	N/A
Table 16-156.G	Building Colors	coordinated and subdued colors typical of natural building materials, such as earth tone colors (recommended) exterior facade colors should be limited to two or three	Natural Earth Tones
Table 16-156.H.1.d	Gutters and Downspouts	should be made of: galvanized steel copper pre-finished aluminum	Hidden Downspouts
Table 16-156.H.2.a	Traditional Building Shed Roof Slope	minimum slope of two in twelve (2:12)	N/A
Table 16-156.H.2.e	Service Equipment	roof top equipment must be screened from public view	5' screen
Table 16-156.H.2.f	Skylights	must be flat and not visible from the public areas	N/A
Table 16-156.H.2.g	Gutters	half-round or ogee (rectangular allowed on contemporary buildings only)	N/A
Table 16-156.H.3.b	Exposed Rafter Tails	minimum nominal dimension of 3 inches by 4 inches.	N/A
Table 16-156.H.3.c	Supporting Brackets	minimum dimension of 5 inches	6" at roof trellis
Table 16-156.I.1	Vents	must be screened from public and semi-public areas	N/A
Table 16-156.I.3 and 4	Service Entrances and Waste Disposal Areas, etc	lots with alley access: must be adjacent to and accessed from alley lots without alley access: must be screened and far from public view	Enclosed Trash Room
Table 16-156.I.5	Fire Sprinklers	should be building mounted rather than freestanding	Alley side building mounted
Table 16-156.J.2.a	Garden Walls	6 inches wide minimum with cap	N/A
Table 16-156.J.2.b	Fences	wood fences: maximum of 3 inch gap between vertical lattices	N/A

		wrought iron, including steel bar: minimum of 4 inches between bars	
Table 16-156.J.2.c	Front Yard Wall Height (front or side street setback areas)	must be between 30 inches to 42 inches	N/A
Table 16-156.J.2.d	Side Yard Wall Height (at or behind building facade)	8 feet maximum	N/A
Table 16-156.J.2.e	Wall Setbacks (Fences built parallel to frontage between houses or structures, unless integral part of architecture)	should be setback 2 to 5 feet	N/A
Table 16-156.J.2.f	Retaining Walls at Frontages	5 feet maximum	N/A
Table 16-156.J.2.h	Parking Wall Height	must be between 36 inches and 48 inches	N/A
Table 16-156.J.3.e	Wood Siding Patterns (recommendation)	clapboard should not exceed 6 inches to the weather shingles should not exceed 8 inches to the weather dropsiding should not exceed 12 inches and 4 inches, alternatively	Rain Screen assembly

MINUTES
OXNARD DOWNTOWN DESIGN REVIEW COMMITTEE
REGULAR MEETING
October 14, 2021 Minutes
DRAFT

A. ROLL CALL

1. At 9:05 a.m. the regular meeting of the Downtown Design Review Committee convened in the West Conference Room of the Service Center. Present via videoconference: Chairman Gary Blum; Tyson Cline, Member; Alesia Martin, Member; and David Ferrin, Member; Staff members present: Scott Kolwitz, Planning & Environmental Services Manager; Joe Pearson II, Senior Planner, Jose Coyotl, Associate Planner, Juan Martinez, Associate Planner. Chairman Gary Blum presided and called the meeting to order. Committee member Authur Valenzuela was absent.

B. PUBLIC COMMENTS - On Items Not On The Agenda

1. None.

C. CONSENT AGENDA

1. APPROVAL OF MINUTES - September 9, 2021

MOTION: Committee Member Ferrin moved and Committee Member Ferrin seconded a motion to approve the minutes of September 9, 2021, as submitted.

VOTE: Chair Gary Blum, and Committee Members Cline, Ferrin, and Martin voted in favor. The motion carried 4:0:1:0:0¹.

D. NOMINATION AND ELECTIONS

1. Nomination and Election of the Downtown Design Review Committee Chair and Vice Chair to Serve for the remainder of Calendar Year 2021

Nominations for Chair:

NOMINATIONS: Committee Member Cline moved and Committee Member Ferrin seconded a nomination for Chair Blum to serve as Chair for remainder of Calendar Year 2021.

