



DOWNTOWN DESIGN REVIEW COMMITTEE STAFF REPORT

TO: Downtown Design Review Committee

FROM: Joe Pearson II, AICP, Senior Planner

DATE: February 24, 2022

SUBJECT: **Project Name: Aspire Apartments Project;** Planning and Zoning Permit No(s). 21-200-01 (Major Downtown Design Review Permit), 21-535-01 (Density Bonus), 21-310-01 (Lot Merger); 536 Meta Street (APN: 201-0-213-080; 090; & 100).

1) Project Description and Applicant: A request for review by the Downtown Design Review Committee related to a request for a Major Downtown Design Review Permit for a proposed 97,517 square foot 5-story mixed use affordable housing apartment building with 88 residential units, 53 parking spaces, 2,781 square-feet of non-residential (i.e. commercial / office) space, a 5,185 square-foot private open space courtyard, and a 5,606 square foot public open space (Paseo) on a 0.77-acre project site. Proposed development includes commercial space, and parking for the residential and commercial on the ground level, with an additional 4 levels of residential units (for a 5 story building). The proposed building is designed with 56 one bedroom units and 32 two bedroom units. The Paseo will be a public open space generally open to the public during daylight hours. The existing 2,700 square foot commercial building will be demolished. The Density Bonus application would allow for four concessions or incentives under State Density Law. As currently proposed, these concessions or incentive would allow for the following modifications:

- (1) Reduction of parking from 91 spaces to 53 spaces.
- (2) Reduce required side yard upper story setback for residential uses from 10 feet to zero feet along the southside.
- (3) Reduce required side yard setback from 5 feet to zero feet along the northside for trash enclosure and parking.
- (4) Reduce required front yard setback for parking from 18 feet to 8 feet.

The project site is located at 536 Meta Street (APN: 201-0-213-080; 090; & 100) within the Downtown land use designation and Downtown General (DT-G) zoning district. The proposed project is anticipated to be exempt from the California Environmental Quality Act (CEQA), pursuant to Senate Bill 35 and Government Code Section 65913.4. Filed by Luis Hernandez, of Many Mansions, the Applicant, 1259 E. Thousand Oaks Blvd., Thousand Oaks, CA 91362. ("Applicant").

For purposes of this staff report, the foregoing project description shall be referred to as the “**Project**”. Please see the reduced Project plans (Attachment A) for more details.

- 2) Existing & Surrounding Land Uses:** The following table describes the General Plan Land Use Designations, Zoning designations, and existing land uses of the Project site and adjacent properties:

LOCATION	GENERAL PLAN	ZONING	EXISTING LAND USE
Project Site	DTN	Downtown General	Commercial/Vacant
North	DTN	Downtown Core	Commercial
South	DTN	Downtown General	Vacant/SFD
East	DTN	Downtown General	Industrial
West	DTN	Downtown General	Residential

3) Background Information:

- a) The original building was constructed in 1958. On April 29, 1969, building permits were granted for the construction of a 1,700 square foot addition of a storage building.
- b) On July 30, 2019, the City Council adopted Ordinance No. 2963, which amended the Oxnard City Code Chapter 16, Division 10 and instituted a new "Downtown Code," and associated Zone Changes. The Downtown Code allows for a maximum development of 2,284 residential units and 3,025,370 square-feet of commercial space.

4) Analysis:

- a) **Conformance with Zoning Development Standards:** Pursuant to the Downton Code, the proposed development is located in the Downtown General zone. Applicable development standards of the Downtown General zone have been compared with the proposed project on the cover sheet of the Project plans provided in Attachment A.

Attachments:

- A. Reduced Project Plans

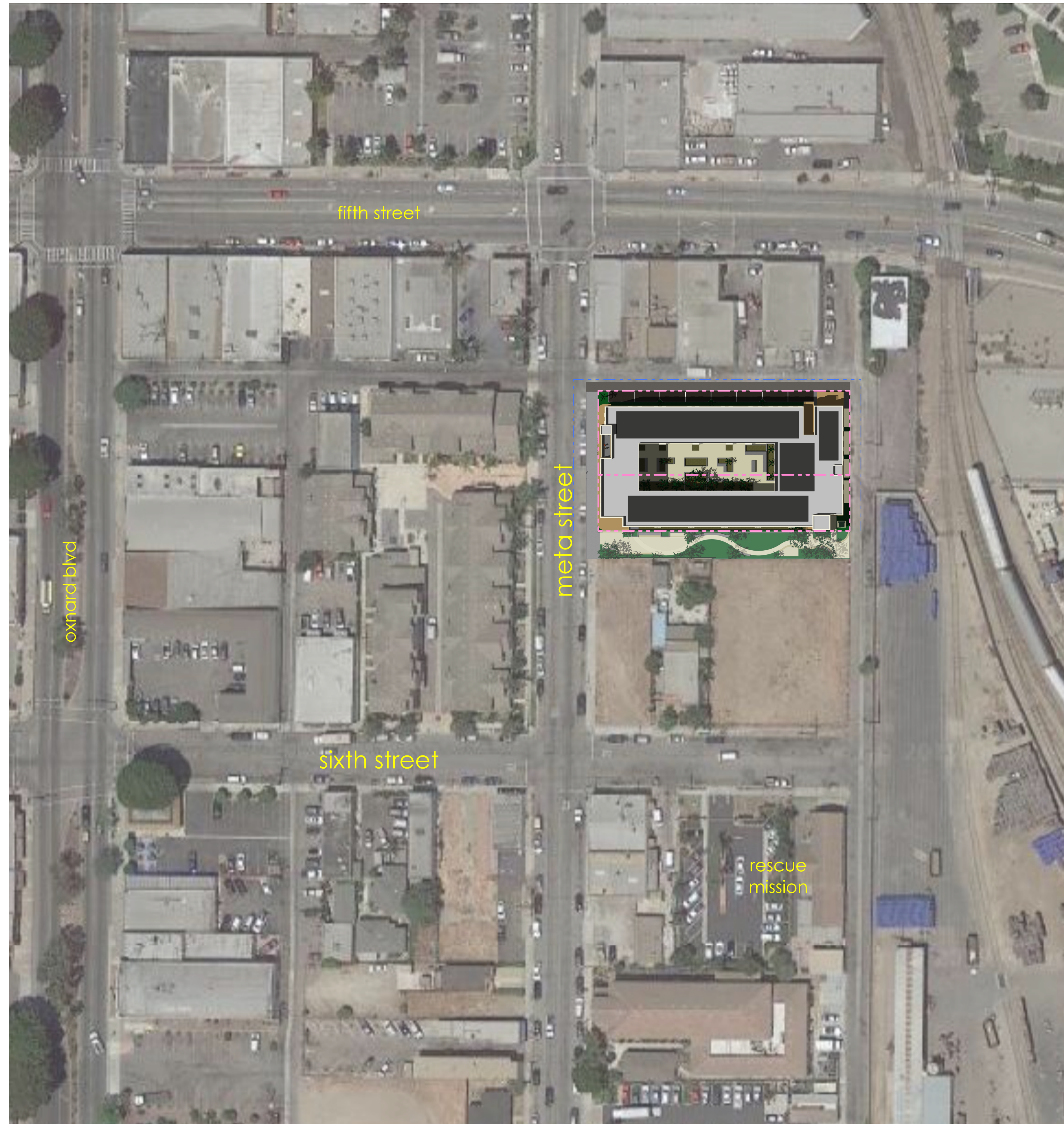
MANY MANSIONS Aspire Apartments

OXNARD DOWNTOWN CODE Consistency

residential units 88 services s.f. 2225

211213

Code Section	Description	Required Commercial	Required Residential	Provided Commercial	Provided Residential	Compliance?	AH Concession
16-147.4	Downtown General (DT-G) Zone						
C.1	Building Setbacks						
C.1.c	Fig 16-147.4.B Ground floor						
	1 Primary Street (6th)	0' or 10'	10 to 15'	0'		yes	
	2 Side Street (no)	0' or 10'	10 to 15'	0'		no	
	3 Side Yard (north and south)	0'	7'	0'	10' min	yes	
	4 Rear with Alley (east)	5'	5'	5'	5'	yes	structure in north alley
	Facade at build-to line	70%	70%	80%	na	yes	
	Roof Deck setback from	0	0	na	na	na	
	Upper floor sideyard setback		10'		10'	yes for units	circulation of south
C.1.d	Ground floor height	12'		14'2"		yes	
C.1.e	Building Height						
	Fig 16-147.4.C						
	1 Highest top plate	81'	102'		55'4"	yes	
	2 Top of parapet	85'	104'		59'4"	yes	
	4 Ground floor above grade	0	1.5'	0		yes	
	5 Ground story height	12'			14'2"	yes	
C.1.f	Fig 16-147.4.D						
	6 Ground story depth	18'		30'		yes	
	7 Primary mass width or depth	80'		60'		yes	
	8 Secondary mass width or	20'		20'		yes	
C.1.g	Architectural style (16-157)	art deco	art deco	art deco	art deco	yes	
C.2	Visitor/pedestrian access						
C.2.a	Building access	50'		45'		yes	
C.2.b	Upper floor access		courtyard, paseo or lobby		lobby	yes	
C.2.c	Side street facade	materials consistent	materials consistent	materials consistent	materials consistent	yes	
C.3	Private frontages (16-150)			shopfront	common entry	yes	
	Common entry allowed					yes	
C.4	Signage (16-154)					yes	tbtd
C.5	Private open space (16-152)		roof deck allowable		roof deck on podium	yes	
	size 10% of 28031 s.f. lot area, 15' min dimension		2803 s.f.		5185 s.f.	yes	
C.5	Uses (16-148)		dwelling, multifamily		dwelling, multifamily	yes	
C.7	Vehicle access and parking (16-151)	commercial street frontage (16-151.C)		commercial street frontage		yes	
Fig 16-147.4.E	Parking placement						
	1 Primary Street	18'		30'		yes in podium	open parking to north
	2 Side Street within 75'	30'		na		na	
	3 Side Street over 75'	5'		na		na	
	4 Side yard	5', 0 in podium		0'		yes in podium	open parking to north
	5 Rear	5'		5'		yes	
C	Required parking						
	Commercial: 1/1000 s.f.			3		yes	
	Residential multifamily: .5/unit			44		yes	
	Loading	na (alley)		na		na	
	Motorcycle (16-638)	na		na		na	
16-149	Parking Areas and Facilities						
16-149.B	2.a.i Vehicular access in alley		alley well defined		alley lobby	yes	
16-150	Private Frontage						
16-150.A	1 windows	windows		storefront		yes	
	2 Pedestrian access	access		storefront access		yes	
	3 build to line	build to line		build to line		yes	
16-150.G	Common entry (residential)						
A1	Awning height		10'		na	na	
A2	Awning depth		4'		na	na	
B	Entry Depth		8'		10'	yes	
C	Area of space		150 s.f.		200 s.f.	yes	
D	Glass area		70%		90%	yes	
16-150.H	Shopfront (commercial)						
A1	Height	12'		12'		yes	
A2	Height to bottom of awning	8'		na		na	
B	Width of shopfront bay	10'		14'		yes	
C	height of shopfront base	6"		2B		yes	
D	Glass of ground floor wall	70%		71%		yes	
E	Shopfront width on 2nd frontage	20'		20'		na	
F	Awning depth	5'				na	
16-153	Public Open Space		7% of lot area, 28,031		5606	yes	
16-156	Architectural Guidelines						
16-156.A	a Design Guidelines consistent design character	elements consistent on visible frontages				yes	
b	simple materials	metal and stucco				yes	
c	materials consistent with style	new traditional style				yes	
d	synthetic building materials	na				na	
e	pedestrian scale projections	awnings, light fixtures, base materials				yes	
f	entry coverings	awnings and shade structures				yes	
g	projecting balconies	projecting balconies				yes	
h	steel on contemporary balconies	steel balconies				yes	
i	bay windows	na				na	
j	glazing clear glass	energy compliant clear glass				yes	



Aspire Apartments

536 Meta Street
Oxnard, California

owner:

Many Mansions

contact: Luis Hernandez 805.496.4948

site information:

APN: 201-0-213-090

site: 28,031 square feet / .64 acre

paseo adjacent: 5,605 square feet

Zoning: ODC DT-G Downtown General

building information:

97,517 total sf

4 stories of affordable apartments over podium w/ elevator

ground floor: 2,781 sf common space including offices, restroom, laundry & kitchenette

parking: 45 podium stalls, including 3 ADA

8 alley accessed stalls

floor 2-5: 56 - 464 sf one bedroom units

32 - 776 sf two bedroom units

88 total dwelling units

Consultants

architecture:

DiCecco Architecture Inc.

887 Patriot Drive, Suite C

Moorpark, CA 93021

805.552.0088

contact: Mark Di Cecco AIA

civil engineering:

Encompass Consulting Group

533 N. Lantana Street, Suite 130

Camarillo, CA 93010

805.322.4443

contact: Tristan J. Santos, PE

landscape architecture:

LA Group Design Works

24103 Ventura Blvd., Suite 201

Calabasas, CA 91302

818.251.9718

contact: Monica D'Angelo-Tomei

Sheet Index

architecture:

EA.1 Cover

EA.2 Site Plan

EA.3 Ground Floor

EA.4 Second Floor

EA.5 Third - Fifth Floor

EA.6 Roof Plan

EA.7 Unit Plans

EA.8 Elevations

EA.9 Elevations

EA.10 Rendered Elevations

EA.11 Rendered Elevations

EA.12 Northwest View

EA.13 Southwest View

EA.14 Massing

EA.15 Massing

EA.16 Elevation views

EA.17 Project Evolution

EA.18 Materials

civil engineering:

1. Civil Exhibit - Ground Level

2. Civil Exhibit - Ground Level

3. Civil Exhibit - Utilities

4. Civil Exhibit - Fire Hydrant Exhibit

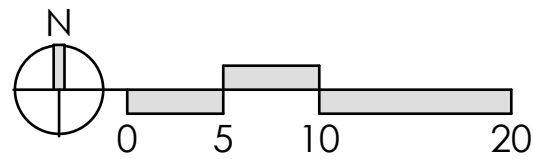
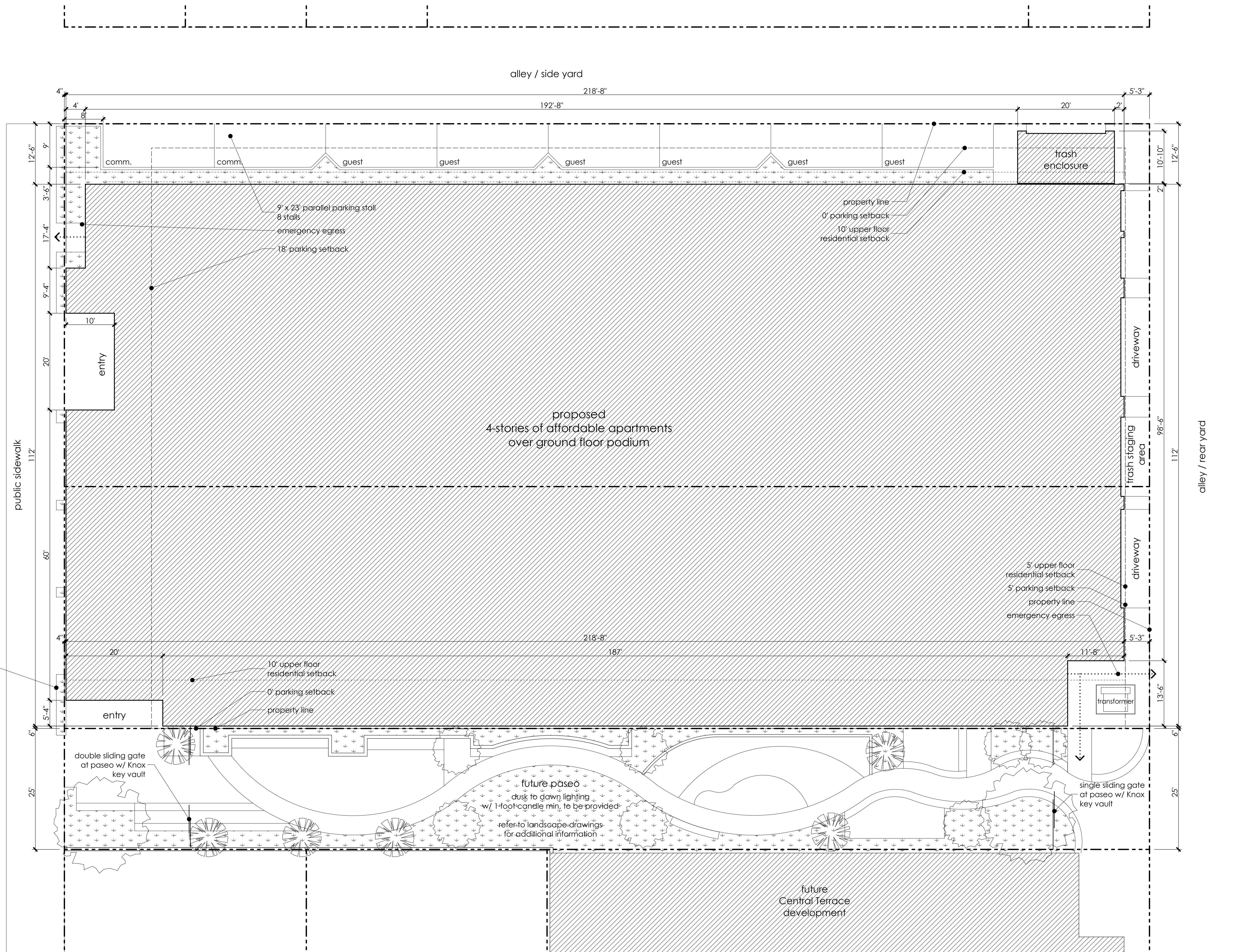
5. Waste Collection Turning Exhibit

