

**COMMUNITY DEVELOPMENT DIRECTOR
 STAFF REPORT**

TO: Maureen Tamuri, Interim Community Development Director

FROM: Serena Gonzalez, Assistant Planner

DATE: August 24, 2023

SUBJECT: Project Name: Mandelbaum Residence; Planning and Zoning Permit No. 23-400-01 (Coastal Development Permit) to allow for a spa on the roof of a beachfront single-family residence located at 1215 Capri Way (APN 191-0-091-285; Lot 57 of Tract No. 4380).

- 1) **Recommendation:** That the Community Development Director adopt a Resolution approving Planning and Zoning Permit No. 23-400-01 (Coastal Development Permit), subject to certain findings and conditions.
- 2) **Project Description and Applicant:** A request to allow for changes to a previously approved single-family residence.
 - a) The previously approved residence consists of a 5,284 square-foot, two story, single-family beachfront residence with an attached 797 square-foot three-car garage 1,095 square feet of deck space.
 - b) The applicant is currently requesting a new CDP in order to remove the condition that prohibits a rooftop spa and allow for the placement of a rooftop spa.

The Project site is a 5,284 square-foot beachfront home located at 1215 Capri Way, within the Oxnard Shores Neighborhood in the Beachfront Residential (R-BF) zoning district and the Coastal Zone. For the purposes of this Staff Report, the foregoing project description shall be referred to as the “**Project.**” Filed by property owner Ben Mandelbaum (the “**Applicant**”).

- 3) **Authority:** Pursuant to Oxnard City Code Section 17-25(C)(1) Coastal Development Permits within the R-BF zone are subject to the approval of the Community Development Director.
- 4) **Existing & Surrounding Land Uses:** The subject property is a 5,600 square-foot lot currently developed with a single family home. The subject property has a Local Coastal Plan Land Use Designation of “Residential Existing” (REX) and a zoning designation of Residential Beachfront. The following table describes the Land Use and Zoning Designations of the Project site and existing land uses immediately adjacent to the site, which are also illustrated on the attached maps (Attachment A):

Location	Local Coastal Plan Land Use Designation	Zoning Designation	Existing Land Use
Project Site	Residential Existing (REX)	Residential Beachfront (R-BF)	Vacant

North	Residential Existing (REX)	Residential Beachfront (R-BF)	Single-family residence
South	Residential Existing (REX)	Residential Beachfront (R-BF)	Single-family residence
East	Mobile Home Park (MHP)	Mobile Home Park Coastal (R-B-1)	Capri Way, single-family residences
West	Recreation Area (REC)	Residential Beachfront (R-BF)	Public Beach

5) Background Information:

- a) On April 5, 1988, the City Council approved the Oxnard Shores Settlement Agreement to settle a dispute regarding public beach access within the Coastal Zone. On April 12, 1988, the City Council approved Tentative Subdivision Map for Tract No. 4380 and an associated Development Agreement. On October 17, 1989, Oxnard City Council approved Tract Map No. 4380, which created the subject lot. The Oxnard Shores Settlement Agreement was recorded on October 31, 1989 as Document No. 89-174512 of Official Records of Ventura County. The above actions established the seaward property lines for the parcels that were part of the Settlement Agreement, dedicated the land between these property lines and the mean high tide to the public for recreational uses, and created vertical access paths to the beach. The beach access paths are spaced in such a manner that build-out of Tract No. 4380 would not preclude convenient public access to the beach. Additionally, Tract No. 4380 includes parcels to be used for beach access (Parcels P, Q, and R). The Settlement Agreement also established that owners of the lots within Tract 4380 shall have the right to develop lots into single dwelling units in accordance with the development standards outlined in the R-BF zone district.

- b) On October 4, 2018, the Director approved a 4,925 square-foot, two-story, single-family beachfront residence with an attached 864 square-foot three-car garage. Subsequent to the Director approval the Project was appealed to the Planning Commission and the California Coastal Commission (CCC). The appellant questioned whether the City had appropriately applied the setbacks on the seaward side of the project. The Planning Commission found that the project was in compliance with the 2030 General Plan and upheld the Director's decision on December 6, 2018. The subsequent appeal to the CCC, by the same appellant, was later withdrawn.

- c) On May 14, 2020, the Director approved Resolution No. 20-400-01, which approved a 5,284 square-foot, two story, single-family beachfront residence with an attached 797 square-foot three-car garage, 1,095 square feet of deck space and rooftop spa. Due to concerns raised by a member of the public, the Director approved the residence with the condition that no spa was to be permitted on the rooftop deck, which was agreed to by the project developer. Since that time the developer completed construction of the residence in 2023. The current Applicant subsequently purchased the property and is requesting approval of the current Project pursuant to Section 17-57(l) of the Oxnard Coastal Zoning Ordinance. The prior appellant has been provided notice of the current Project, as an interested party.

6) Environmental Determination: In accordance with Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines, projects involving “negligible or

no expansion of use beyond that existing at the time of the lead agency’s determination” may be found to be exempt from the requirements of CEQA. The project consists of minor alteration modifications to an existing building, the addition of a rooftop spa. No Exceptions to the Exemptions (Section 15300.2) apply to this project. Therefore, Staff has determined that there is no substantial evidence that the project may have a significant effect on the environment.