VOTES: Chair Blum to serve as Chair for remainder of Calendar Year 2021: Chair Blum and Committee Members Cline, Ferrin, and

¹ In Favor: Against: Absent: Abstain: Recused

Martin. Committee Member Valenzuela was absent. The motion carried 4:0:1:0:0².

Nominations for Vice Chair:

NOMINATIONS: Chair Blum moved and Committee Member Martin seconded a nomination for Committee Member Cline to serve as Vice Chair for the remainder of Calendar Year 2021.

VOTES: Committee Member Cline to serve as Vice Chair for remainder of Calendar Year 2021: Chair Blum and Committee Members Cline, Ferrin, and Martin. Committee Member Valenzuela was absent. The motion carried 4:0:1:0:0³.

E. EX PARTE DECLARATIONS FOR PUBLIC HEARING ITEMS

1. None

F. PUBLIC HEARING

1. **Project Name: Blooming Organics, dba Elevate Downtown Oxnard; - PLANNING AND ZONING PERMIT NO. 21-516-12 (Special Use Permit - Cannabis (SUP)).** A request to permit architectural revisions associated with the operation of a commercial cannabis retail facility within an existing 2,550 square-foot commercial building on a .08-acre site located at 156 S. A Street (APN: 202-0-056-060) within the Downtown General (DT-G) zone. Proposed development includes tenant improvements: installation of interior wall partitioning, plumbing upgrades, upgrades to an existing fire alarm system, security upgrades to the existing building, installation of new secure doors/windows, removal of service doors, construction of a new service door, and providing exterior facade improvements. The proposed project is exempt from environmental review, pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act. Filed by Mario Rios on behalf of Blooming Organics, LLC., 15431 San Jose Street, Mission Hills, CA 91345 (the “**Applicant**”). **City Staff: Jose Coyotl, Project Planner**

Jose Coyotl, Associate Planner, provided a brief introduction presentation of the staff report outlining the request.

The project architect, Cynthia Wang, presented the project design.

No public verbal or written comments were received prior to the hearing.

No public comments were made during the public comment portion of the public hearing.

Discussion ensued among the Committee Members, Staff, and the Applicant regarding the project design.

² In Favor: Against: Absent: Abstain: Recused

³ In Favor: Against: Absent: Abstain: Recused

MOTION: Vice Chair Cline moved and Committee Member Martin seconded a motion recommending approval of the project's architectural design with the following comments:

1. The project shall accommodate the grade change inside of the building frontage, and remove the exterior ramp.
2. That the applicant coordinates with City staff, to install appropriate street trees and landscaping in the street planters along the project frontage.

AMENDED MOTION: Vice Chair Cline moved and Committee Member Martin seconded a motion recommending approval of the project's architectural design with the following comments:

1. The project shall accommodate the grade change inside of the building frontage, and remove the exterior ramp.
2. That the applicant coordinates with City staff, to install appropriate street trees and landscaping in the street planters along the project frontage.
3. Plans should be revised to specify all the materials that are to be used, including a clear glass storefront system and the bronze anodized finish on the frame.

VOTE: Chair Blum, Vice Chair Cline, and Committee Members Ferrin and Martin. voted in favor. Committee Member Valenzuela was absent. The amended motion carried 4:0:1:0:0⁴.

2. **Project Name: 99 High Tide - Oxnard, LLC., dba 99 High Tide - La Sirena; - PLANNING AND ZONING PERMIT NO. 21-516-43 (Special Use Permit - Cannabis (SUP)).** A request to permit architectural revisions associated with the operation of a commercial cannabis retail facility within an existing 2,299 square-foot commercial building on a .08-acre site located at 138 South A Street (APN: 202-0-056-100) within the Downtown General (DT-G) zone. Proposed development includes tenant improvements: installation of interior wall partitioning, plumbing upgrades, upgrades to an existing fire alarm system, security upgrades to the existing building, installation of new secure doors/windows, and providing exterior facade improvements. The proposed project is exempt from environmental review, pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act. Filed by Sam Boyer on behalf of 99 High Tide-Oxnard, LLC., 4536 Costa de Oro, Oxnard, CA 93035 (the “Applicant”). **City Staff: Jose Coyotl, Project Planner**

Jose Coyotl, Associate Planner, provided a brief introduction presentation of the staff report outlining the request.

The project architect, Johnny Hirsch, presented the project design.