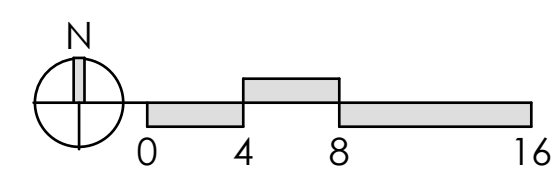
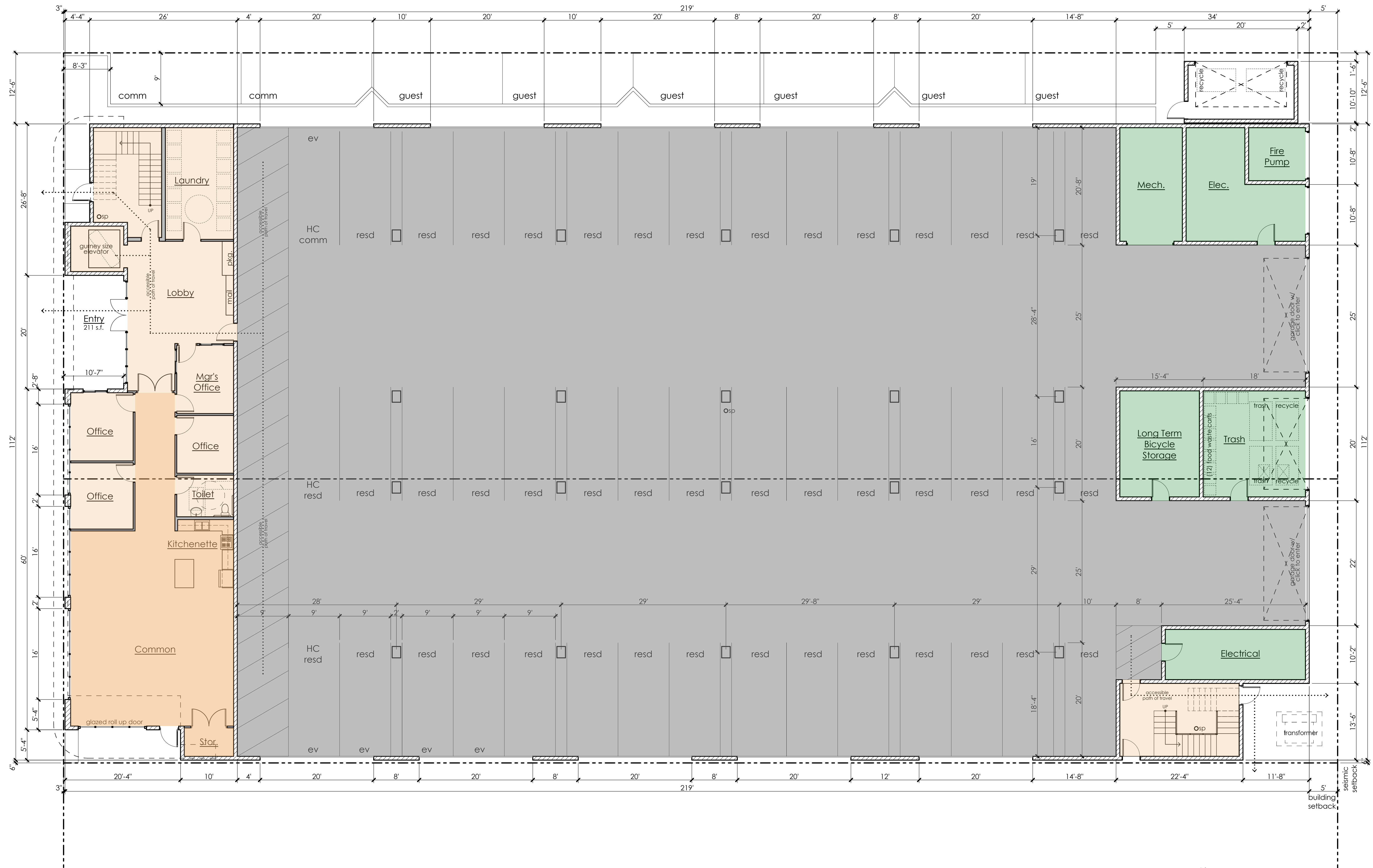
landscape architecture:

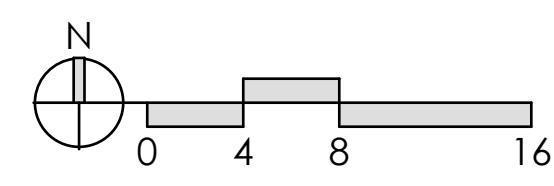
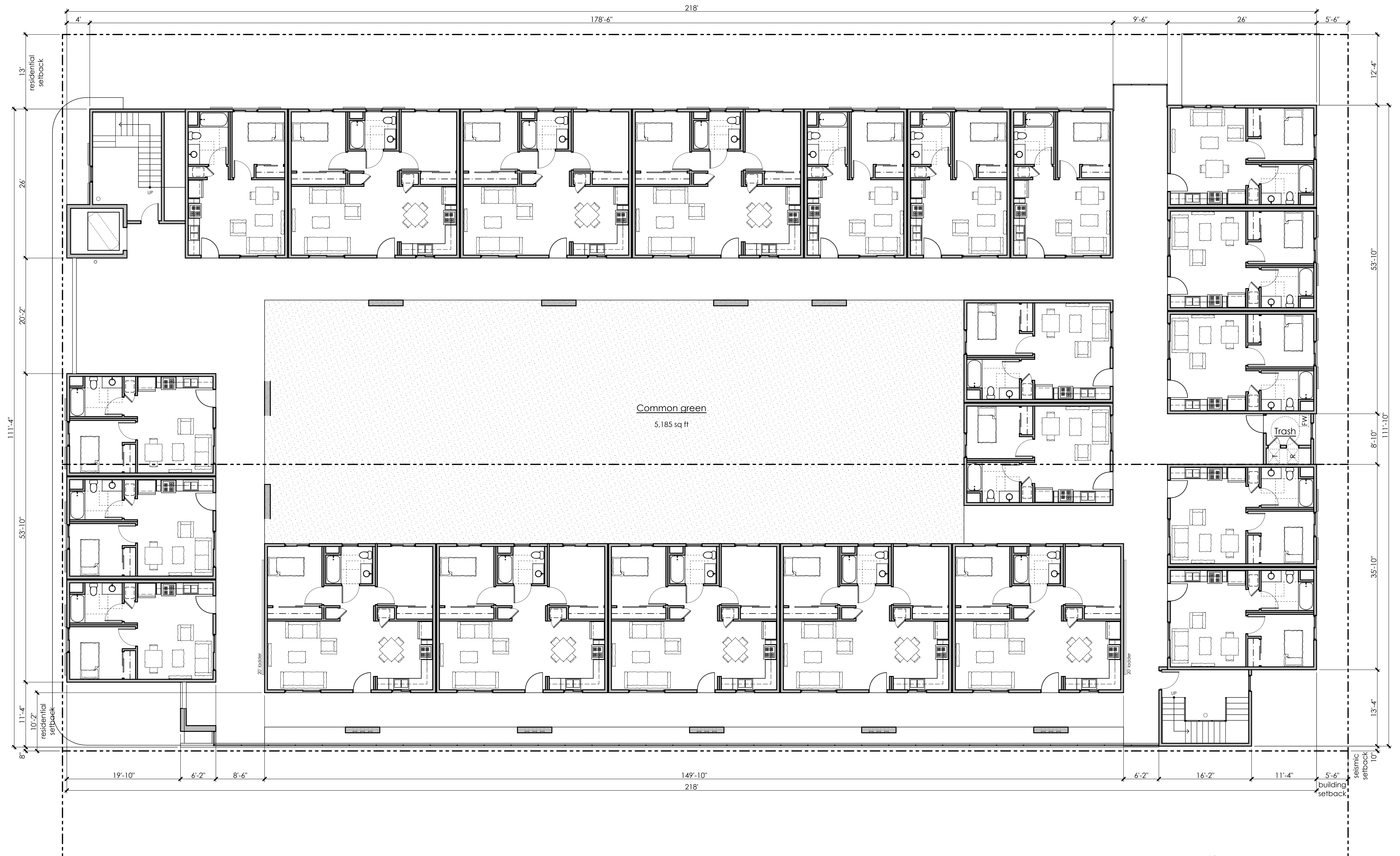
L-1 Conceptual Landscape Plan - Ground Level

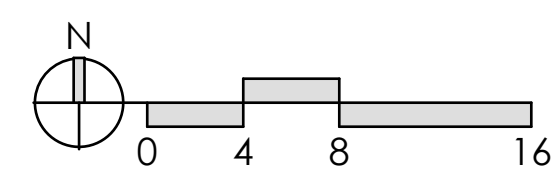
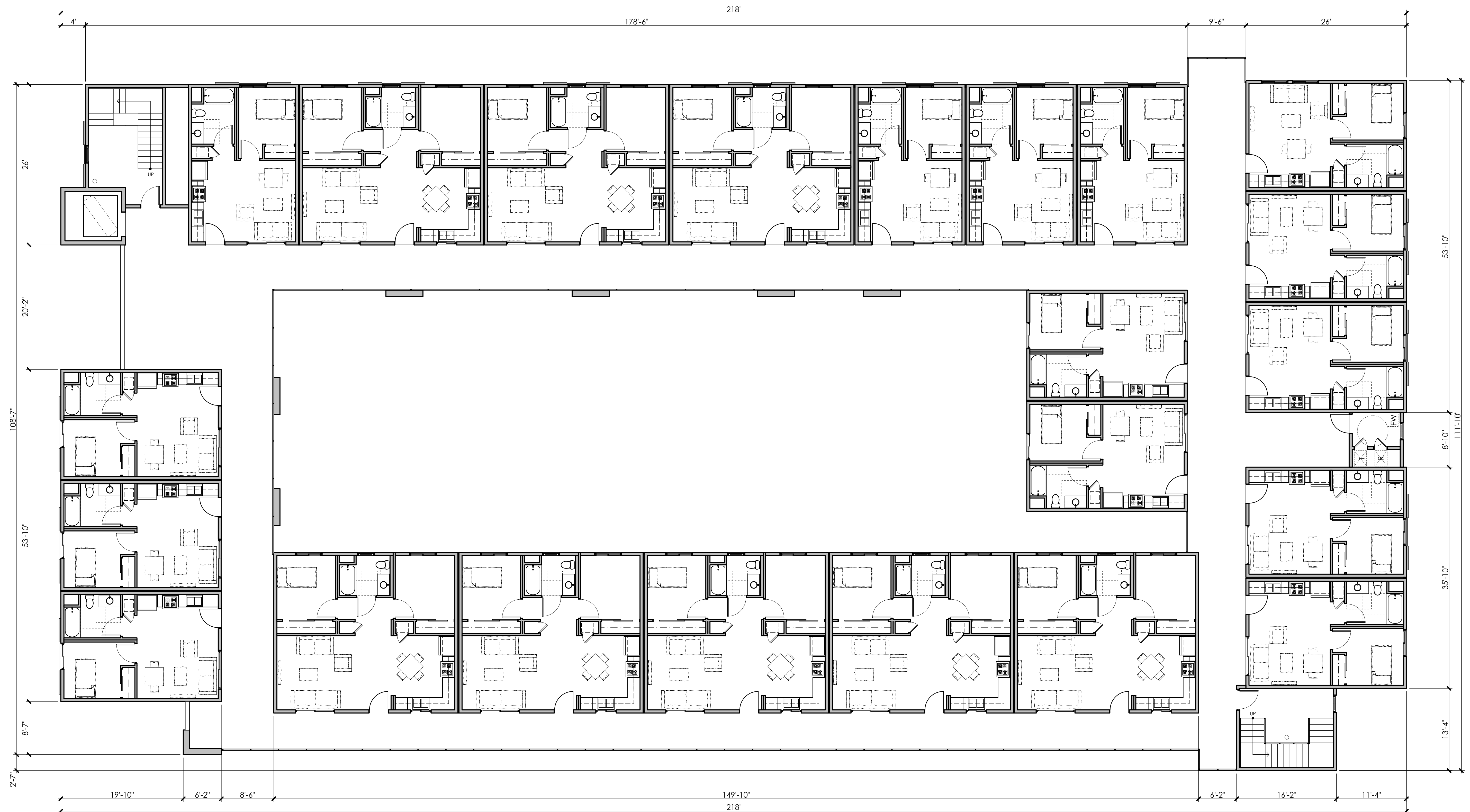
L-2 Conceptual Landscape Plan - Podium Level