7) **Analysis:**

- a) **General Discussion:** In accordance with Section 17-25(C)(1) of the Coastal Zoning Ordinance and the Oxnard Shores Settlement Agreement, construction of the Project is subject to approval of a Coastal Development Permit by the Community Development Director.
- b) **Local Coastal Plan Consistency:** The proposed project’s consistency with the Local Coastal Plan is discussed in the following table:

POLICY	DISCUSSION
Local Coastal Policy No. 3 (p. III-5): <i>All urban development shall be restricted to the area within the urban-rural boundary, as defined by Map 1 and the Land Use Map.</i>	The subject property is currently developed and is within an urban area as noted on Map 6 in the Coastal Land Use Plan. Furthermore, the Coastal Land Use Map specifically notes that urban residential uses are concentrated in the Oxnard Shores area (p. II-3). Therefore the Project is consistent with this policy.
Local Coastal Policy No. 6 (p. III-10): <i>...only uses permitted in areas designated on the land use map with the Resource Protection Zone.</i>	The subject property is not in an area that is designated as environmentally sensitive, there is not sensitive habitat or native vegetation on-site, and there are no wetlands in the vicinity of the proposed development. Therefore the Project is consistent with this policy.

- c) **Conformance with Coastal Zoning Development Standards:** The property is currently developed with a single family dwelling. The proposed project only consist of the modification of the previously approved conditions of approval and the addition of a roof top spa on the existing residences. The proposed project has been evaluated for consistency with applicable development standards of the Beachfront Residential (R-BF) zone, as follows:

DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	COMPLY?
Maximum building height (OCC 17-25(D)(2))	For lots wider than 33 feet wide, two stories, not to exceed 25 feet from the bottom of the lowest shore parallel horizontal structural member to the highest peak of roof.	Two stories at 25 feet from the bottom of the lowest shore parallel horizontal structural member to the highest peak of the roof. The rooftop spa does not add additional height to the building.	Yes

No other changes are proposed that would alter the **project's** compliance with applicable development standards as previously determined under Resolution No. 20-400-01

- d) **Site Design:** The proposed spa will be located on the eastern (street) facing side of the rooftop deck. The spa will be set back from the parapet a minimum of 10 feet on all sides and at a minimum of 15 feet from the property lines. The height of the proposed spa is 42 inches while the height of the parapet is 45 inches, so the spa will be screened from public view on all sides. This complies with the design standards set in SEC 17-46 (B)(5) which requires mechanical equipment to be screened from view.
- e) **Conformance with Nuisance Standards:** The proposed project has been evaluated for consistency with the City's Nuisance section of the code. It has been determined that the spa will comply with the regulations. SEC 7-185 (A) states that from 7am to 10pm the allowed decibel rating is 55 dBA and from 10pm to 7am 50 dBA. A letter from the spa manufacturer submitted by the applicant states that their model with the highest average noise was 59.6 dBA at one foot away. With a minimum setback of 15 feet from the property lines the decibel rating is 36.1 dBA therefore complying with the noise standards for the City.
- f) **Existing Building Design:** The five bedroom single-family dwelling features a modern architectural style with an exterior primarily composed of a white color stucco, limestone, and a natural color stained hardwood siding and louvered wood screen. The building is designed with a porch and a deck off the western (seaward) side and two decks off the eastern (street) side. The balconies feature clear glass guard rails and glass handrails. The windows feature minimal black framing, the walls are articulated with natural hardwood siding, select areas are screened with a louvered wood screen, and the breakaway panels are designed with open steel mesh. The use of glass on the west elevation results in a light façade which complements the pattern of the existing beach-facing homes. The building features a flat roof design, with a deck that has a solid white parapet wall around the top of the structure. On the deck sits an approximately 9 foot by 9 foot spa that is 42 inches tall which is screened from public view by the parapet. The use of varying materials, colors, and architectural embellishments make the building complementary to existing development in the vicinity of the project site. A walkway is provided along the south elevation from Capri Way to the front door.

8) Community Workshop and Public Input:

- a) For the project PZ 18-400-02, the applicant mailed notices to property owners within the Oxnard Shores Neighborhood regarding a Community Workshop to be held June 18, 2018 to gather public comments. On June 8, 2018, a notice of this meeting was posted on the project site with a brief description and contact information for the case planner and the applicant. During the June 18, 2018 Community Workshop, two interested members of the public were in attendance to ask questions about the proposed project. These questions pertained to the size and design of the proposed residence. During the Community Workshop, no one expressed opposition to the proposed project.
- b) For the previously approved CDP (PZ 20-400-01) given that the proposed project is rescinding and replacing an approved project involving less than 8 percent change to the square footage of the residence and minimal exterior changes, a second Community Workshop was not held; however, public noticing was provided for this Director hearing.

- c) For the current project the applicant mailed notices to property owners within the Oxnard Shores Neighborhood regarding a Community Workshop to be held June 19, 2023 to gather public comments. On June 7, 2023, a notice of this meeting was posted on the project site with a brief description and contact information for the case planner and the applicant. During the June 9, 2023 Community Workshop, several interested members of the public were in attendance to ask questions about the proposed project. These questions pertained to the conditions of the previously approved permit and the overall permitting process. Everyone that spoke was in opposition to the project due to concerns on privacy and lack of compliance by the property owners. There was one interested party that sent correspondence in favor of the project.
- 9) **Appeal Procedure:** In accordance with Section 17-58(I) of the City Code, the Community Development Director's decision may be appealed to the Planning Commission within ten working days following notice of the decision of the Director to the applicant and interested parties. Appeal forms may be obtained from the Planning Division's Office and must be submitted with the appropriate fees before the end of the appeal period. If an appeal to the Planning Commission is not filed within 10 working days of the Community Development Director's decision, the decision of the Community Development Director shall be considered final and a Notice of Final Action shall be filed on the 11th working day with the California Coastal Commission (CCC).