No public verbal or written comments were received prior to the hearing.

⁴ In Favor: Against: Absent: Abstain: Recused

No public comments were made during the public comment portion of the public hearing.

Discussion ensued among the Committee Members, Staff, the project architect and the Applicant regarding the project design.

MOTION: Vice Chair Cline moved and Committee Member Martin seconded a motion recommending approval of the project's architectural design with the following comments:

1. The storefront wooden screen should be revised to provide at least a three inch gap between the horizontal slats with the goal of achieving no more than a 20%-30% coverage. Additional details shall be provided to the Planning Commission to confirm the openness and functionality of the woodscreen system.
2. The window film should be removed to provide a clear glass storefront system. The project interior floor plan may need to be updated to achieve the clear glass storefront system.
3. The applicant shall coordinate with City staff, to install appropriate street trees and landscaping in the street planters along the project frontage.
4. Exterior lighting details were not provided. Applicant team shall provide exterior lighting details to the Planning Commission for review.

VOTE: Chair Blum, Vice Chair Cline, and Committee Member Martin voted in favor. Committee Member Valenzuela was absent. The motion carried 3:1:1:0:0⁵.

3. **Project Name: Palm Drive Mixed Use Development;** - PLANNING AND ZONING PERMIT NO. 21-200-04 (Major Downtown Design Review Permit (DDRP)). The project request proposes to construct a two-story mixed use development with 900 sf commercial space and 994 square foot, two-bedroom apartment on the first floor and two, one-bedroom apartments on the second floor. The 5,250 square foot undeveloped site is zoned for Downtown General (DT-G) and is located at 140 Palm Drive (APN: 200-0-052-130), within the Wilson Neighborhood. The project is exempt from environmental review pursuant to Section 15332 (Infill Development), Class 32 of the California Environmental Quality Act (CEQA) Guidelines. Filed by Lizette Elenes with ERA Architects on behalf of the property owner Vicente & Lilia Martinez, 1971 Hazeltine Drive Oxnard, California 93036. (the "**Applicant**"). **City Staff: Juan Martinez, Project Planner**

Juan Martinez, Associate Planner, provided a brief introduction presentation of the staff report outlining the request.

The project architect, Lizette Elenes, presented the project design.

No public verbal or written comments were received prior to the hearing.

⁵ In Favor: Against: Absent: Abstain: Recused

No public comments were made during the public comment portion of the public hearing.

Discussion ensued among the Committee Members, Staff, the project architect and the Applicant regarding the project design.

MOTION: Vice Chair Cline moved and Committee Member Martin seconded a motion to continuance of the project to the December 9, 2021 DDRC meeting with the following comments:

1. Take an overall review of the site plan as it relates to open space and parking.
2. Study simplification of structure and massing to take advantage of roof areas to provide potential new second story open space areas.
3. Study revising parking orientation to take advantage of the alley to allow for additional ground floor openspace.
4. Simplify the overall massing, to limit the effect of having too many elements, too many materials, and being too varied in expression.
5. Review use of materials to ensure the use of the materials are honest and authentic.
6. Identify the type of wood cladding on the plans.
7. Vinyl windows are not recommended. Consider the use of thermally broken aluminum or composite windows.
8. Use of the divided windows is not recommended, as they are inconsistent with the architecture.
9. In coordination with City Staff, the applicant should study the ability to install street trees.
10. Work with a landscape architect to further develop site landscape plans with appropriate design and plantings.
11. Identify water usage of the proposed plantings.

VOTE: Chair Blum, Vice Chair Cline, and Committee Members Ferrin and Martin voted in favor. Committee Member Valenzuela was absent. The amended motion carried 4:0:1:0:0⁶.

G. STUDY SESSION/REPORTS

1. None

H. COMMITTEE BUSINESS

1. None.

I. COMMUNITY DEVELOPMENT STAFF UPDATES

1. None

J. ADJOURNMENT

1. At 11:15 a.m, The Downtown Design Review Committee concurred to adjourn.

⁶ In Favor: Against: Absent: Abstain: Recused

FUTURE MEETINGS

Thursday, December 9, 2021, 6:00 p.m, Service Center, 214 S. C Street

Gary Blum,
Chair

ATTEST _____
Joe Pearson II,
Senior Planner