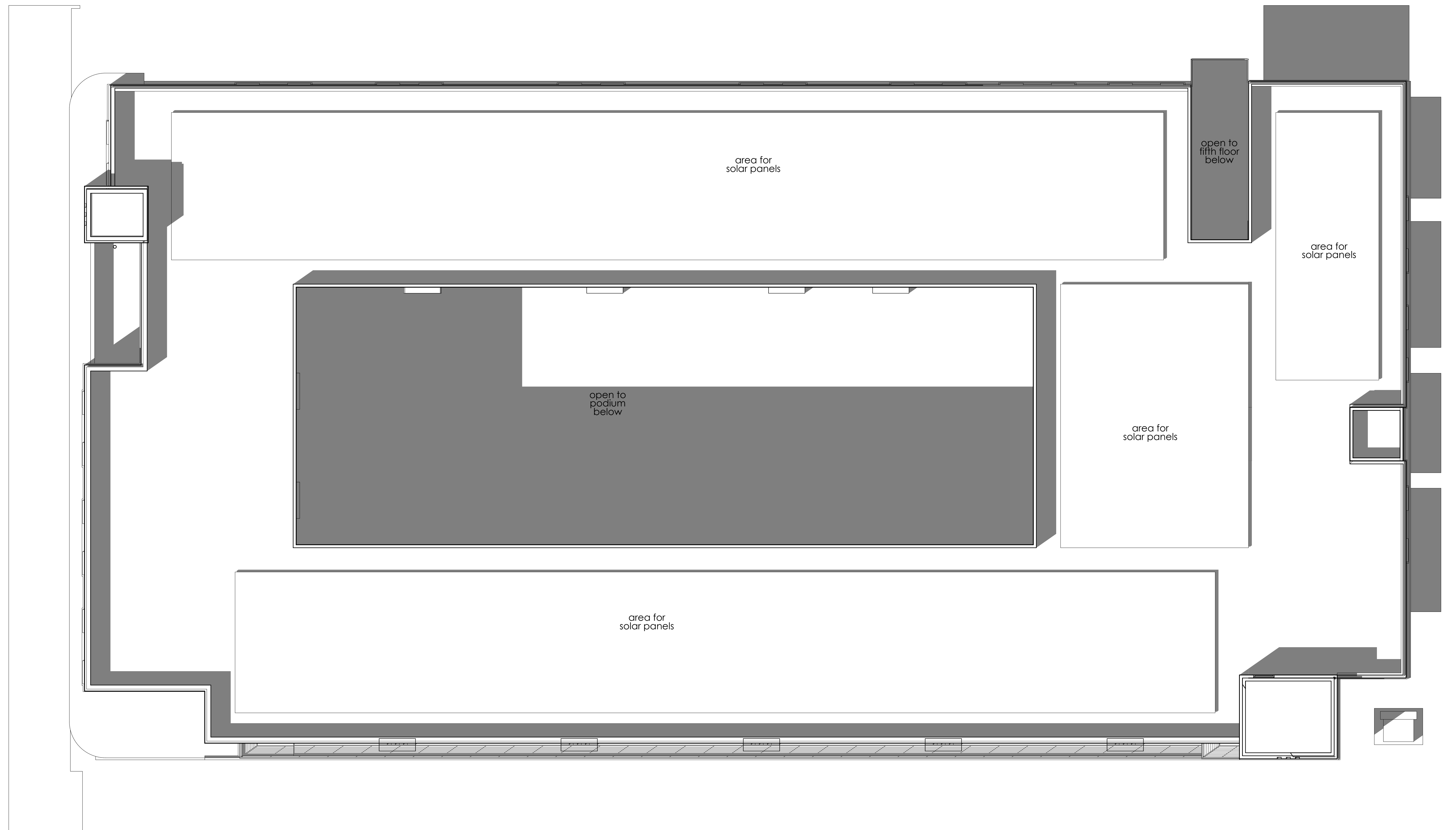
L-3 Conceptual Landscape Images

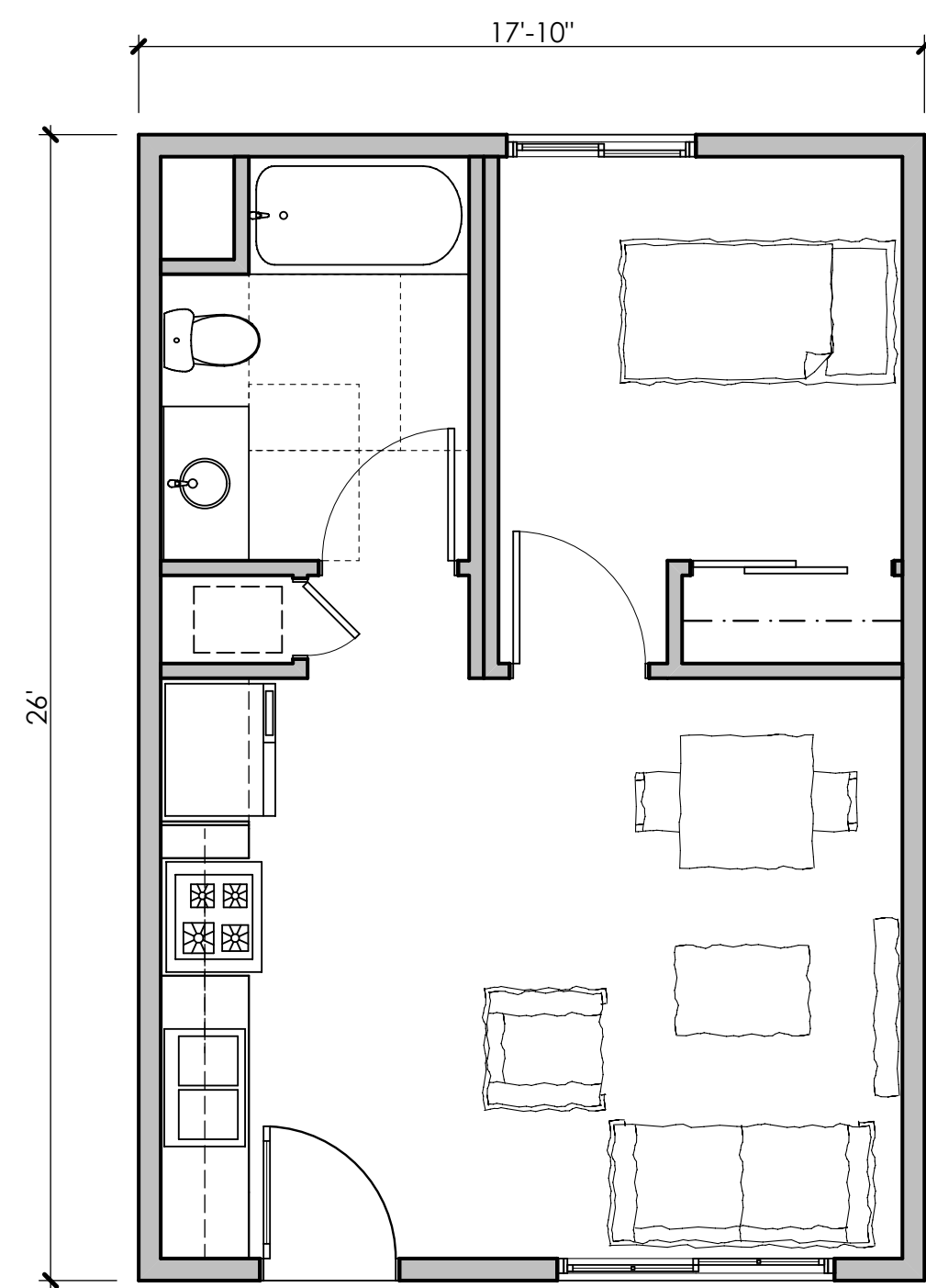




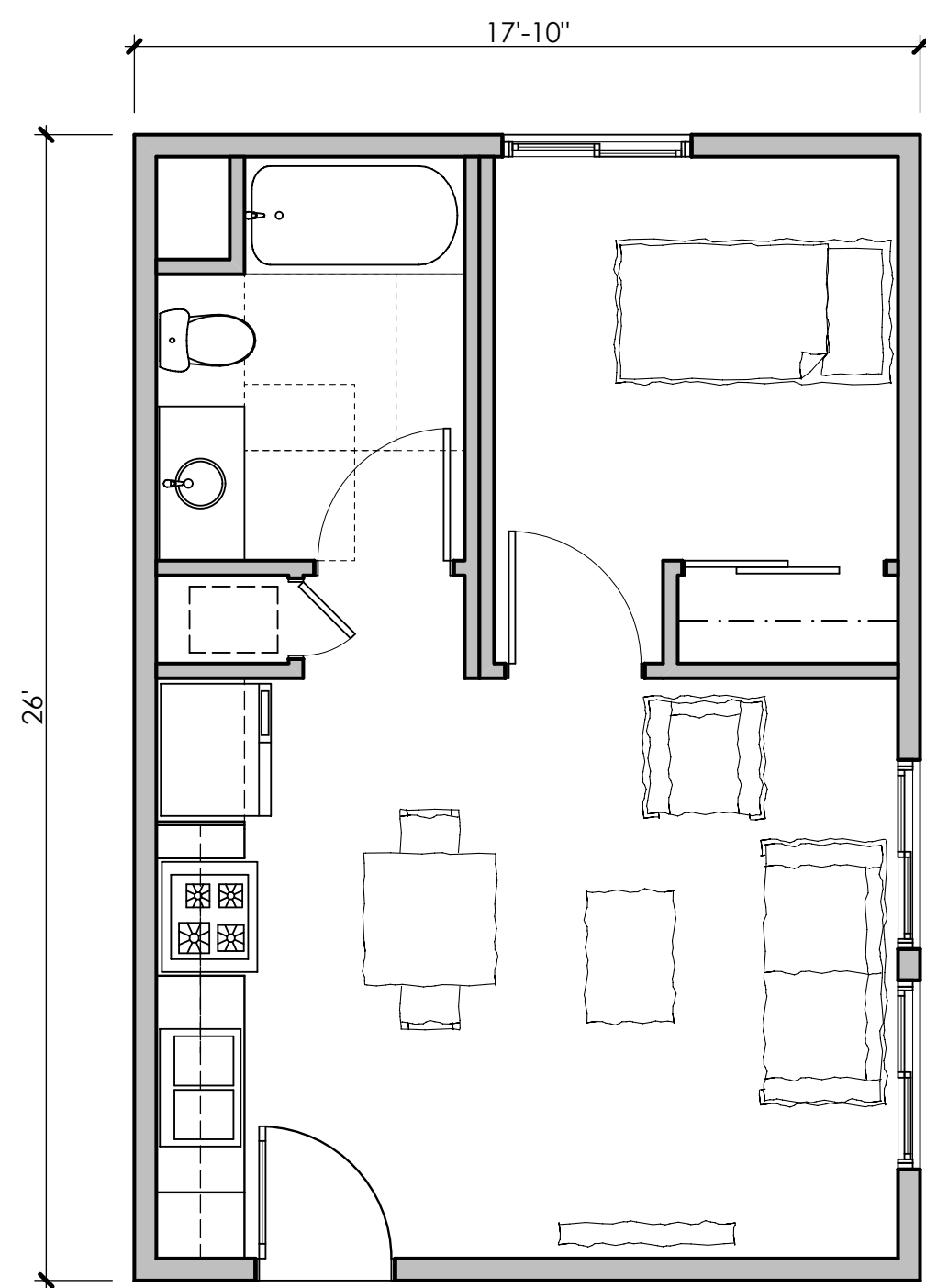




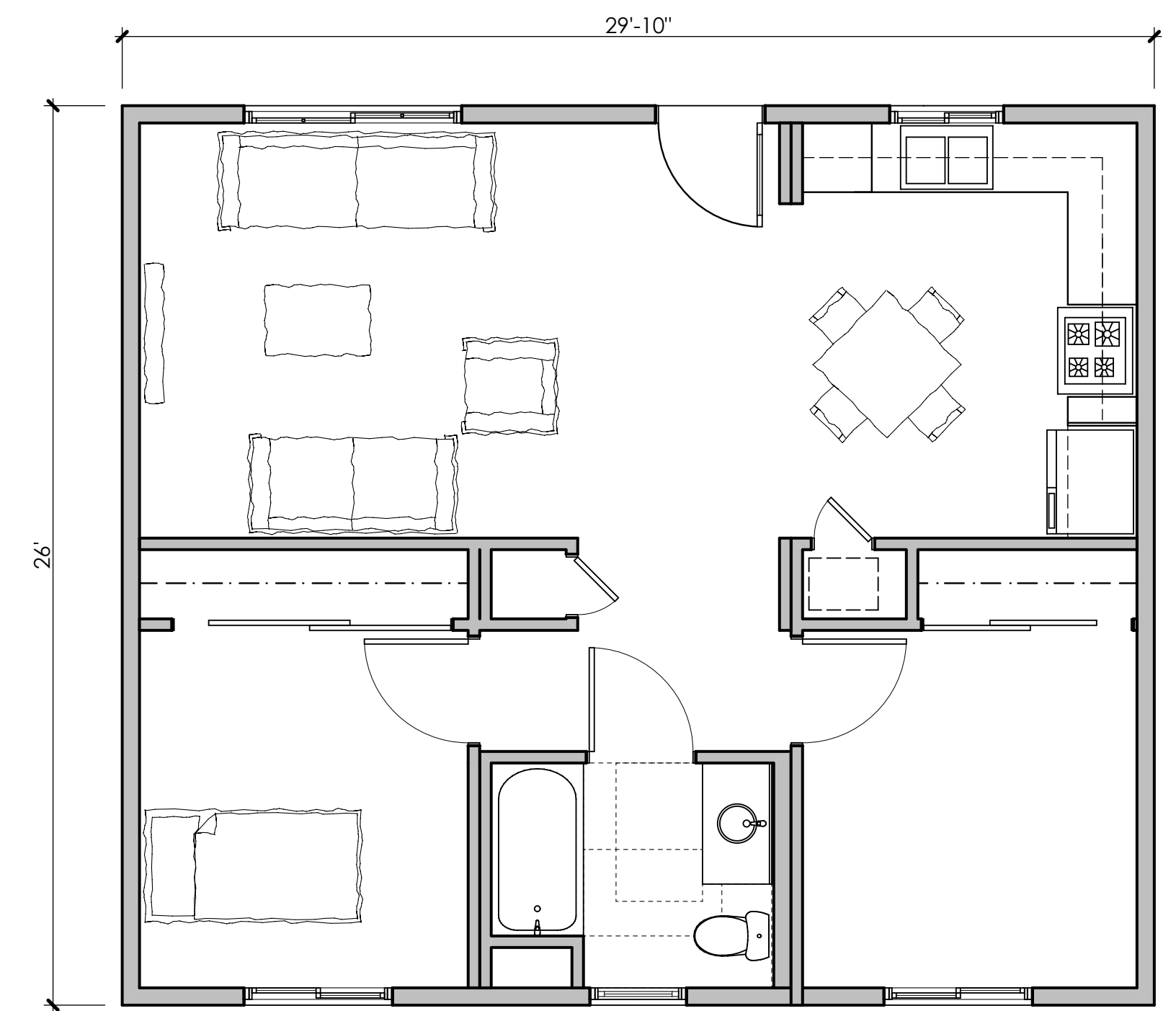




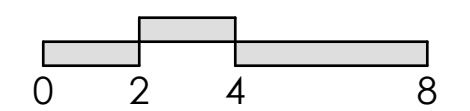
Unit A_464 sq. ft.



Unit B_464 sq. ft.



Unit C_776 sq. ft.

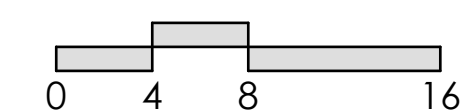




West Elevation

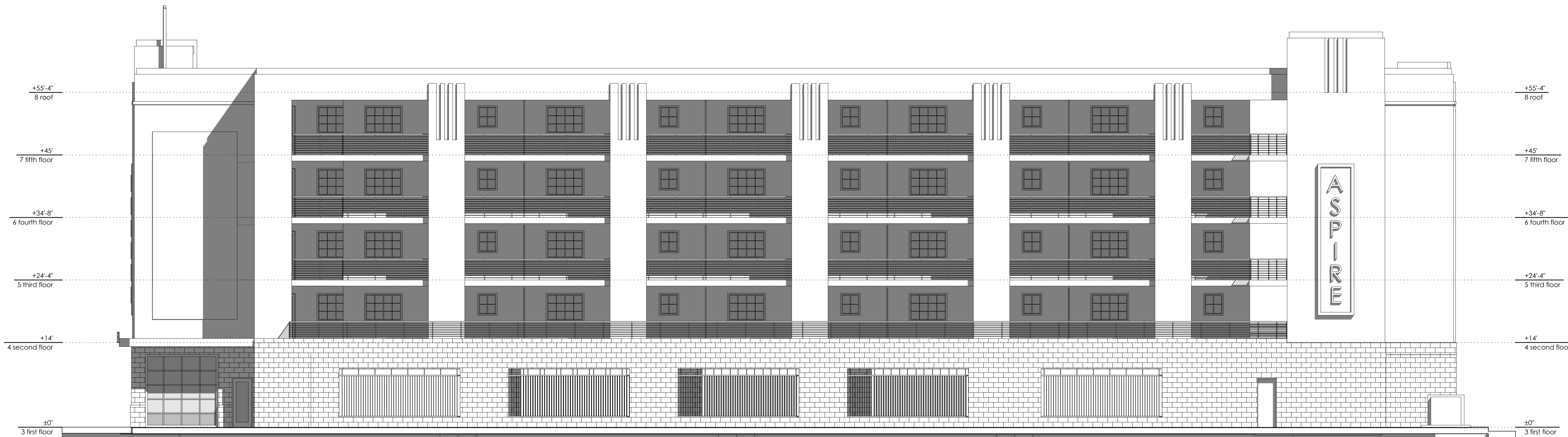


North Elevation

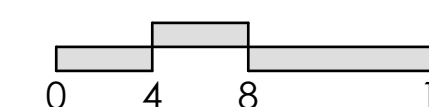




East Elevation



South Elevation

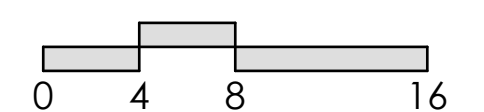




West Elevation



North Elevation

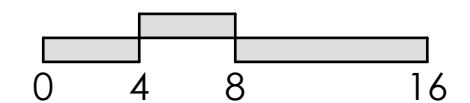




East Elevation



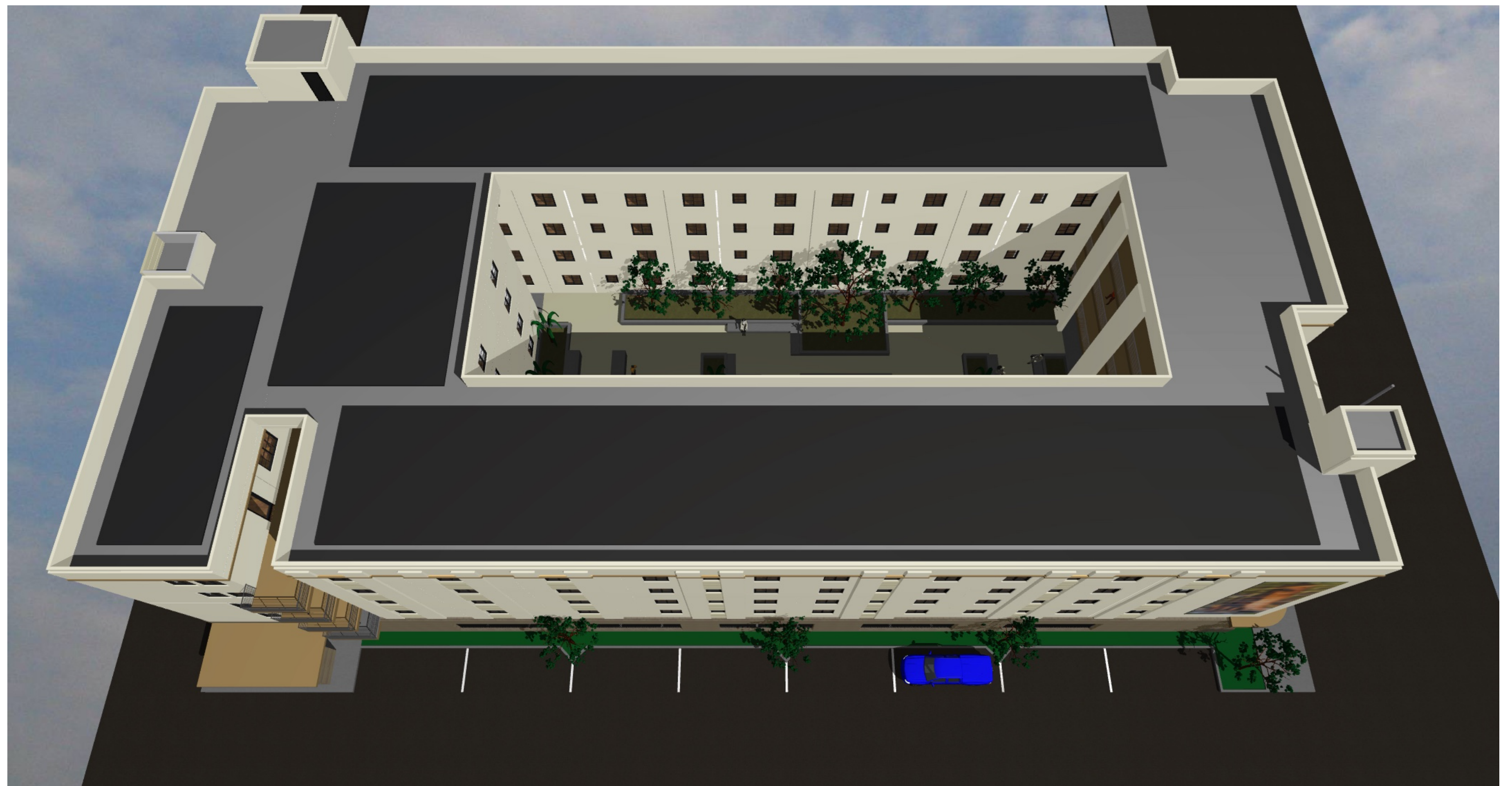
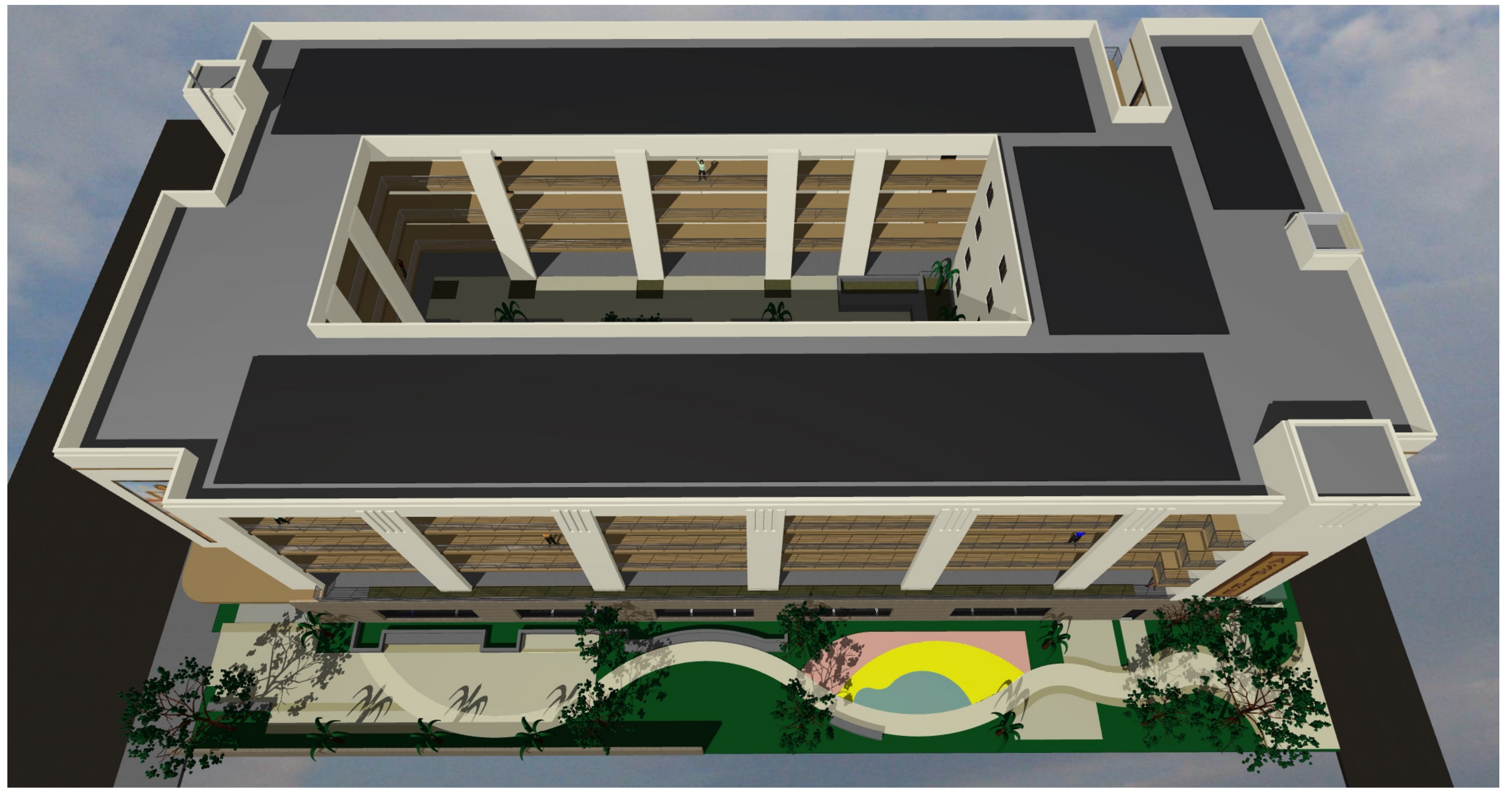
South Elevation