Attachments:

- A. Maps (Vicinity, Aerial, Local Coastal Plan, Zoning)
- B. Reduced Project Plans
- C. CEQA Notice of Exemption
- D. Approved Resolution No. 20-400-01 (Previously Approved Coastal Development Permit)
- E. Draft Resolution No. 23-400-01

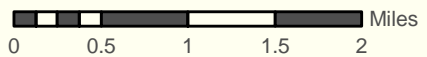


Vicinity Map



PZ 23-400-01

Vicinity Map

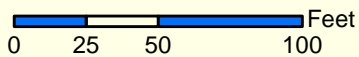


2030 General Plan Land Use Map



Oxnard Planning
May 1, 2023

PZ 23-400-01
Location: 1215 Capri Way
APN: 1910091285
Sandefer Residence



2030 General Plan Land Use Map



1:800

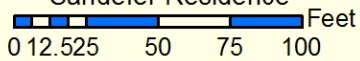
Zoning/Specific Plan Map



Oxnard Planning

May 1, 2023

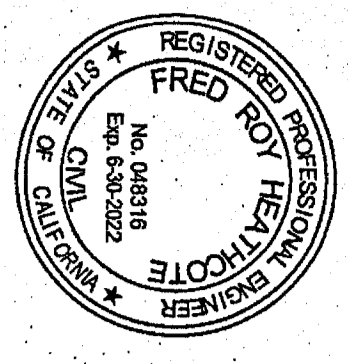
PZ 23-400-01
Location: 1215 Capri Way
APN: 1910091285
Sandefer Residence



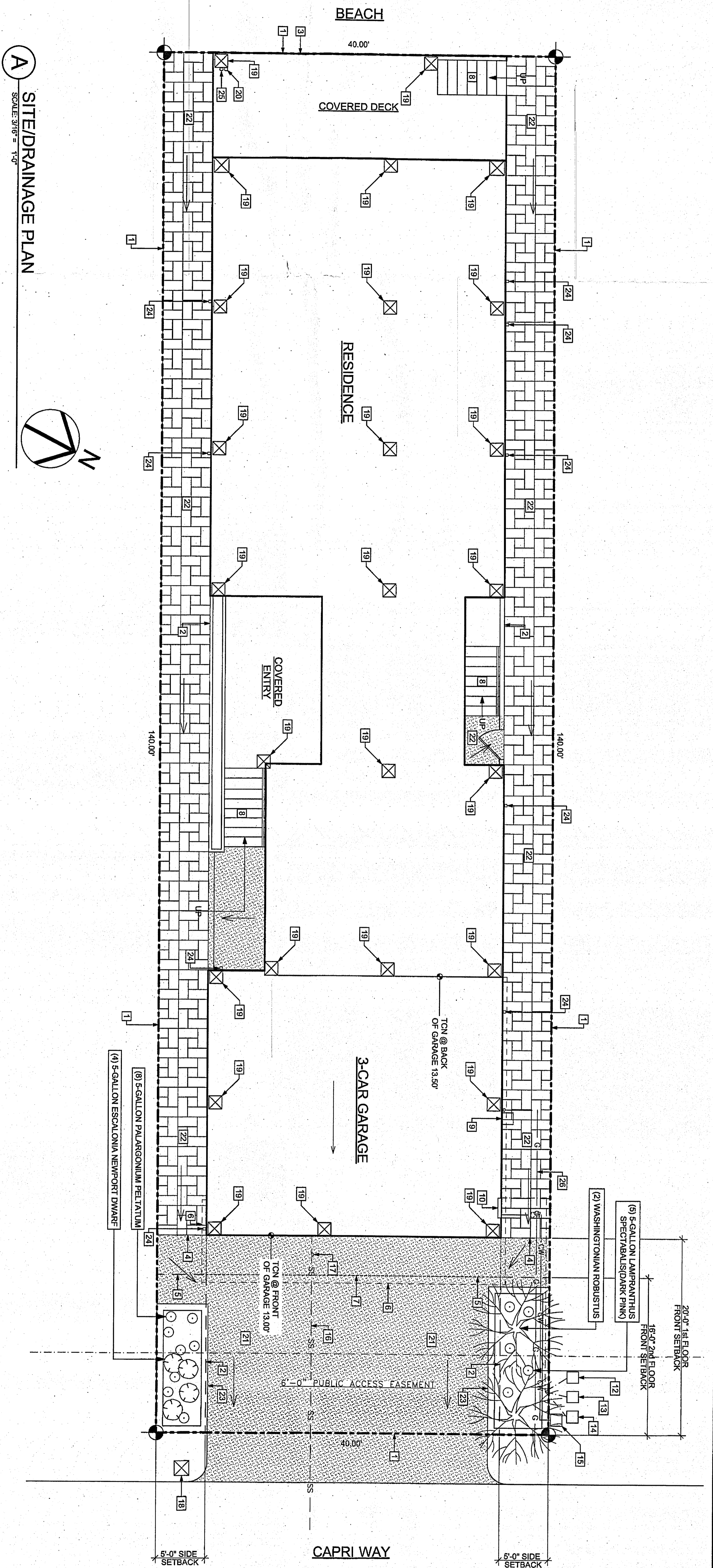
Zoning/Specific Plan Map



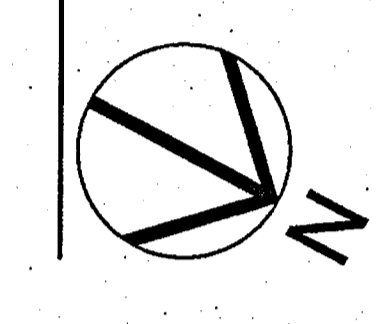
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Fred Walters



A SITE/DRAINAGE PLAN
SCALE 3/16" = 1'-0"



PILE DRIVING NOTES

1. NOTIFICATION IN WRITING OF ALL PROPERTY OWNERS WITHIN A 300 FOOT RADIUS OF THE DEVELOPMENT IS REQUIRED AT LEAST 30 DAYS PRIOR TO PILE DRIVING. THE DEVELOPER SHALL FURNISH A LIST OF ALL PROPERTY OWNERS WHO WILL BE NOTIFIED, AS WELL AS A SIGNED STATEMENT PERTAINING TO THE NOTIFICATION REQUIREMENTS.
2. DEVELOPER SHALL PROVIDE A PLAN FOR PRE-DRILLING OR OTHER METHODS TO REDUCE THE DRIVING DURATION AND FORCE SO AS TO MITIGATE THE VIBRATION IMPACTS ON THE SURROUNDING PROPERTIES.
3. THE DEVELOPER SHALL SUBMIT A PLAN TO MITIGATE NOISE IMPACTS ON THE SURROUNDING PROPERTIES, SUCH AS A PLAN SHALL BE BACKED UP BY AN ACOUSTICAL REPORT OR OTHER TECHNICAL REPORT AND DATA TO SUBSTANTIATE THE NOISE REDUCTIONS. THE PLAN SHOULD INCLUDE A DETAILED DESCRIPTION OF ANY NOISE REDUCTION EQUIPMENT OR TECHNIQUES PROPOSED.
4. DEVELOPER SHALL AGREE TO LIMIT PILE DRIVING ACTIVITIES TO THE HOURS OF 8:00 A.M. TO 4:30 P.M. MONDAY TO FRIDAY ONLY.
5. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD PRIOR TO THE START OF PILE DRIVING TO VERIFY AND REVIEW ALL PILE DRIVING REQUIREMENTS. THE ATTENDEES SHALL INCLUDE THE PILE DRIVING CONTRACTOR, THE CITY ENGINEER, THE DEVELOPER, AND DEVELOPMENT SERVICES STAFF. DEVELOPER SHALL COORDINATE THIS MEETING AND PROVIDE THIS DEPARTMENT AT LEAST 72 HOURS NOTICE. A NOTE SHALL BE ADDED TO THE FRONT SHEET OF THE PLANS CALLING FOR THIS PRE-CONSTRUCTION MEETING AND CLEARLY STATING THAT NO PILES CAN BE DRIVEN PRIOR TO THIS MEETING.
6. THE DEVELOPER SHALL ACKNOWLEDGE THAT THE BUILDING OFFICIAL'S APPROVAL IS CONDITIONAL, AND MAY BE REVOKED IMMEDIATELY IF THE AGREED UPON PILE DRIVING MITIGATING MEASURES ARE NOT STRICTLY ADHERED TO.
7. THE DEVELOPER SHALL FIELD VERIFY ALL PILE LOCATIONS AND FINAL HEIGHTS PRIOR TO PILE PLACEMENT.