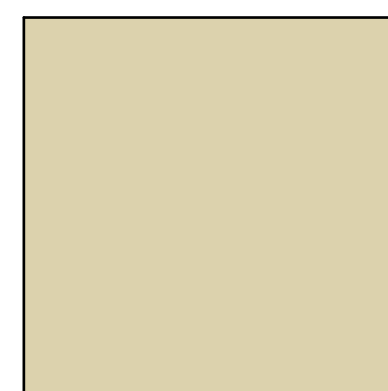




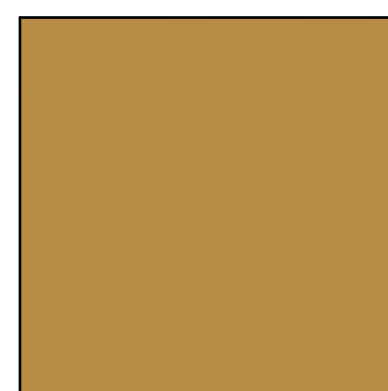
stucco body
Omega Colortek
434 Vanilla Cream



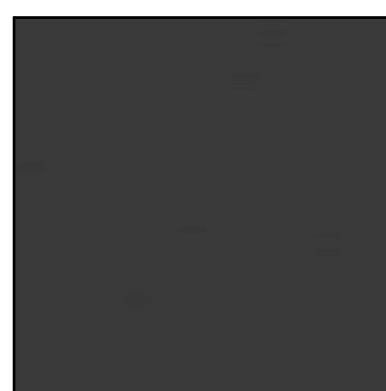
stucco accent color
Dunn Edwards
DE5499 Dull Sage



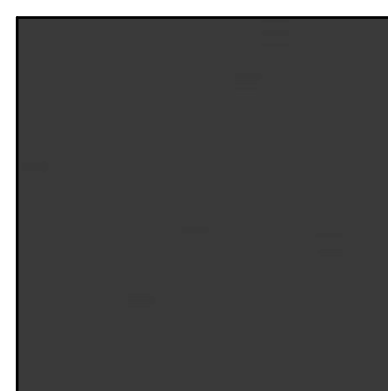
accent trim
Dunn Edwards
DE5370 Bread Crust



windows
Milgard Styleline
bronze



storefront/panels
US aluminium
PPG black



storefront glazing
sealed clear units
meet T24 requirements



parking screens
Dunn Edwards
DE 187 Black

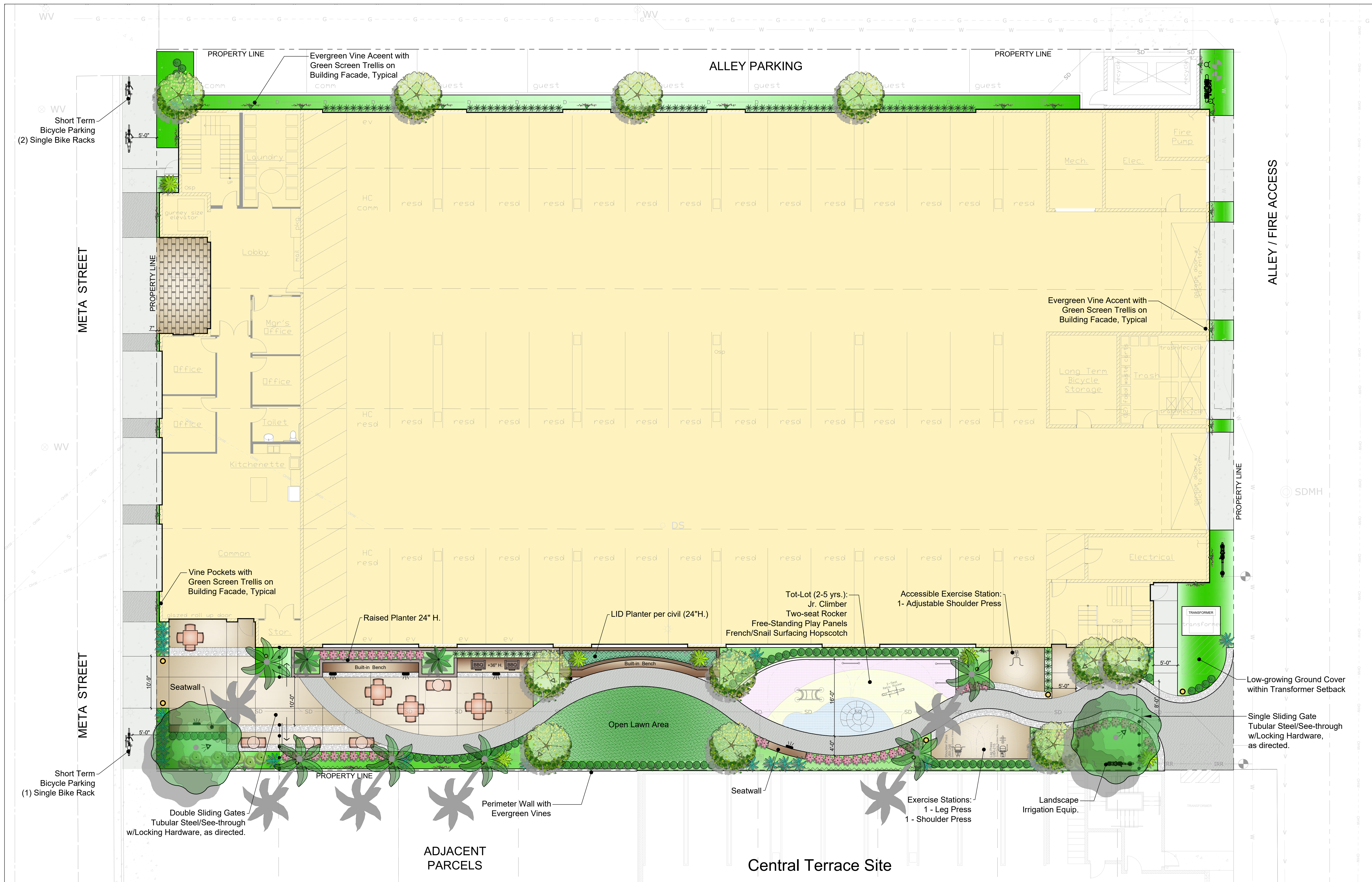


cmu podium wall
Angelus Block
Sandstone



podium watertable
Angelus Block
Sandstone Splifface





GROUND LEVEL

Scale: 1" = 1/8"

CONCEPTUAL LIGHTING	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	DECORATIVE BOLLARD
	PALM TREE, TRUNK MOUNT DOWN LIGHT
	RECESSED WALL LIGHT
	TREE UPLIGHT

LANDSCAPE NOTES:

- LANDSCAPING WILL COMPLY WITH THE APPLICATION CITY OF OXNARD LANDSCAPE STANDARD.
- THE LANDSCAPE AND IRRIGATION WILL COMPLY WITH THE CITY OF OXNARD WATER EFFICIENT LANDSCAPE ORDINANCE (CITY COUNCIL ORDINANCE NO. 2822) AND LANDSCAPE WATER CONSERVATION.
- LANDSCAPE ARCHITECT SHALL PROVIDE THE CITY WITH WRITTEN CONFIRMATION THAT THEY HAVE REVIEWED THE CIVIL ENGINEERING CONSTRUCTION DRAWINGS AND THAT THE NPDES REQUIREMENTS ARE NOT IN CONFLICT WITH MEETING THE CITY'S LANDSCAPE REQUIREMENTS.
- NO LOW-BRANCHING TREES. TREES SHALL BE LIMBED UP TO A MINIMUM OF 6' FT. IN HEIGHT.
- LANDSCAPE ELEMENTS IN THE PASEO SHALL PROVIDE CLEAR LINES OF SIGHT BETWEEN THE ALLEY AND THE STREET WITHOUT SOLID OBSTRUCTION BETWEEN 18 AND 80-INCHES FROM THE WALKING SURFACE.

PREPARED FOR:
MANY MANSIONS
 1423 E. Thousand Oaks, Blvd.
 Thousand Oaks, CA 91362
 805.496.4948

Enccompass Consultant Group
 313 N. LINDSAY ST., SUITE 130, CARROLLTON, CA 94709
 PHONE: 855.322.4443 WEBSITE: WWW.ECCONLINE.COM

887 Patriot Drive, Suite C
 Moorpark, California 93021
 805.552.0088
 www.diceco-arch.com
 diceco architecture incorporated

ASPIRE APARTMENTS

536 Meta Street, Oxnard, CA

CONCEPTUAL LANDSCAPE PLAN

L.A. Group Design Works, Inc.

REV: 12.23.2021
 JOB # 4697
L-1

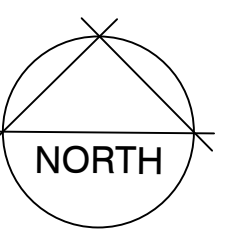
L.A. GROUP
 Design Works
 Landscape Architecture
 24013 Ventura Blvd, Suite 201
 Calabasas, CA 91302
 p 818.251-9718 f 818.251-9719
 email: DesignWorks@lagroupinc.net

Landscape Architecture



PODIUM LEVEL

Scale: 1" = 1/8"



REV: 12.23.2021
JOB # 4697 **L-2**

CONCEPTUAL LIGHTING	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
○	PALM TREE, TRUNK MOUNT DOWN LIGHT
⬇	RECESSED WALL LIGHT
⬆	TREE UPLIGHT

- LANDSCAPE NOTES:**
1. LANDSCAPING WILL COMPLY WITH THE APPLICATION CITY OF OXNARD LANDSCAPE STANDARD.
 2. THE LANDSCAPE AND IRRIGATION WILL COMPLY WITH THE CITY OF OXNARD WATER EFFICIENT LANDSCAPE ORDINANCE (CITY COUNCIL ORDINANCE NO. 2822) AND LANDSCAPE WATER CONSERVATION.
 3. LANDSCAPE ARCHITECT SHALL PROVIDE THE CITY WITH WRITTEN CONFIRMATION THAT THEY HAVE REVIEWED THE CIVIL ENGINEERING CONSTRUCTION DRAWINGS AND THAT THE NPDES REQUIREMENTS ARE NOT IN CONFLICT WITH MEETING THE CITY'S LANDSCAPE REQUIREMENTS.
 4. NO LOW-BRANCHING TREES. TREES SHALL BE LIMBED UP TO A MINIMUM OF 6' FT. IN HEIGHT.
 5. LANDSCAPE ELEMENTS IN THE PASEO SHALL PROVIDE CLEAR LINES OF SIGHT BETWEEN THE ALLEY AND THE STREET WITHOUT SOLID OBSTRUCTION BETWEEN 18 AND 80-INCHES FROM THE WALKING SURFACE.

PREPARED FOR:
MANY MANSIONS
1423 E. Thousand Oaks, Blvd.
Thousand Oaks, CA 91362
805.496.4948

ASPIRE APARTMENTS

536 Meta Street, Oxnard, CA

CONCEPTUAL LANDSCAPE PLAN

L.A. GROUP
Design Works
Landscape Architecture
24013 Ventura Blvd, Suite 201
Calabasas, CA 91302
p 818.251-9718 f 818.251-9719
email: DesignWorks@lagroupinc.net

L.A. Group Design Works, Inc.

Landscape Architecture

PRILIMINARY PLANT LIST

TREES

Arecastrom romanzoffianum / Queen Palm	14' BTH
Pyrus calleryana 'Chanticleer' / Chanticleer Pear	24" box
Tristania laurina 'Elegant' / Elegant Water Gum	24" box

SHRUBS

Agave celsii 'Multicolor'	
Agave 'Cream Spike'	
Anigozanthos x 'Kanga Pink' / Dwarf Pink Kangaroo Paw	1 gal
Carissa macrocarpa / Natal Plum	5 gal
Chondropetalum lectorum 'El Campo' / Cape Rush	5 gal
Clivia miniata / Orange Bush Lilly	5 gal
Coprosma repens / Mirror Plant	5 gal
Correa x 'Ray's Tangerine' / Orange Australian Fuchsia	5 gal
Crassula ovata / Large Jade Plant	5 gal
Dianella revoluta 'Little Rev' / Little Rev Flax Lily	5 gal
Nandina domestica / Heavenly Bamboo	5 gal
Phoenix roebelinii / Pigmy Date Palm	15 gal
Phormium tenax / New Zealand Flax	5 gal
Podocarpus m. 'Maki' / Columnar Shrubby Yew Pine	15 gal
Pyracantha c. 'Lowboy' / Lowboy Scarlet Firethorn	5 gal
Sesleria autumnalis / Autumn Moor Grass	1 gal

VINES

Distictis buccinatoria / Blood Red Trumpet Vine	5 gal
Ficus pumila / Creeping Fig	5 gal
Macfadyena unguis-cati / Yellow Trumpet Vine	5 gal

GROUND COVERS

Ajuga reptans / Carpet Bugle	4" pots
Bougainvillea / Bougainvillea	1 gal
Geranium incanum 'Sugar Plum' / Crane's Bill	4" pots
Heuchera x 'Santa Ana Cardinal' / Cardinal Coral Bells	1 gal
Pelargonium tomentosum / Peppermint Geranium	4" pots
Mahonia repens / Creeping Oregon Grape	1 gal
Vinca minor / Common Periwinkle	4" pots

TREES



ARECASTRUM ROMANZOFFIANUM



PYRUS CALLERYANA 'CHANTICLEER'



TRISTANIA LAURINA 'ELEGANT'

SHRUBS



AGAVE 'MULTICOLOR'



AGAVE 'CREAM SPIKE'



ANIGOZANTHOS 'DWARF MAGENTA'



CARISSA M. 'TUTTLE'



CHONDROPETALUM LECTORUM



CLIVIA MINIATA



CORREA 'RAY'S TANGERINE'



CRASSULA OVATA



DIANELLA REVOLUTA



NANDINA DOMESTICA



PHORMIUM T. 'FIREBIRD'



PHORMIUM T. 'SEA JADE'



PHOENIX ROBELENI



PODOCARPUS M. 'MAKI'



SESLERIA AUTUMNALIS



PYRACANTHA C. 'LOWBOY'

GREEN SCREEN



GREEN SCREEN



PLANTER POTS Available by: Old Town Fiberglass



STANDARD RECTANGLE



STANDARD SQUARE

FITNESS AMENITIES Available by: Greenfields Outdoor Fitness



ACCESSIBLE ADJ. SHOULDER PRESS



LEG PRESS



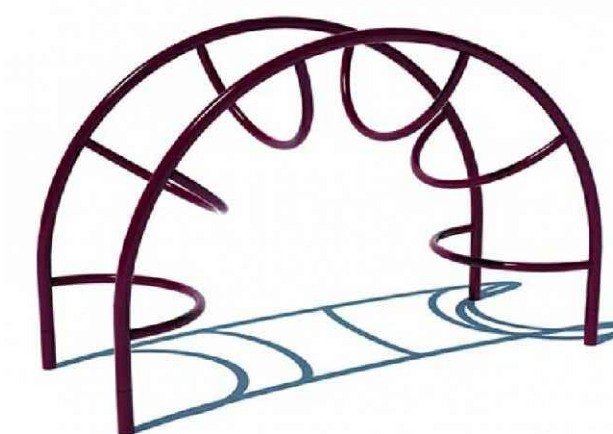
SHOULDER PRESS

BIKE RACK Available by: The Park Catalog



HORSESHOE BIKE RACK / Avail. by: The Park Catalog

PLAY AMENITIES Available by: Zoom Recreation



JR. CLIMBER



RETRO ROCKER



FRENCH-SNAIL HOPSCOTCH



FREE-STANDING PLAY PANELS

VINES



DISTICTIS BUCCINATORIA



FICUS PUMILA



MACFADYENA UNGIS-CATI

GROUND COVER



AJUGA REPTANS



BOUGAINVILLEA



HEUCHERA X 'SANTA ANA CARDINAL'



MAHONIA REPANS



GERANIUM I. 'SUGAR PLUM'



PELARGONIUM TOMENTOSUM



VINCA MINOR

PREPARED FOR:
MANY MANSIONS
1423 E. Thousand Oaks, Blvd.
Thousand Oaks, CA 91362
805.496.4948



ASPIRE APARTMENTS

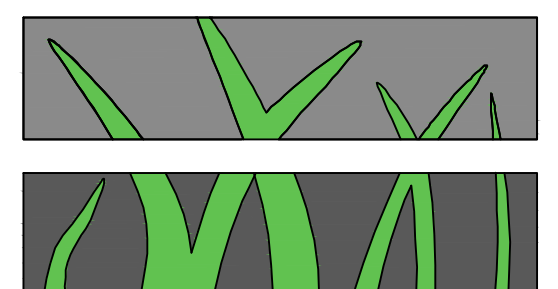
536 Meta Street, Oxnard, CA

CONCEPTUAL LANDSCAPE IMAGES

LANDSCAPE NOTES:
1. LANDSCAPING WILL COMPLY WITH THE APPLICATION CITY OF OXNARD LANDSCAPE STANDARD.
2. THE LANDSCAPE AND IRRIGATION WILL COMPLY WITH THE CITY OF OXNARD WATER EFFICIENT LANDSCAPE ORDINANCE (CITY COUNCIL ORDINANCE NO. 2822) AND LANDSCAPE WATER CONSERVATION.
3. LANDSCAPE ARCHITECT SHALL PROVIDE THE CITY WITH WRITTEN CONFIRMATION THAT THEY HAVE REVIEWED THE CIVIL ENGINEERING CONSTRUCTION DRAWINGS AND THAT THE NPDES REQUIREMENTS ARE NOT IN CONFLICT WITH MEETING THE CITY'S LANDSCAPE REQUIREMENTS.
4. NO LOW-BRANCHING TREES. TREES SHALL BE LIMBED UP TO A MINIMUM OF 6' FT. IN HEIGHT.
5. LANDSCAPE ELEMENTS IN THE PASEO SHALL PROVIDE CLEAR LINES OF SIGHT BETWEEN THE ALLEY AND THE STREET WITHOUT SOLID OBSTRUCTION BETWEEN 18 AND 80-INCHES FROM THE WALKING SURFACE.