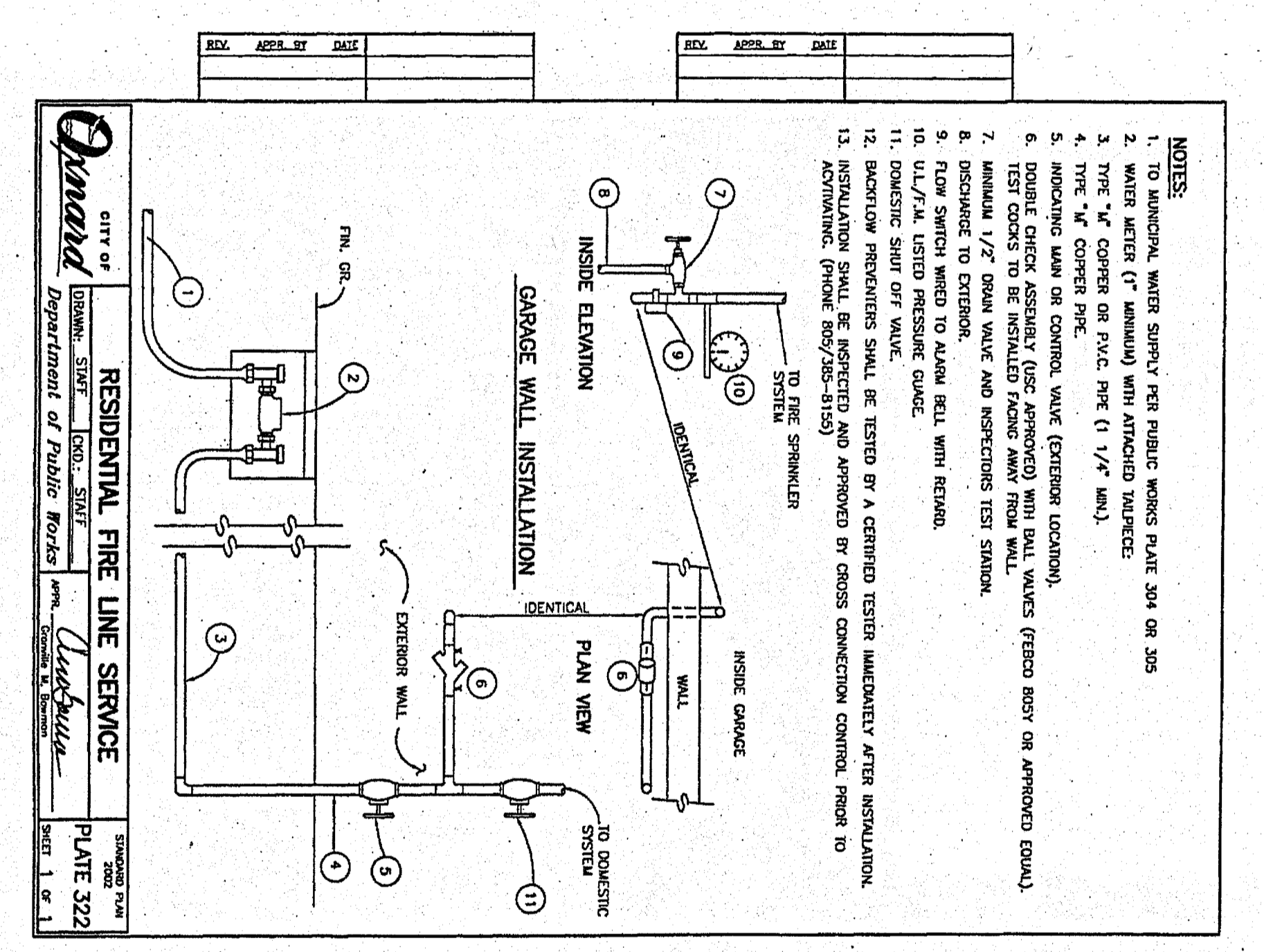
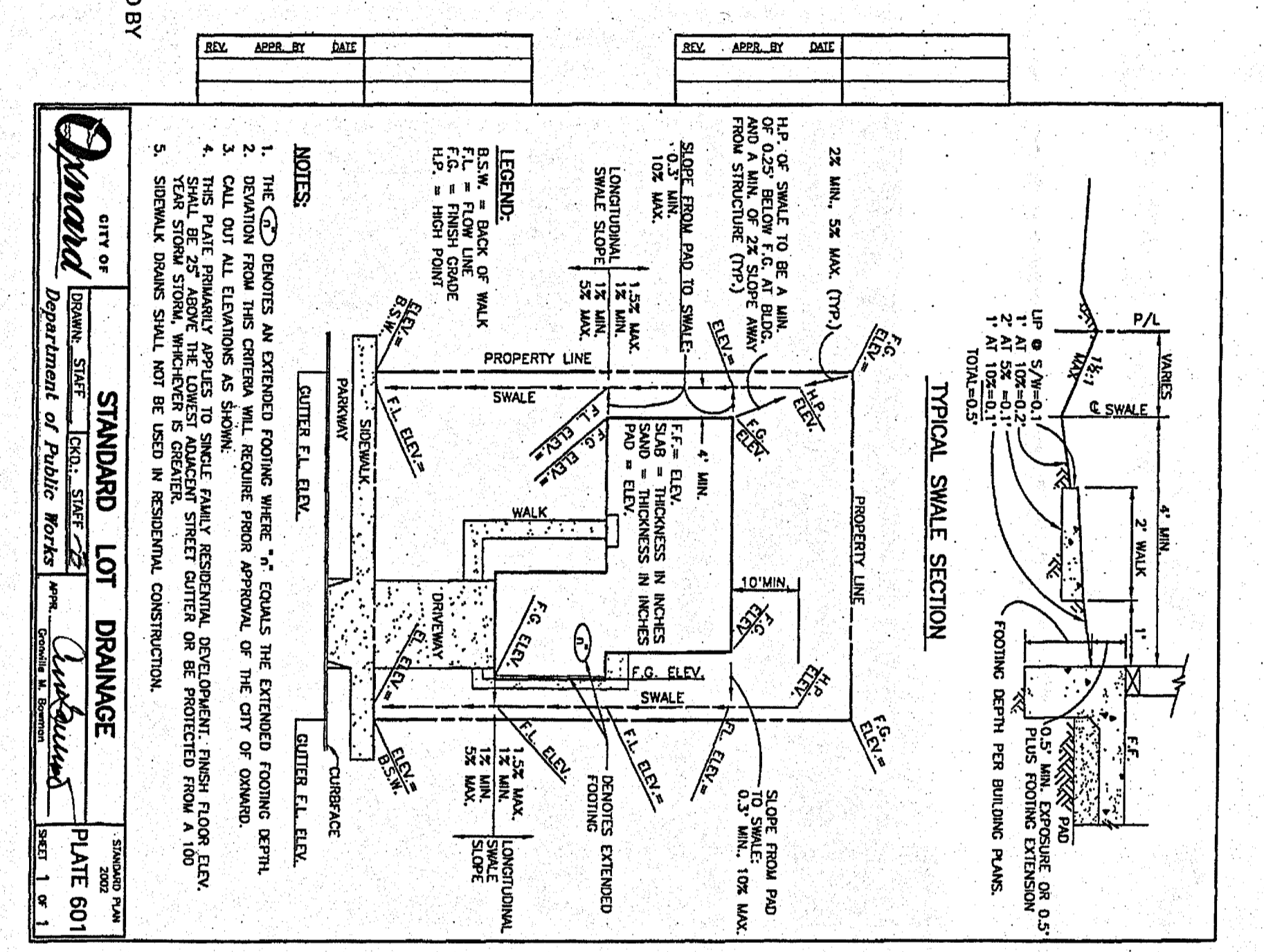
SITE PLAN NOTES

1. SOILS COMPACTON REPORT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT THE JOB SITE PRIOR TO PLACEMENT OF CONCRETE FOR THE FOUNDATION.
2. (E) LOT IS FLAT AND EXISTING SITE CONTOURS AND SLOPE TO REMAIN, AND GRADING PLAN REQUIRED.
3. ALL (E) SITE DRAINAGE TO REMAIN, ALL NEW SITE DRAINAGE SHALL DRAIN TO STREET.
4. FINISH GRADE SHALL DRAIN AWAY FROM HOUSE MIN 2% FOR 10' RADIUS.
5. ALL ROOF DRAINAGE SHALL BE COLLECTED VIA SCUPERS AND DOWNSPOUTS AND TERMINATE TO STREET OR TO CURB AND DRAINAGE DITCH TO STREET.
6. CONTRACTOR TO VERIFY ALL PILE HEIGHTS PRIOR TO ORDERING ALL PILES.
7. THE ELEVATION IN RELATION TO THE BOTTOM OF THE LOWEST STRUCTURAL MEMBER AT THE LOWEST FLOOR SHALL BE CERTIFIED BY A LICENSED SURVEYOR OR CIVIL ENGINEER PRIOR TO GROUND FLOOR FRAMING INSPECTION APPROVAL.
8. NO GRADING IS REQUIRED FOR THIS PROJECT.
9. ELECTRICAL, PHONE AND CABLE SERVICES ARE TO BE UNDERGROUND.
10. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR THE LANDSCAPED AREAS.
11. THE ELEVATION IN RELATION TO THE BOTTOM OF THE LOWEST STRUCTURAL MEMBER OF THE LOWEST FLOOR (EXCLUDING PILINGS OR COLUMNS) SHALL BE CERTIFIED BY A LICENSED SURVEYOR OR CIVIL ENGINEER PRIOR TO GROUND FLOOR FRAMING INSPECTION APPROVAL.
12. OBTAIN SOLUTION CALIFORNIA EMISSION APPROVAL FOR LOCATION AND SIZE OF ELECTRICAL METER PANEL.
13. LANDSCAPING TREES MUST BE WASHINGTONIAN ROBUSTUS (RT) AND ALL SHRUBS AND GROUND COVER MUST BE A MINIMUM OF 9 CALIFORN.
14. FINISHED FLOOR FOR THE BUILDINGS CAN NOT BE REQUIRED UNTIL THE PAD ELEVATION AS SHOWN ON THE APPROVED PLANS, IS CERTIFIED BY INSPECTION CERTIFICATE.

FEMA FLOOD ELEVATION CERTIFICATION INFO

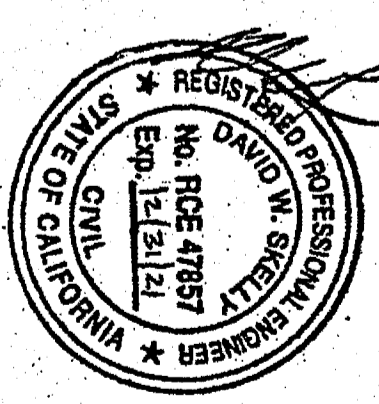
PRIOR TO FINAL INSPECTION A LICENSED SURVEYOR SHALL CERTIFY IN A FEMA FLOOD ELEVATION CERTIFICATION REPORT THAT:

- a. IN THE REPORT THE FOLLOWING SHALL BE NOTED:
 1. THE FLOOD BASE ELEVATION (FLOOD ELEVATION) OF THE BUILDING.
 2. THE AVERAGE HEIGHT OF THE ROOF OF THE BUILDING.
 3. THE HIGHEST AND LOWEST POINT OF THE BUILDING.
 4. THE HIGHEST AND LOWEST POINT OF THE BUILDING.
- b. A SECTION PLAN SHALL ACCOMPANY THE REPORT NOTING MAJOR ELEVATION POINTS ON THE DRAWINGS.