REV: 12.23.2021
JOB # 4697

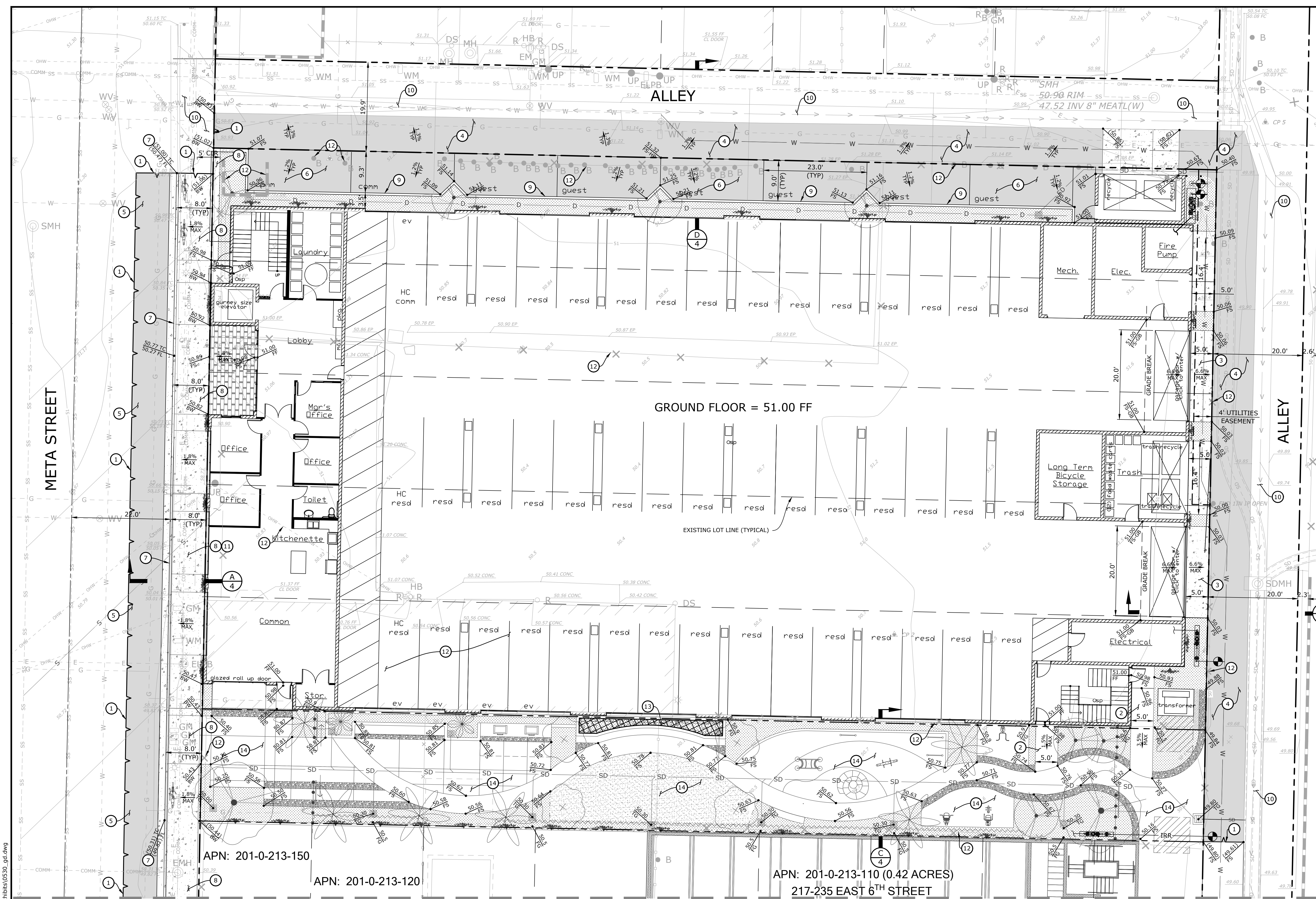
L-3



L.A. GROUP
Design Works
Landscape Architecture
24013 Ventura Blvd, Suite 201
Calabasas, CA 91302
p 818.251-9718 f 818.251-9719
email: DesignWorks@lagroupinc.net

L.A. Group Design Works, Inc.

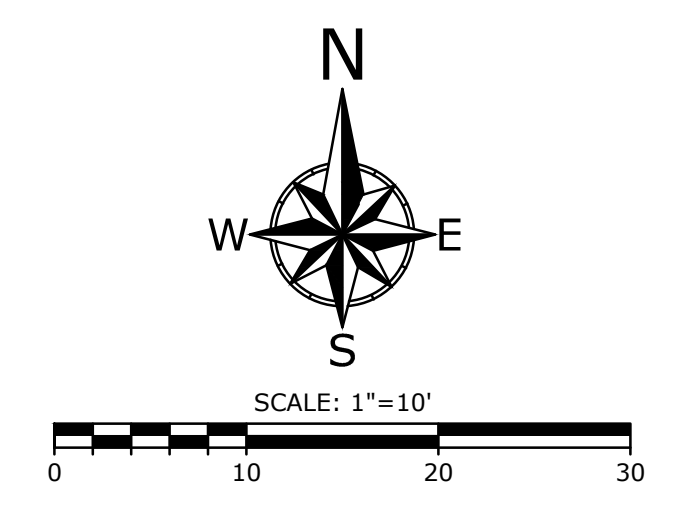
Landscape Architecture



LEGEND

- CONCRETE PAVEMENT
- ASPHALT CONCRETE PAVEMENT
- PROPOSED LANDSCAPED AREA
- STORMWATER QUALITY BMP
- EXISTING LOT LINE
- PROPERTY LINE
- EARTHEN SWALE
- EXISTING SANITARY SEWER LINE
- EXISTING DOMESTIC WATER LINE
- EXISTING STORM DRAIN LINE
- EXISTING OVERHEAD WIRE
- PROPOSED DOMESTIC WATER LINE
- PROPOSED FIRE WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM DRAIN LINE
- SAWCUT LINE
- EXISTING BLOCK WALL

NOTE:
PROTECT ALL EXISTING UTILITIES IN PLACE,
UNLESS OTHERWISE NOTED. ADJUST TO PROPOSED
FINISHED GRADE AS REQUIRED.



811
Know what's below.
Call before you dig.
DIAL TOLL FREE
8 1 1
AT LEAST TWO DAYS
BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

CONSTRUCTION NOTES

- 1 MATCH EXISTING.
- 2 CONSTRUCT CONCRETE WALKWAY. WIDTH PER PLAN.
- 3 CONSTRUCT VEHICULAR CONCRETE PAVEMENT. WIDTH PER PLAN.
- 4 GRIND AND OVERLAY ASPHALT CONCRETE PAVEMENT.
- 5 REMOVE AND REPLACE EXISTING ASPHALT CONCRETE PAVEMENT TO LIMITS SHOWN.
- 6 CONSTRUCT ASPHALT CONCRETE PAVEMENT. SECTION PER GEOTECHNICAL REPORT RECOMMENDATIONS. TI TESTING TO BE PERFORMED AT GRADING.
- 7 CONSTRUCT CURB & GUTTER PER COX STD. PLATE 111, TYPE A2-6.
- 8 CONSTRUCT CONCRETE SIDEWALK PER COX STD. PLATES 112 AND 113.
- 9 CONSTRUCT CONCRETE CURB PER COX STD. PLATE 111, TYPE A1-6. PROVIDE CURB CUT FOR EACH PARKING STALL.
- 10 PROTECT EXISTING DRIVEWAY / RIBBON GUTTER.
- 11 REMOVE EXISTING DRIVEWAY.
- 12 REMOVE EXISTING STRUCTURE / IMPROVEMENTS.
- 13 CONSTRUCT CONTECH FILTERRA BIOSCOPE BMP, 140 IN/HR TREATMENT RATE. PROVIDE 65 SF OF TREATMENT AREA, MINIMUM.
- 14 REFER TO LANDSCAPE PLAN FOR PARK IMPROVEMENTS.

SHEET 2

APN: 201-0-213-110 (0.42 ACRES)
217-235 EAST 6TH STREET

REVISIONS			
MARK	DATE	DESCRIPTION	BY



ECG
Encompass Consultant Group
333 N. LANTANA ST., SUITE 287, CAMARILLO, CA 93010
PHONE: 805-322-4443 WEBSITE: WWW.ECGCIVIL.COM

TRISTAN J. SANTOS DATE: 12/16/2021
PROJECT ENGINEER
R.C.E. 71473

ASPIRE APARTMENTS PROJECT
536-538 META STREET
CIVIL EXHIBIT - GROUND LEVEL
CITY OF OXNARD

SCALE: HORIZ. 1" = 10' VERT. _____



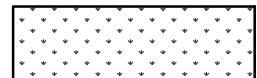


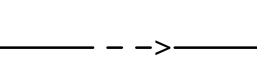

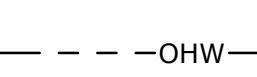
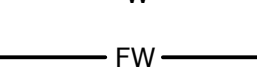
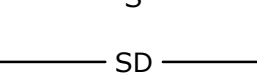







WORK ORDER 0530
DRAWN BY: _____
CHECKED BY: _____

SHEET NO. 1 OF 5

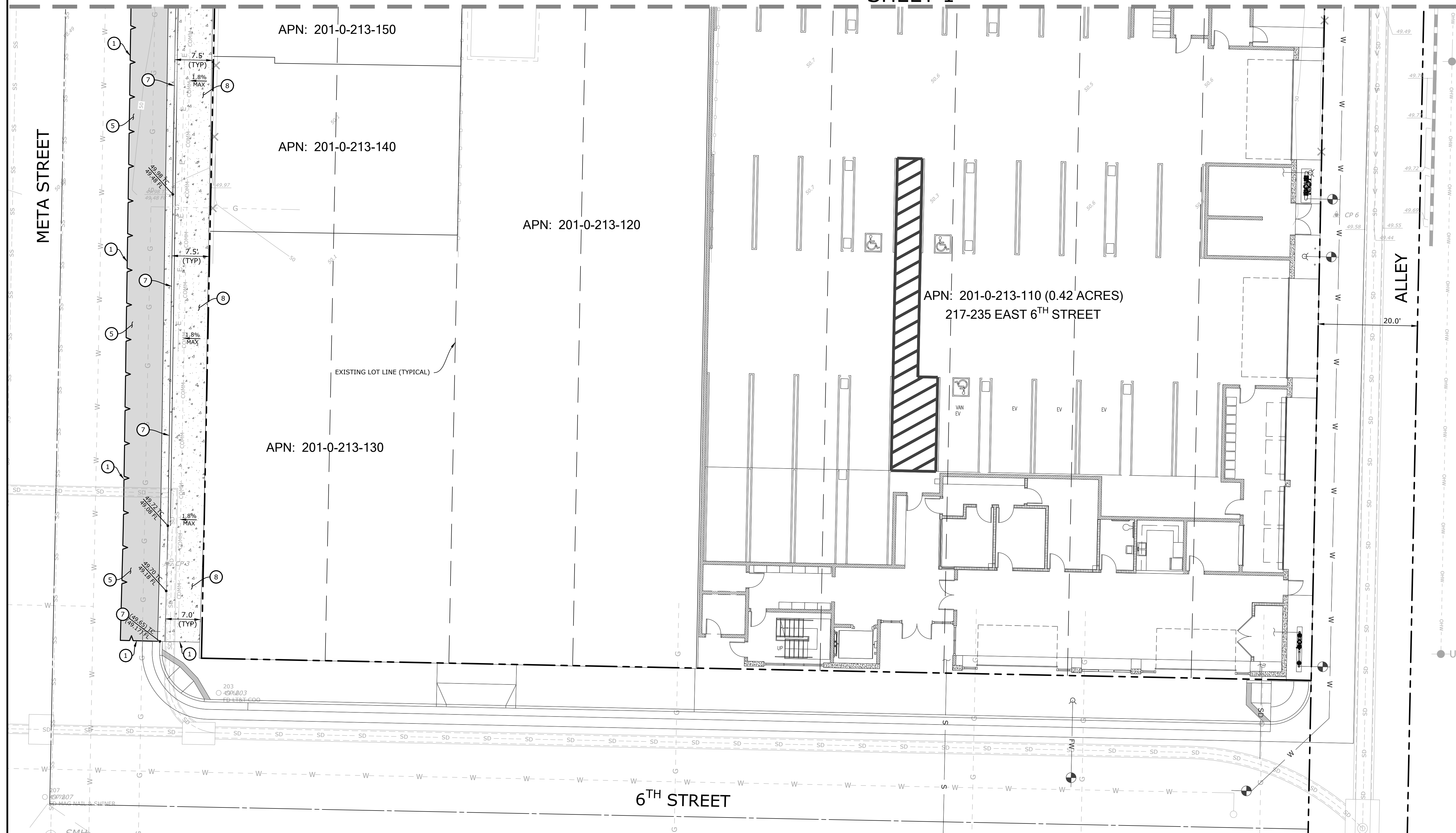
DRAWING: n:\projects\0530\engineering\civil\exhibits\0530_gnd.dwg

SHEET 1

LEGEND

-  CONCRETE PAVEMENT
-  ASPHALT CONCRETE PAVEMENT
-  PROPOSED LANDSCAPED AREA
-  STORMWATER QUALITY BMP
-  EXISTING LOT LINE
-  PROPERTY LINE
-  EARTHEN SWALE
-  EXISTING SANITARY SEWER LINE
-  EXISTING DOMESTIC WATER LINE
-  EXISTING STORM DRAIN LINE
-  EXISTING OVERHEAD WIRE
-  PROPOSED DOMESTIC WATER LINE
-  PROPOSED FIRE WATER LINE
-  PROPOSED SANITARY SEWER LINE
-  PROPOSED STORM DRAIN LINE
-  SAWCUT LINE
-  EXISTING BLOCK WALL

NOTE:
PROTECT ALL EXISTING UTILITIES IN PLACE,
UNLESS OTHERWISE NOTED. ADJUST TO PROPOSED
FINISHED GRADE AS REQUIRED.



CONSTRUCTION NOTES

- ① MATCH EXISTING.
- ⑤ REMOVE AND REPLACE EXISTING ASPHALT CONCRETE PAVEMENT TO LIMITS SHOWN.
- ⑦ CONSTRUCT CURB & GUTTER PER COX STD. PLATE 111, TYPE A2-6.
- ⑧ CONSTRUCT CONCRETE SIDEWALK PER COX STD. PLATES 112 AND 113.

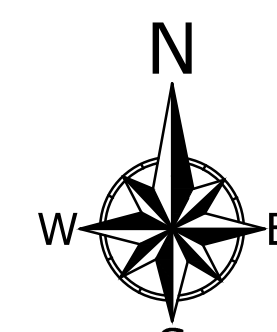


Know what's below.
Call before you dig.

DIAL TOLL FREE
8 1 1

AT LEAST TWO DAYS
BEFORE YOU DIG

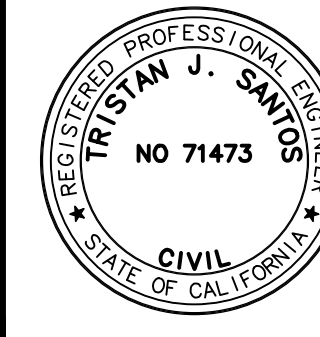
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA



SCALE: 1"=10'

REVISIONS			
MARK	DATE	DESCRIPTION	BY

REVIEWED BY: _____ DATE: _____

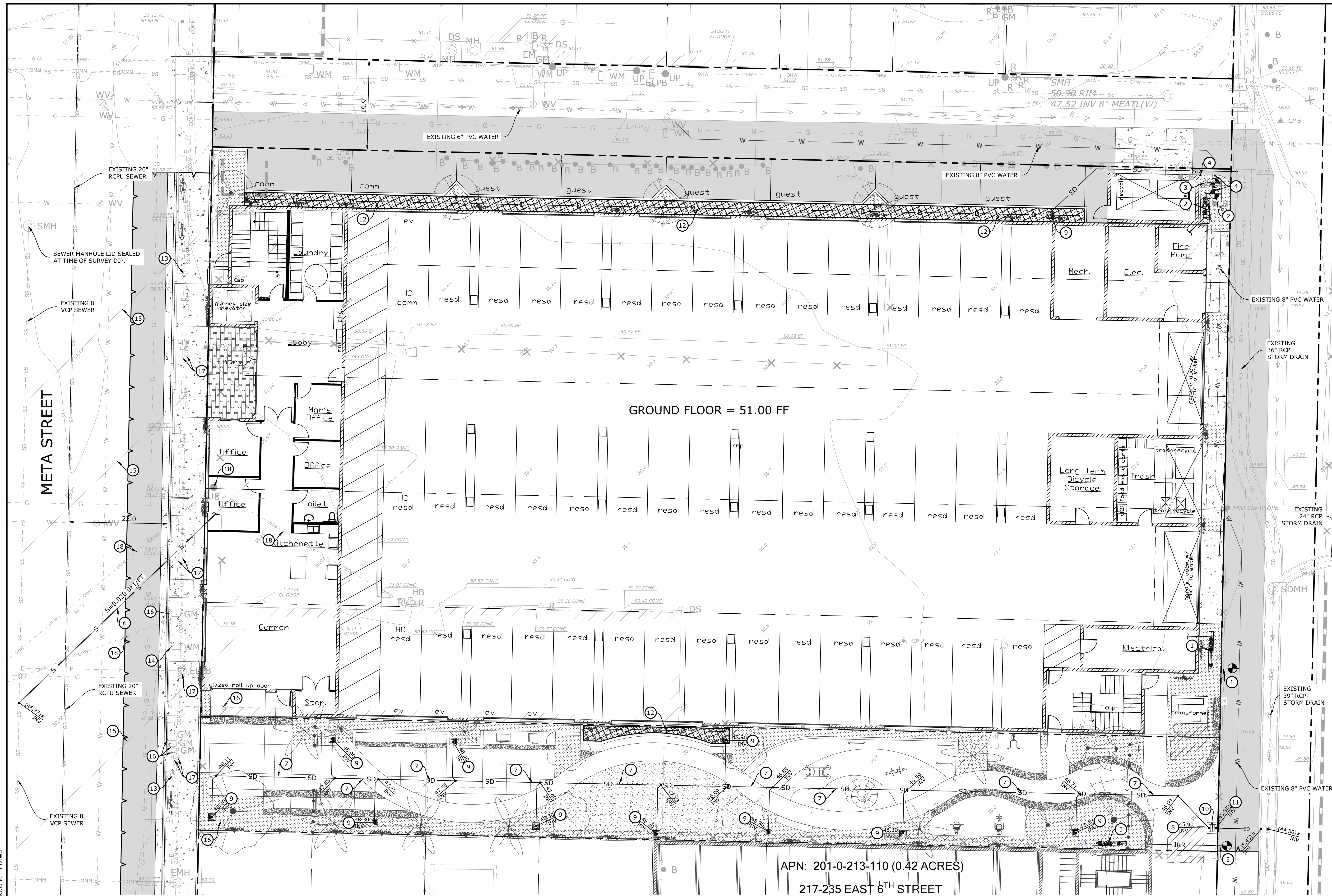


Encompass Consultant Group
333 N. LANTANA ST., SUITE 287, CAMARILLO, CA 93010
PHONE: 805-322-4443 WEBSITE: WWW.ECGCIVIL.COM

TRISTAN J. SANTOS DATE: 12/16/2021
PROJECT ENGINEER
R.C.E. 71473

ASPIRE APARTMENTS PROJECT
536-538 META STREET
CIVIL EXHIBIT - GROUND LEVEL
CITY OF OXNARD

SCALE: HORIZ. 1" = 10' VERT. _____
WORK ORDER: 0530
DRAWN BY: _____
CHECKED BY: _____ SHEET NO. 2 OF 5



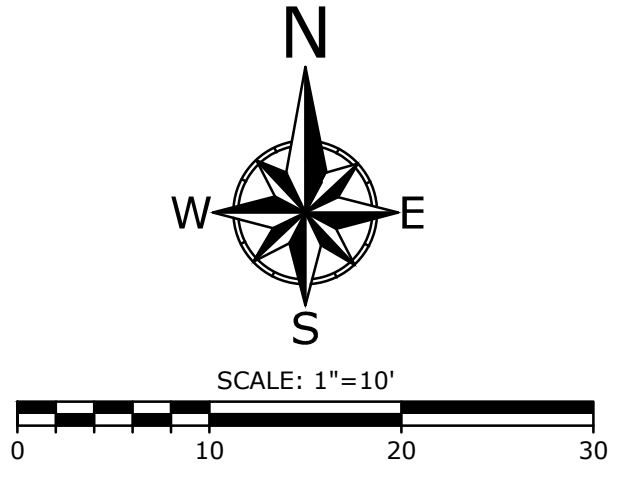
LEGEND

- CONCRETE PAVEMENT
- ASPHALT CONCRETE PAVEMENT
- PROPOSED LANDSCAPED AREA
- STORMWATER QUALITY BMP
- EXISTING LOT LINE
- PROPERTY LINE
- EARTHEN SWALE
- EXISTING SANITARY SEWER LINE
- EXISTING DOMESTIC WATER LINE
- EXISTING STORM DRAIN LINE
- EXISTING OVERHEAD WIRE
- PROPOSED DOMESTIC WATER LINE
- PROPOSED FIRE WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM DRAIN LINE
- SAWCUT LINE
- EXISTING BLOCK WALL

NOTE:
 PROTECT ALL EXISTING UTILITIES IN PLACE,
 UNLESS OTHERWISE NOTED. ADJUST TO PROPOSED
 FINISHED GRADE AS REQUIRED.

GROUND FLOOR = 51.00 FF

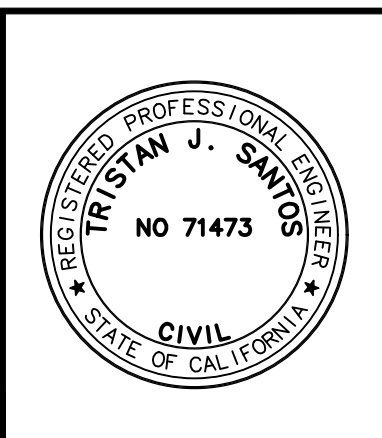
APN: 201-0-213-110 (0.42 ACRES)
 217-235 EAST 6TH STREET



CONSTRUCTION NOTES

- | | | |
|--|---|--|
| <ul style="list-style-type: none"> 1 CONSTRUCT DOMESTIC WATER SERVICE AND METER INSTALLATION PER COX STD. PLATE 310. 2 CONSTRUCT FIRE WATER LINE INSTALLATION PER COX STD. PLATE 311, WITH FIRE DEPARTMENT CONNECTION. 3 CONSTRUCT FIRE HYDRANT PER COX STD. PLATE 300. REMOVE EXISTING WATER SERVICE LATERAL. 4 CONSTRUCT TYPICAL BARRICADES FOR FIRE HYDRANT PER COX STD. PLATE 301, TYPE C. 5 CONSTRUCT IRRIGATION SERVICE WITH BACKFLOW PREVENTER PER COX STD. 309. 6 REMOVE AND REPLACE EXISTING LATERAL WITH 6" SANITARY SEWER HOUSE CONNECTION PER COX STD. PLATE 405 (6" & BELOW). | <ul style="list-style-type: none"> 7 CONSTRUCT 12" STORM DRAIN LINE WITH A MINIMUM 1.0% SLOPE. 8 CONNECT TO EXISTING STORM DRAIN INLET. 9 CONSTRUCT STORM DRAIN INLET WITH 6" LATERAL TO MAIN. 10 ADJUST EXISTING RIM ELEVATION TO PROPOSED FINISHED GRADE. GRATE SHALL BE TRAFFIC RATED AND HEEL PROOF. 11 FURNISH AND INSTALL CONNECTOR PIPE SCREEN, FLEX STORM OR OTHER CERTIFIED TRASH TREATMENT CONTROL DEVICE. 12 CONSTRUCT 6" PVC PERFORATED UNDERDRAIN FOR BMP. CONNECT TO OVERFLOW INLET. 13 PROTECT EXISTING STREET LIGHT. | <ul style="list-style-type: none"> 14 REMOVE EXISTING WATER METER. REMOVE AND DISCONNECT SERVICE LINE AT THE MAIN. 15 REMOVE EXISTING SEWER LATERAL AND DISCONNECT SERVICE LINE AT THE MAIN. 16 REMOVAL OF EXISTING GAS LINE AND APPURTENANCES TO BE COORDINATED WITH GAS COMPANY. 17 PROTECT EXISTING UTILITY LINES AND APPURTENANCES. 18 EXISTING OVERHEAD WIRES ALONG THE META STREET FRONTAGE TO BE RELOCATED. COORDINATE WITH SOUTHERN CALIFORNIA EDISON ALL RELOCATION OF EXISTING OVERHEAD WIRES, POWER POLE, AND APPURTENANCES. |
|--|---|--|

REVISIONS			
MARK	DATE	DESCRIPTION	BY



ECG
 Encompass Consultant Group
 333 N. LANTANA ST, SUITE 287, CAMARILLO, CA 93010
 PHONE: 805.322.4443 WEBSITE: WWW.ECGCIVIL.COM

TRISTAN J. SANTOS DATE: 12/16/2021
 PROJECT ENGINEER
 R.C.E. 71473

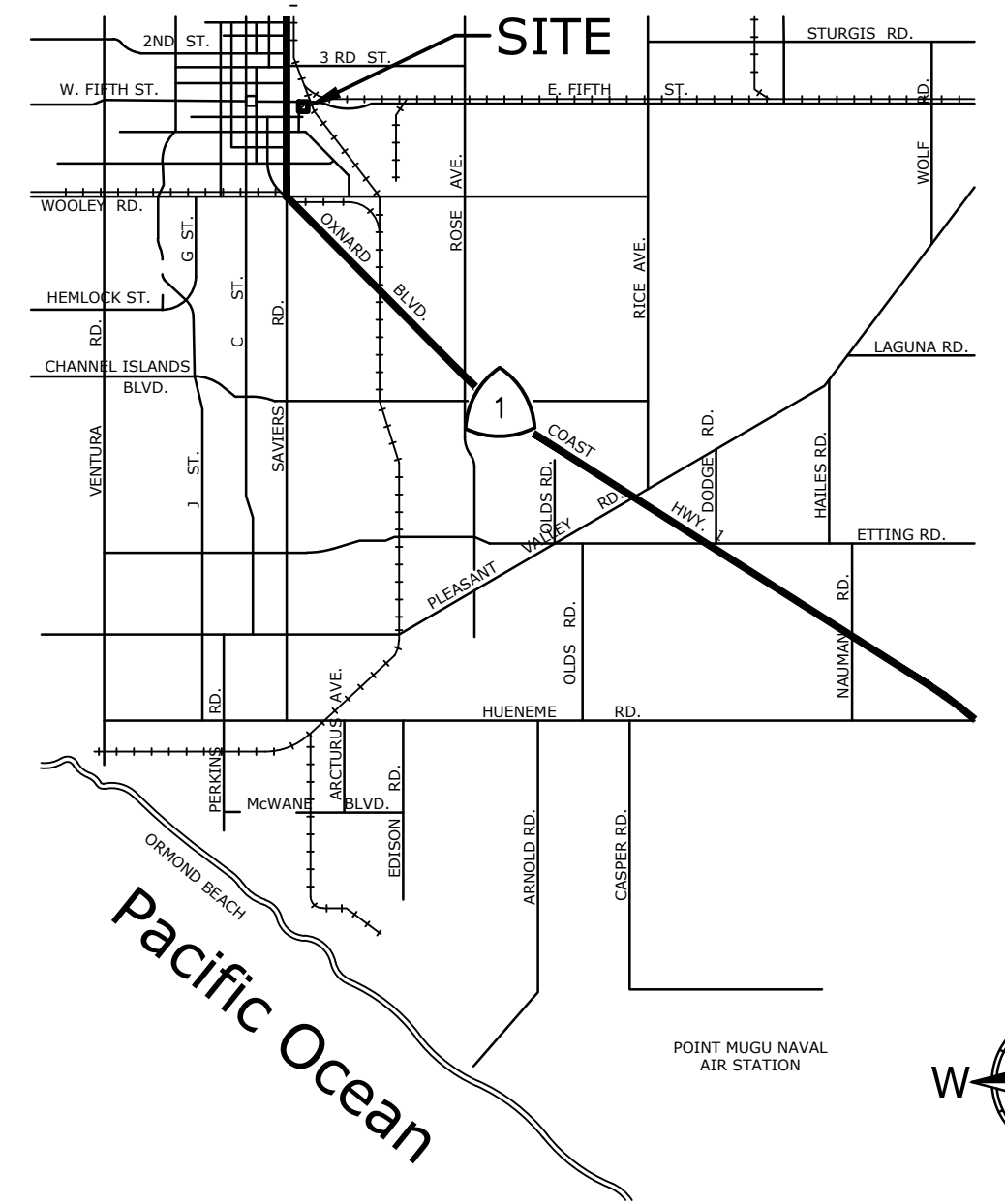
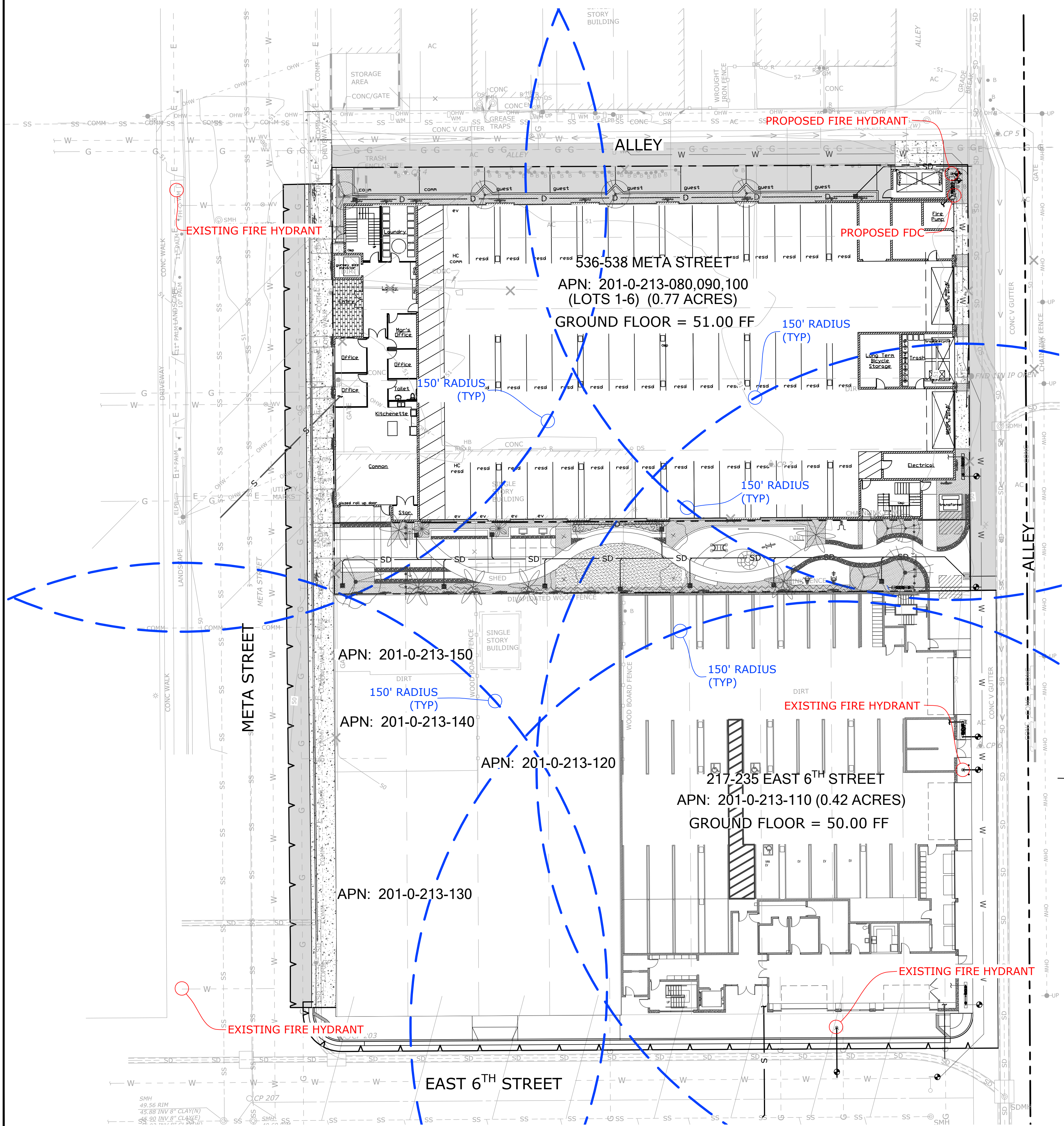
ASPIRE APARTMENTS PROJECT
 536-538 META STREET
 CIVIL EXHIBIT - UTILITIES
 CITY OF OXNARD

SCALE: HORIZ. 1" = 10' VERT. _____

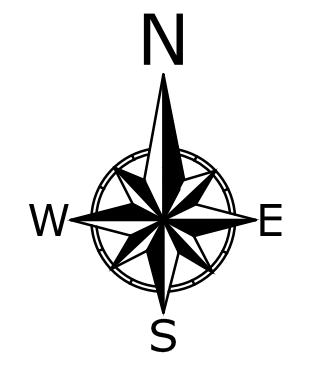
WORK ORDER: 0530
 SHEET NO. 3 OF 5

DRAWING: n:\projects\0530\engineering\acivil\exhibits\0530_util.dwg

DRAWING: n:\projects\0530\engineering\exhibits\0530_fm_exhibit.dwg



VICINITY MAP
SCALE: NOT TO SCALE



LOT/ZONING INFORMATION

ZONING	EXISTING: CBD / CENTRAL BUSINESS DISTRICT	PROPOSED: MULTI-FAMILY RESIDENTIAL
AREA	NET AREA: 0.77-ACRE	
FLOOD ZONE	"AREA OF MINIMAL FLOOD HAZARD" - ZONE X (NO SCREEN)	
LOTS	APN: 201-0-213-080, 090, 100 (LOTS 1-6)	
OWNER	MANY MANSIONS	
UNITS	APARTMENTS	= 88 UNITS TOTAL 56 ONE-BEDROOM 32 TWO-BEDROOM

UTILITIES

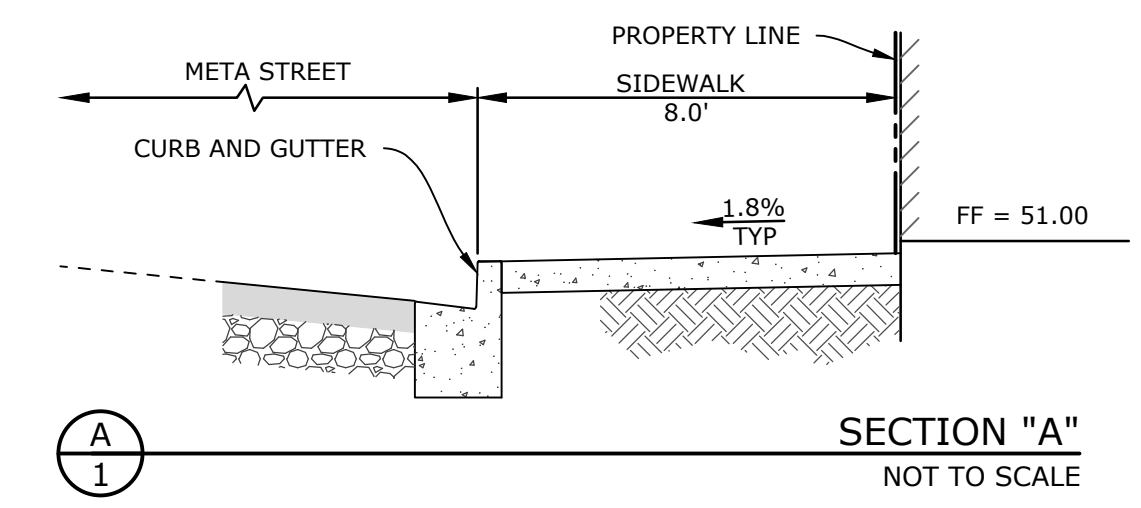
WATER	CITY OF OXNARD
SEWER	CITY OF OXNARD
STORM DRAIN	CITY OF OXNARD/WCPD
ELECTRIC	SOUTHERN CALIFORNIA EDISON
GAS	THE SOUTHERN CALIFORNIA GAS COMPANY
TELEPHONE	(SEMPRA ENERGY) FRONTIER CHARTER