SITE PLAN KEYNOTES

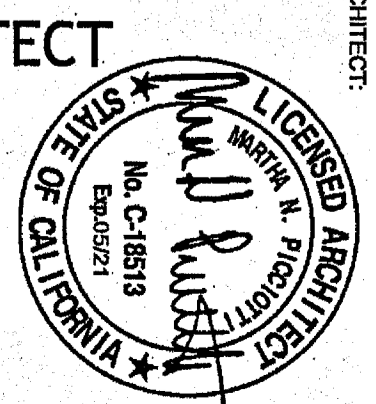
1. PROPERTY LINE
2. SIDE SETBACK LINE
3. REAR SETBACK LINE
4. 1st FLOOR FRONT SETBACK LINE
5. 2nd FLOOR FRONT SETBACK LINE
6. LINE OF FACADE ABOVE
7. LINE OF 2nd FLOOR ABOVE
8. WOOD FRAMED STAIRS. STAIRS TO BE BREAK-AWAY. SEE FLOOR PLAN FOR RISE & RUN
9. GAS METER
10. SURFACE MOUNT 400AMP ELECTRICAL METER PANEL W/ CONCRETE ENCASED ELECTRODE W/ ADJACENT PHONE & CABLE. FROM EXISTING UNDERGROUND PULL-BOXES
11. SCE PULL BOX UNDERGROUND CONDUIT FROM PULL BOX TO HOUSE AND TERMINATE ABOVE GROUND ADJACENT TO HOUSE PILE. FASTEN TO PILE PER DETAIL 1/A8.14
12. CABLE PULL BOX
13. PHONE PULL BOX
14. PHONE PULL BOX
15. NEW 1" WATER METER W/ 1/2" WATER LINE AND SHUT-OFF VALVE @ HOUSE
16. NEW 4" ABS SEWER LATERAL. CONTRACTOR TO VERIFY LOCATION
17. NEW SEWER CLEANOUT
18. MAILBOX. SEE DETAIL 3/A8.11. CONFIRM EXACT DESIGN W/ ARCHITECT
19. PILE PER PLAN. SEE A2.2 FOR PILE LAYOUT PLAN
20. 3" ABS PIPES FROM 1st FLOOR DECK DRAIN. TERMINATE @ SPLASH BLOCK @ GRADE
21. NEW CONCRETE DRIVEWAY
22. HARDCAPE/WALKS CONSISTING OF PERMEABLE DRY-LAID PAVERS OVER A BED OF SAND & GRAVEL. SLOPE TO STREET 1/8" PER FT. PAVEMENT DESIGN/STYLE PER OWNER
23. STUCCOED CMU PLANTER @ 18" MAX HEIGHT FROM GRADE
24. 3"x3"x9.36 STAINLESS ROOF OR DECK DOWNSPOUT TO TERMINATE @ HARDCAPE
25. 3" ABS PIPES FROM 2nd FLOOR DECK DRAIN. TERMINATE @ SPLASH BLOCK @ GRADE
26. NEW UNDERGROUND PE (POLYETHYLENE) GAS LINE W/ TRACER WIRE BURIED MIN 18" BELOW FINISH GRADE



DATE: 10/15/20
DRAWN BY: JM
SHEET: 1

SANDEFER RESIDENCE
FOR: JIM SANDEFER
1215 CAPRI WAY, LOT 57
OXNARD, CA 93035
PC#19-5271

MARTHA PICCIOTTI ARCHITECT
LICENSE # C18513
404 NORTH CATALINA STREET
VENTURA, CA. 93001
TEL (805) 641-3221
EMAIL mpdesign@charter.net