GENERAL

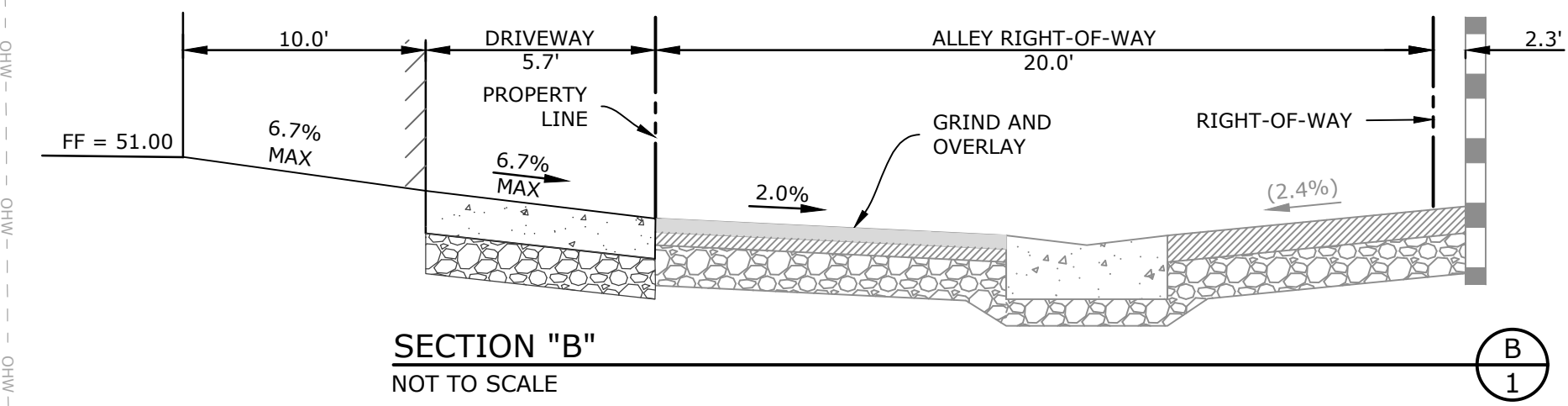
OWNER/DEVELOPER	MANY MANSIONS 1259 E. THOUSAND OAKS BLVD. THOUSAND OAKS, CA 91362 ATTN: LUIS A. HERNANDEZ (PROJECT MANAGER) (805) 708-5048
ARCHITECT	DICECCO ARCHITECTURE, INC. 887 PATRIOT DRIVE, SUITE C MOORPARK, CALIFORNIA 93021 ATTN: MARK DI CECCO (805) 552-0088
CIVIL ENGINEER	ENCOMPASS CONSULTANT GROUP, INC. 333 N. LANTANA ST, SUITE 287 CAMARILLO, CA 93010 ATTN: TRISTAN J. SANTOS, RCE 71473 (805) 416-1698
GEOTECHNICAL ENGINEER	ADVANCED GEOTECHNICAL SERVICES, INC. 5251 VERDUGO WAY, SUITE 12 CAMARILLO, CA 93012 ATTN: SCOTT W. MOORE, GE 2560 (805) 388-6162
LANDSCAPE ARCHITECT	L.A. GROUP DESIGN WORKS 24013 VENTURA BLVD, SUITE 201 CALABASAS, CA 91302 ATTN: MONICA D'ANGELO-TOMEI (818) 251-9718

LEGAL DESCRIPTION

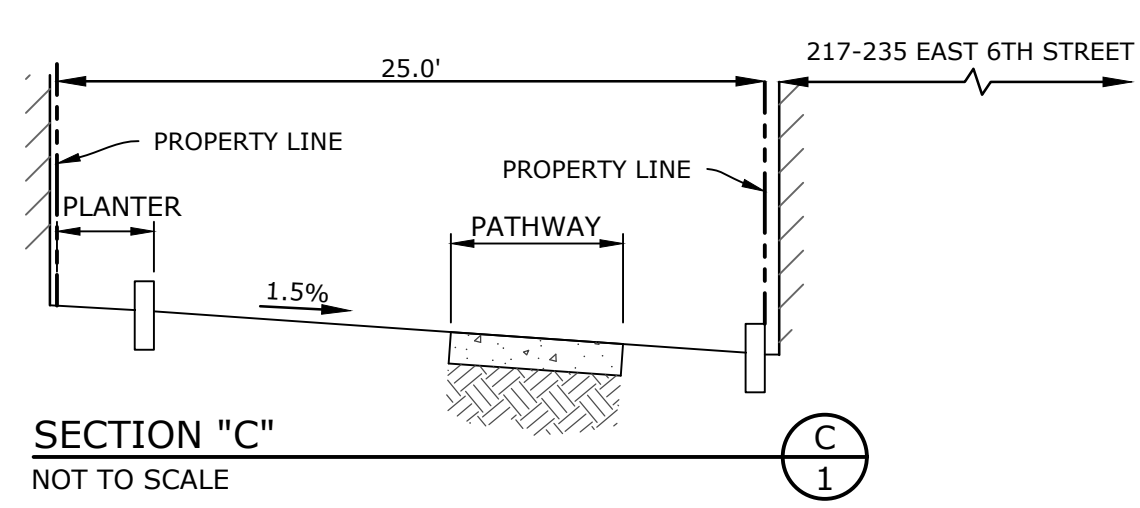
ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF VENTURA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
LOT 6, BLOCK A THE RICE TRACT, IN THE CITY OF OXNARD, COUNTY OF VENTURA, STATE OF CALIFORNIA, AS PER RECORDED IN BOOK 1A, PAGE 34 OF MAPS, IN THE OFFICE OF THE RECORDER OF SAID COUNTY.
LOTS 1, 2, 3, 4 AND 5 IN BLOCK "A" OF THE RICE TRACT, IN THE CITY OF OXNARD, COUNTY OF VENTURA, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 1A, PAGE 34 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID VENTURA COUNTY.
APN: 201-0-213-080, 090, 100 (LOTS 1-6)



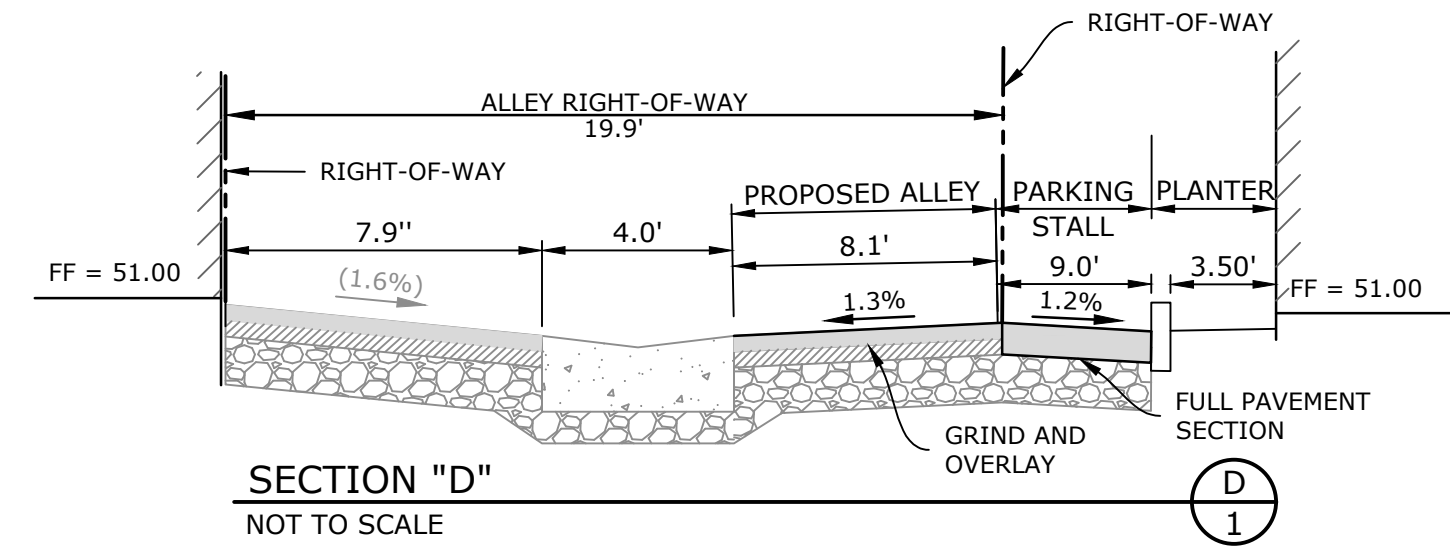
SECTION "A"
NOT TO SCALE



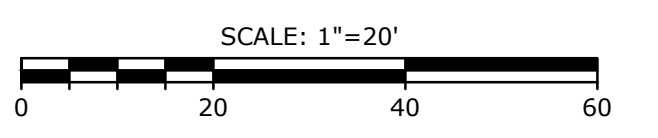
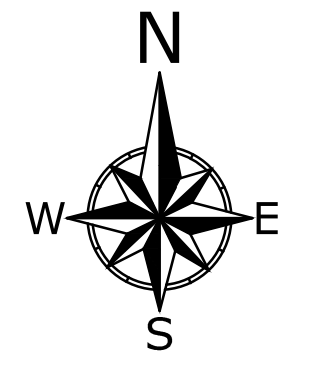
SECTION "B"
NOT TO SCALE



SECTION "C"
NOT TO SCALE



SECTION "D"
NOT TO SCALE



REVISIONS			
MARK	DATE	DESCRIPTION	BY



ECG
Encompass Consultant Group
333 N. LANTANA ST, SUITE 287, CAMARILLO, CA 93010
PHONE: 805-322-4443 WEBSITE: WWW.ECGCIVIL.COM

TRISTAN J. SANTOS DATE: 12/16/2021
PROJECT ENGINEER
R.C.E. 71473

ASPIRE APARTMENTS PROJECT
536-538 META STREET
FIRE HYDRANT EXHIBIT
CITY OF OXNARD

SCALE: HORIZ. 1" = 20' VERT. 1" = 20'

WORK ORDER	0530
DRAWN BY	TJS
CHECKED BY	

SHEET NO. 4 OF 5

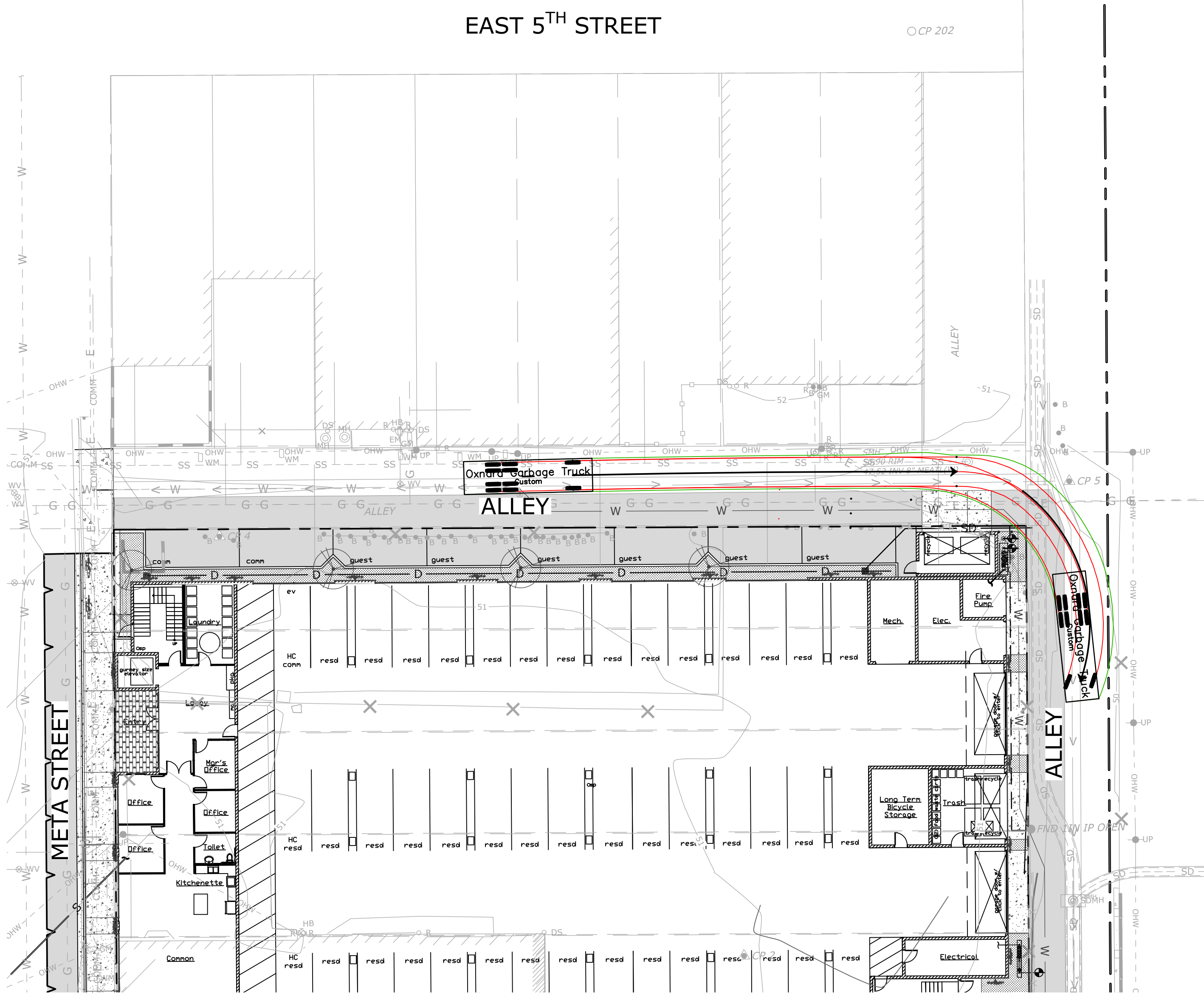


FIGURE 1: NORTH BOUND - LEFT TURN

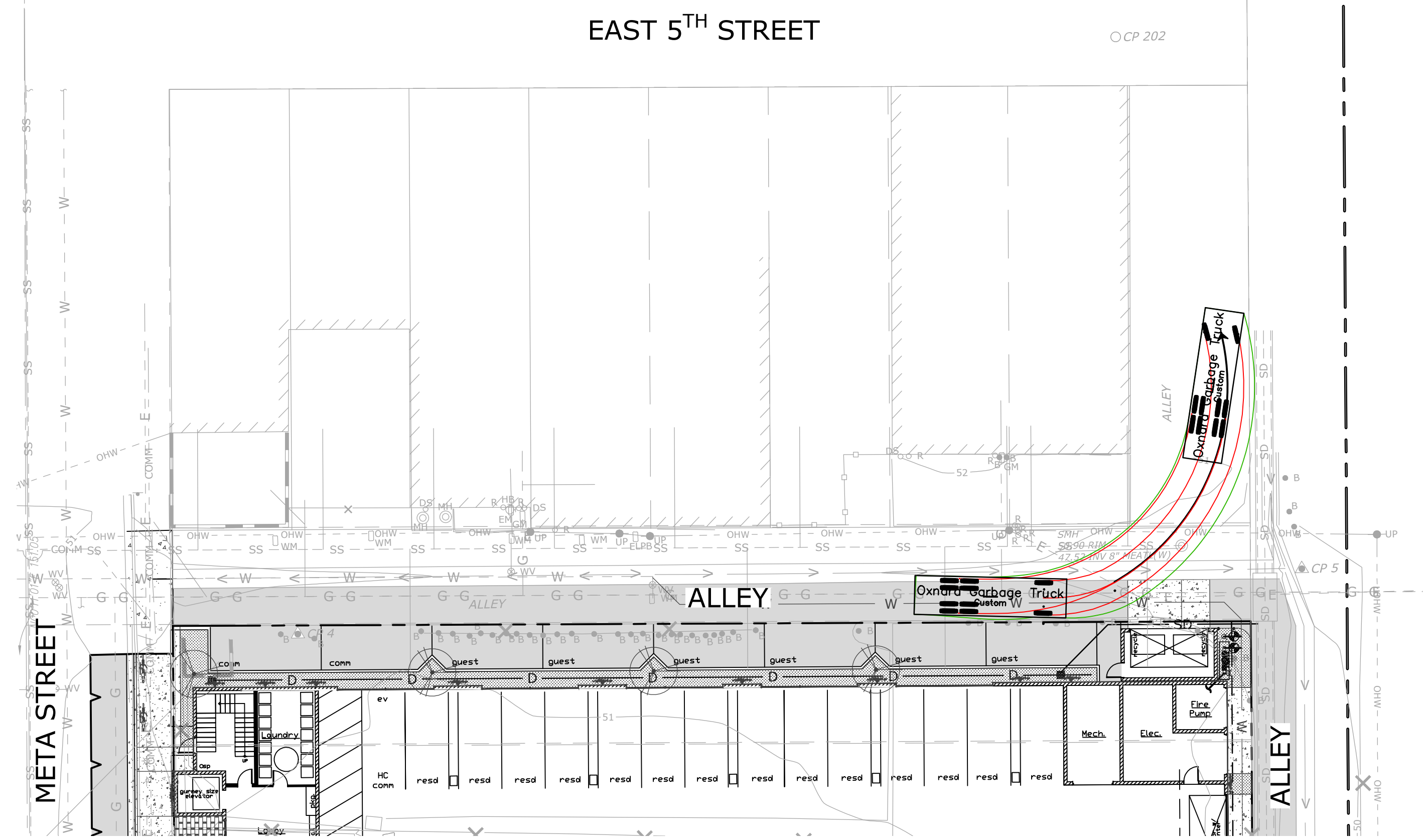


FIGURE 2: EAST BOUND - LEFT TURN

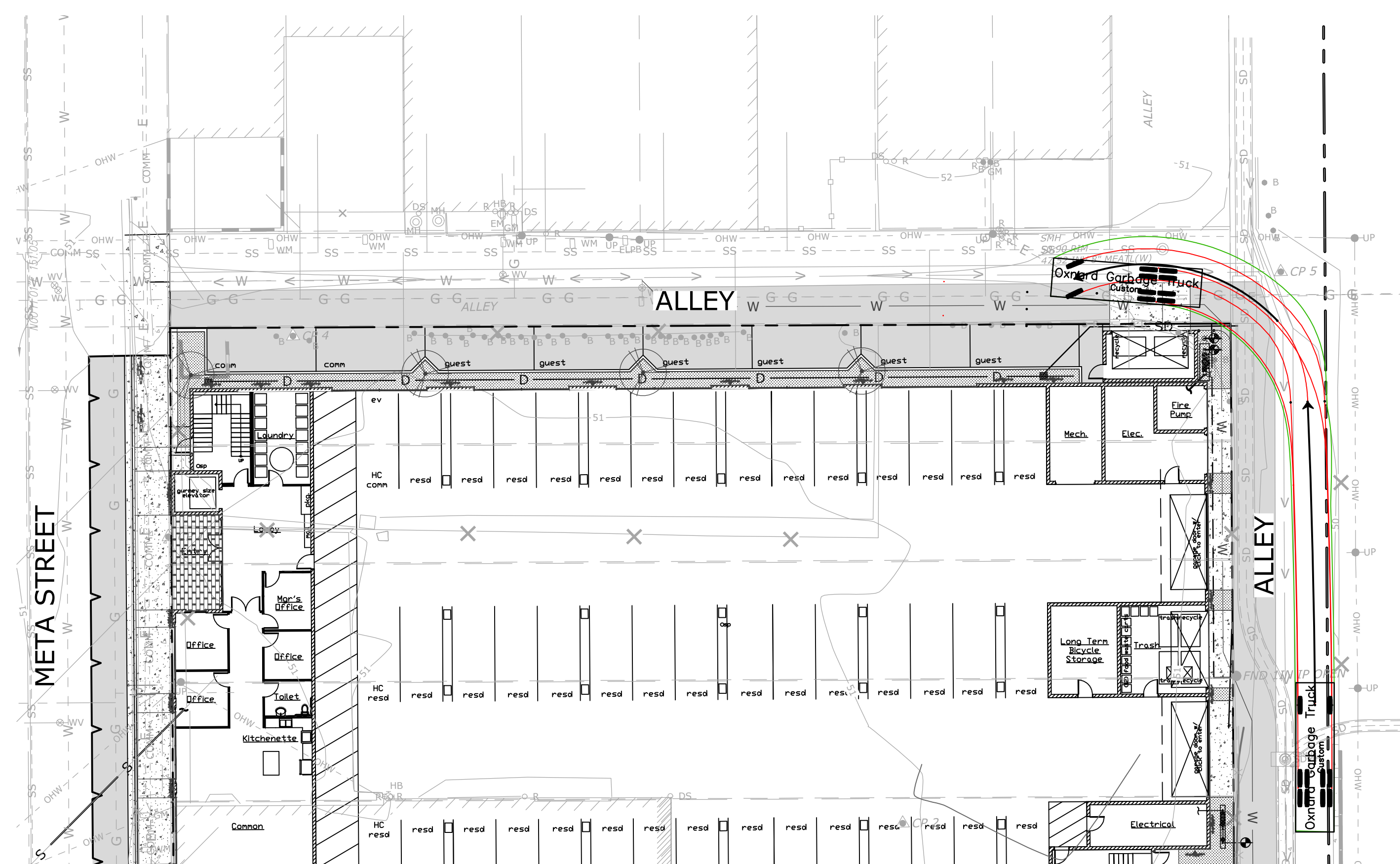
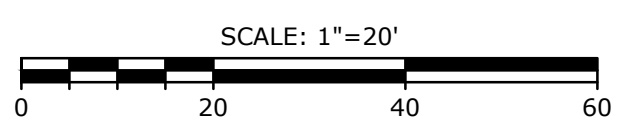
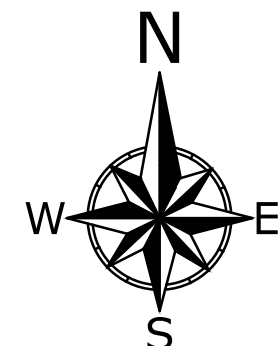
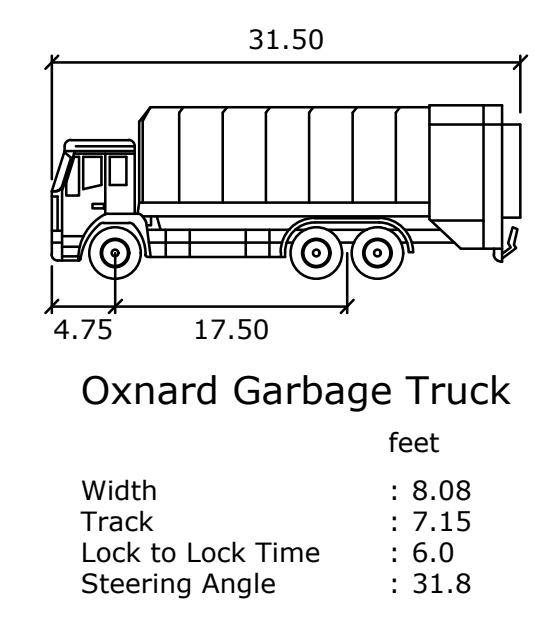
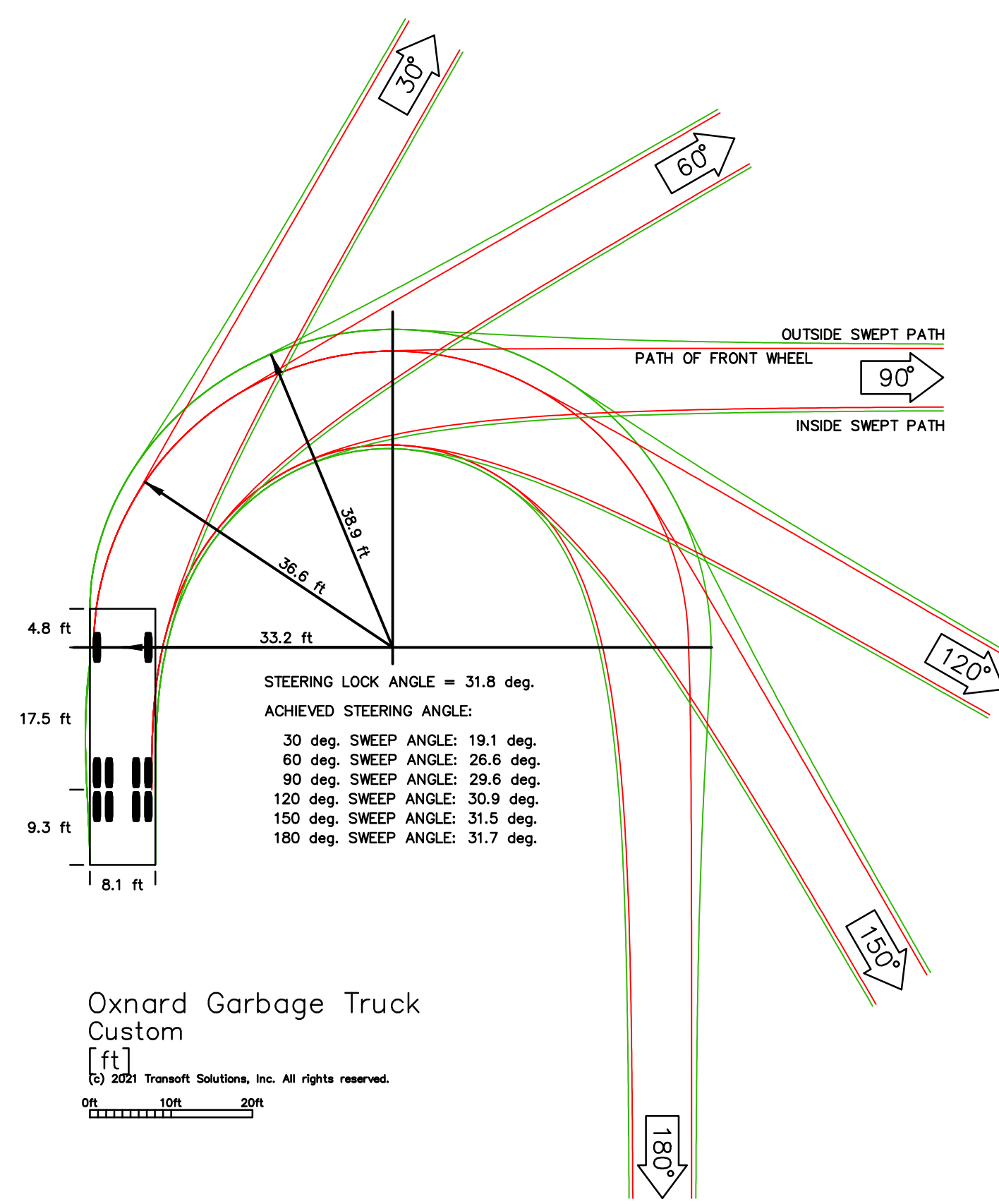


FIGURE 3: EAST BOUND - RIGHT TURN



REVISIONS			
MARK	DATE	DESCRIPTION	BY

REVIEWED BY: _____ DATE: _____



ECG
 Encompass Consultant Group
 333 N. LANTANA ST., SUITE 287, CAMARILLO, CA 93010
 PHONE: 805.322.4443 WEBSITE: WWW.ECGCIVIL.COM

TRISTAN J. SANTOS DATE: 12/16/2021
 PROJECT ENGINEER
 R.C.E. 71473

ASPIRE APARTMENTS PROJECT
 536-538 META STREET
 WASTE COLLECTION VEHICLE TURNING EXHIBIT
 CITY OF OXNARD

SCALE: HORIZ. 1"=20' VERT. 1"=20'

WORK ORDER	0530
DRAWN BY	TJS
CHECKED BY	

SHEET NO. 5 OF 5

DRAWING: n:\projects\0530\engineering\exhibits\0530_garbage truck turn exhibit.dwg

MINUTES
OXNARD DOWNTOWN DESIGN REVIEW COMMITTEE
REGULAR MEETING
December 9, 2021 Minutes
DRAFT

A. ROLL CALL

1. At 9:05 a.m. the regular meeting of the Downtown Design Review Committee convened in the West Conference Room of the Service Center. Present via videoconference: Chairman Gary Blum; Alesia Martin, Member; and David Ferrin, Member; Staff members present: Scott Kolwitz, Planning & Environmental Services Manager; Joe Pearson II, Senior Planner, and Jose Coyotl, Associate Planner. Chairman Gary Blum presided and called the meeting to order. Committee members Authur Valenzuela and Tyson Cline were absent.

B. PUBLIC COMMENTS - On Items Not On The Agenda

1. None.

C. CONSENT AGENDA

1. APPROVAL OF MINUTES -October 14, 2021

MOTION: Committee Member Ferrin moved and Committee Member Ferrin seconded a motion to approve the minutes of October 14, 2021, as submitted.

VOTE: Chair Gary Blum, and Committee Members Ferrin, and Martin voted in favor. The motion carried 3:0:2:0:0¹.

D. EX PARTE DECLARATIONS FOR PUBLIC HEARING ITEMS

1. None

E. PUBLIC HEARING

1. **Project Name: Palm Drive Mixed Use Development;** - PLANNING AND ZONING PERMIT NO. 21-200-04 (Major Downtown Design Review Permit (DDRP)). The project request proposes to construct a two-story mixed use development with 900 sf commercial space and 994 square foot, two-bedroom apartment on the first floor and two, one-bedroom apartments on the second floor. The 5,250 square foot undeveloped site is zoned for Downtown General (DT-G) and is located at 140 Palm Drive (APN: 200-0-052-130), within the Wilson Neighborhood. The project is exempt from environmental review pursuant to Section 15332 (Infill Development), Class 32 of the

¹ In Favor: Against: Absent: Abstain: Recused

California Environmental Quality Act (CEQA) Guidelines. Filed by Lizette Elenes with ERA Architects on behalf of the property owner Vicente & Lilia Martinez, 1971 Hazeltine Drive Oxnard, California 93036. (the “Applicant”). **City Staff: Juan Martinez, Project Planner**

MOTION: Committee Member Ferrin moved and Committee Member Martin seconded a motion to continuance of the project to the January 13, 2022 DDRC meeting

VOTE: Chair Blum, and Committee Members Ferrin and Martin. voted in favor. Vice Chair Cline and Committee Member Valenzuela were absent. The amended motion carried 3:0:2:0:0².

2. **Project Name: Kind Lifestyle Market LLC dba Kind Lifestyle Market; - PLANNING AND ZONING PERMIT NO. 21-516-11 (Special Use Permit - Cannabis (SUP)).** A request to permit architectural revisions associated with the operation of a commercial cannabis retail facility within an existing 3,616 square-foot commercial building on a 0.27-acre site located at 911 South Oxnard Boulevard (APN: 202-0-192-010) within the Downtown General (DT-G) zone. Proposed development includes tenant improvements: installation of interior wall partitioning, plumbing upgrades, upgrades to an existing fire alarm system, security upgrades to the existing building, installation of new secure doors/windows, and providing exterior facade improvements. Cannabis retail operations will be conducted between the hours from 9:00 AM to 9:00 PM daily. The proposed project is exempt from environmental review, pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act. Filed by Kristine Byers on behalf of Kind Lifestyle Market, LLC., 2801 B Street, San Diego, CA 92101. **City Staff: Jose Coyotl, Project Planner**

Jose Coyotl, Associate Planner, provided a brief introduction presentation of the staff report outlining the request.

The project architect, Kristine Byers, presented the project design.

No public verbal or written comments were received prior to the hearing.

No public comments were made during the public comment portion of the public hearing.

Discussion ensued among the Committee Members, Staff, the project architect and the Applicant regarding the project design.

MOTION: Committee Member Ferrin moved and Committee Member Martin seconded a motion recommending approval of the project's architectural design with the following comments:

² In Favor: Against: Absent: Abstain: Recused

1. The Project should have a licensed landscape architect on board to advise on the project landscaping.
2. The project landscaping should introduce regional natives into the plant palette.
3. All signage shall comply with the Downtown Code signage requirements.

VOTE: Chair Blum and Committee Members Ferrin and Martin voted in favor. Vice Chair Cline and Committee Member Valenzuela were absent. The motion carried 3:0:2:0:0³.

3. **Project Name: 637/643 South C Street Apartments Project;** - PLANNING AND ZONING PERMIT NOS. 20-200-19 (Major Downtown Design Review Permit) and 21-310-10 (Lot Merger). The project includes a request for design review of a proposed 57,274 square foot 5-story mixed use apartment building with 36 residential units (4 affordable), 20 parking spaces, 1,619 square-feet of non-residential space and open space on a 0.32-acre project site. Proposed development includes commercial space, and parking for the residences on the ground level, with an additional 4 levels of residential units (for a 5 story building). The proposed building is designed with twenty-four 1-bedroom units and eight 2-bedroom units. All of the units open to the south side of the building. Approximately 3,605 square feet of open space for residents will be provided via a second floor plaza, roof deck, and private decks. The existing residence will be demolished. The Project is located at 637 and 643 South C Street within the Downtown land use designation and Downtown General (DT-G) zone. The project is exempt from environmental review pursuant to Section 15332 (Infill Development), Class 32 of the California Environmental Quality Act (CEQA) Guidelines. Filed by Mike Sanchez, of Coastal Architects (“Agent”) 505 S. A Street, Suite 200, Oxnard, CA 93030 on behalf of Raul Orozco (“Owner”). **City Staff: Joe Pearson II, Project Planner**

Joe Pearson II, Senior Planner, provided a brief introduction presentation of the staff report outlining the request.

The project architect, Mike Sanchez, of Coastal Architects, presented the project design.

No public verbal or written comments were received prior to the hearing.

Chair Blum opened the public comments portion of the public hearing.

Public verbal comments were received from:

1. Armando Delgado
2. Manley McNinch
3. Tabitha Castro
4. Ernest Castro

No other public verbal or written comments were received for Item E.3

³ In Favor: Against: Absent: Abstain: Recused

Chair Blum closed the public comments portion of the public hearing.

Discussion ensued among the Committee Members, Staff, the project architect and the Applicant regarding the project design.

MOTION: Committee Member Ferrin moved and Committee Member Martin seconded a motion recommending approval of the project's architectural design with the following comments:

1. Building style is appropriate, but could be more integrated with the surrounding area.
2. The quality of the exterior building materials should be improved, i.e the fiber cement is Hardie panel horizontal siding with wood grain, the stamped on wood grain is not appropriate, should be a smooth finish or more interesting for a building of this stature.
3. Project should avoid use of Hardie materials on the exterior. Project should use higher quality materials that last, and have color in the materials.
4. Instead of the vinyl window, the project should use composite, aluminum clad, or aluminum thermally broken window system for the residential units.
5. Show stucco control joints where needed.
6. Study use of acrylic stucco. Material can potentially trap water and cause building issues. The use of cement stucco is recommended, with appropriate measures, such as mesh and control joint to minimize possible cracking.
7. Project should study shading on the southside of the building. Project should look at ways to modify the architecture to provide integrated shading.
8. Project should hire a landscape architect, and work with them to incorporate additional landscaping into the building including the rooftop deck.

VOTE: Chair Blum and Committee Members Ferrin and Martin voted in favor. Vice-Chair Cline and Committee Member Valenzuela were absent. The motion carried 3:0:2:0:0⁴.

4. **Project Name: 613 South C Street Apartments Project;** - PLANNING AND ZONING PERMIT NO. 20-200-18 (Major Downtown Design Review Permit (DDRP)). The project includes a request for design review of a proposed 26,308 square foot 5-story mixed use apartment building with 20 residential units (2 affordable), 10 parking spaces, 656 square-feet of non-residential space, and 1,053 square-feet of open space on a 0.16-acre project site. Proposed development includes commercial space, and parking for the residences on the ground level, with an additional 4 levels of residential units (for a 5 story building). The proposed building is designed with sixteen 1-bedroom units and four 2-bedroom units. All of the units open to the south side of the building. The roof deck is provided as common space for the residents. The existing

⁴ In Favor: Against: Absent: Abstain: Recused

vacant building will be demolished. The Project is located at 613 South C Street within the Downtown land use designation and Downtown General (DT-G) zone. The project is exempt from environmental review pursuant to Section 15332 (Infill Development), Class 32 of the California Environmental Quality Act (CEQA) Guidelines. Filed by Mike Sanchez, of Coastal Architects (“Agent”) 505 S. A Street, Suite 200, Oxnard, CA 93030 on behalf of Raul Orozco (“Owner”). **City Staff: Joe Pearson II, Project Planner**

Joe Pearson II, Senior Planner, provided a brief introduction presentation of the staff report outlining the request.

The project architect, Mike Sanchez, of Coastal Architects, presented the project design.

No public comments were made during the public comment portion of the public hearing.

Chair Blum closed the public comments portion of the public hearing.

Discussion ensued among the Committee Members, Staff, the project architect and the Applicant regarding the project design.

MOTION: Committee Member Ferrin moved and Committee Member Martin seconded a motion recommending approval of the project's architectural design with the following comments:

1. Project should hire a licensed landscape architect and work with them to incorporate additional landscaping into the building including the rooftop deck.
2. Building materials are appropriate, with the exception of the vinyl windows.
3. Instead of the vinyl window, the project should use composite, aluminum clad, or aluminum thermally broken window system.
4. The south side is adequately shaded.
5. The applied frames are appropriate and elegantly done, therefore can be supported on this project.
6. Show the control joints of the exterior materials.

VOTE: Chair Blum and Committee Members Ferrin and Martin voted in favor. Vice-Chair Cline and Committee Member Valenzuela were absent. The motion carried 3:0:2:0:0⁵.

F. STUDY SESSION/REPORTS

1. None

G. COMMITTEE BUSINESS

1. None.

H. COMMUNITY DEVELOPMENT STAFF UPDATES

1. None

⁵ In Favor: Against: Absent: Abstain: Recused

I. ADJOURNMENT

1. At 11:15 a.m, The Downtown Design Review Committee concurred to adjourn.

FUTURE MEETINGS

None scheduled at this time. Future meetings will be scheduled on a as needed basis on the 2nd and 4th Thursday of each month

Gary Blum,
Chair

ATTEST _____
Joe Pearson II,
Senior Planner