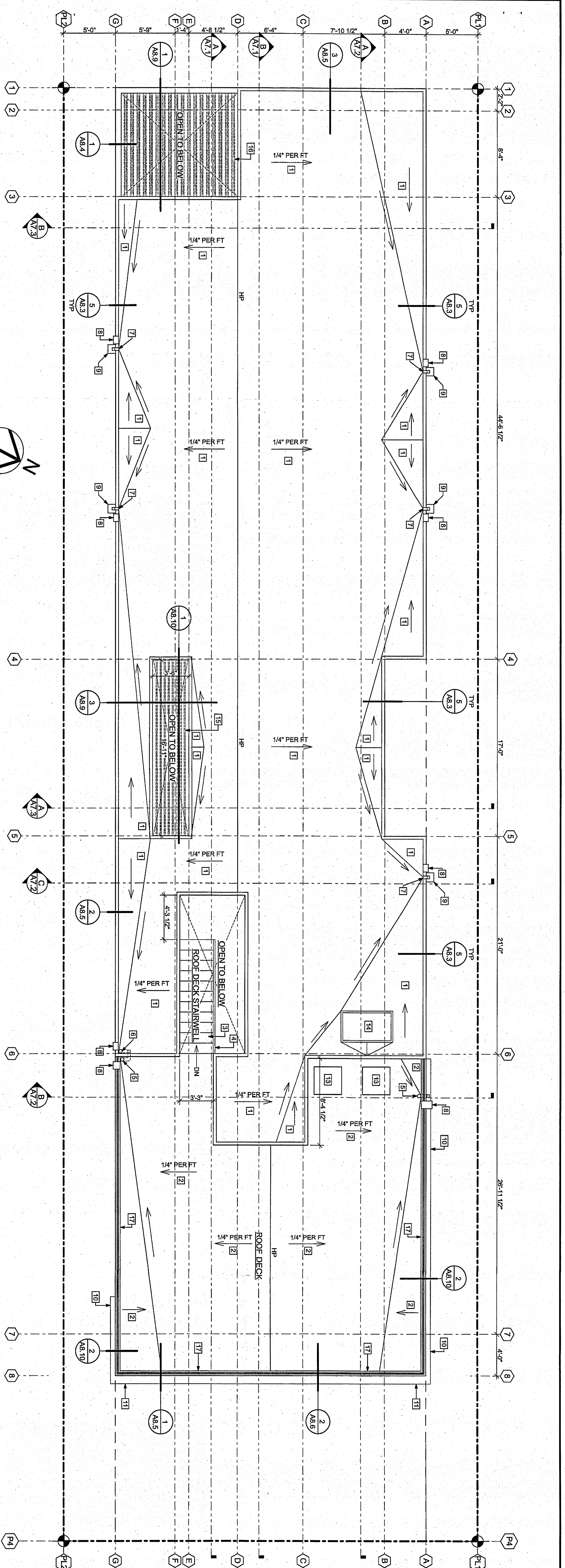


NO.	DATE	REVISIONS
1	06/20/20	
2	10/15/20	
3	10/15/20	
4	10/15/20	
5	10/15/20	

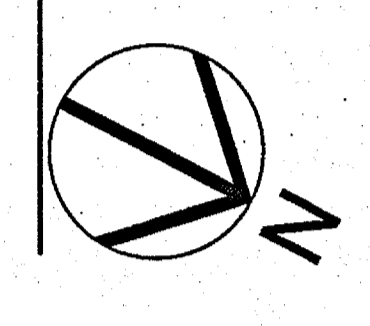
NOTE:
SEE ITEM # ON PAGE 5 OF THE CONDITIONS OF APPROVAL ON SHEET A1.6 FOR PLANS CONFIRMING TO GEOTECHNICAL AND COASTAL ENGINEER'S RECOMMENDATIONS REQUIREMENTS

NO GRADING REQUIRED FOR THIS PROJECT

NOTE:
ALL DIMENSIONS ARE TO FRAMING. UNO



A ROOF & ROOF DECK PLAN
SCALE: 1/8" = 1'-0"



FLAT ROOF DECK DRAINAGE & DRAIN SIZE DETERMINATION

FLAT ROOF DECK AREA=800sf.
ROOF SCUPPER & DOWNSPOUT SIZE OR EQUIVALENT=3" PIPE SIZE.
RAIN FALL RATE USED=4" PER HOUR.
CROSS REFERENCING WITH TABLE 1101.12 BELOW (SEE OUTLINED AREAS), USING 3" PIPE AND A 4" PER HOUR RAINFALL RATE.
A MINIMUM OF ONE 3" DRAINSCUPPER IS REQUIRED FOR THE DRAINAGE REQUIREMENTS WITH A ROOF AREA OF 200sf.
THE ACTUAL PROPOSED ROOF AREA IS 800sf WITH A PROPOSED 2 SEPARATE 3" ROOF DRAINSCUPPERS.

2016 CALIFORNIA PLUMBING CODE (COP) TABLE 1101.12
SIZING ROOF DRAINS, LEADERS, AND EXTERIOR DRAINAGE SYSTEMS*

SIZE OF DRAIN (INCHES)	1 (inch)	2 (inch)	3 (inch)	4 (inch)	5 (inch)	6 (inch)	7 (inch)	8 (inch)	9 (inch)	10 (inch)	11 (inch)	12 (inch)
Area (square feet)	30	2880	1440	960	720	576	480	410	360	320	290	260
Area (square feet)	92	8800	4400	2930	2200	1760	1470	1260	1100	980	880	790
Area (square feet)	192	18400	9200	6130	4600	3680	3070	2650	2300	2045	1840	1675
Area (square feet)	360	34600	17300	11530	8630	6920	5765	4945	4325	3845	3460	3145
Area (square feet)	563	54000	27000	17995	13500	10800	9000	7715	6750	6000	5400	4910
Area (square feet)	8126	116000	58000	38660	29000	23200	19315	16570	14500	12890	11600	10545

For 5 inches: 1 inch = 25 mm, 1 gallon per minute = 0.028 L/s, 1 inch per hour = 2.54 mm/h, 1 square foot = 0.0929 m²

Note:
1. Maximum discharge capacity given (L/s) with approximately 1/2 inch (12.7 mm) head of water at the drain.
2. For rainfall rates other than those listed, determine the allowable roof area by dividing the area given in the table by the ratio of the actual rainfall rate to the listed rainfall rate.
3. Vertical pipe shall be smooth, unobstructed, and shall be sized to the equivalent pipe size. Horizontal pipe shall have not less than the same cross-sectional area as the equivalent vertical pipe, except that the ratio of its inside dimensions shall not exceed 3 to 1.

FLAT ROOF DRAINAGE & DRAIN SIZE DETERMINATION

ROOF SCUPPER & DOWNSPOUT SIZE OR EQUIVALENT=3" PIPE SIZE.
RAIN FALL RATE USED=4" PER HOUR.
CROSS REFERENCING WITH TABLE 1101.12 BELOW (SEE OUTLINED AREAS), USING 3" PIPE AND A 4" PER HOUR RAINFALL RATE.
A MINIMUM OF TWO 3" DRAINSCUPPERS IS REQUIRED FOR THE DRAINAGE REQUIREMENTS WITH A ROOF AREA OF 2200sf.
THE ACTUAL PROPOSED ROOF AREA IS 2430sf WITH A PROPOSED 1 SEPARATE 3" ROOF DRAINSCUPPERS.

2016 CALIFORNIA PLUMBING CODE (COP) TABLE 1101.12
SIZING ROOF DRAINS, LEADERS, AND EXTERIOR DRAINAGE SYSTEMS*

SIZE OF DRAIN (INCHES)	1 (inch)	2 (inch)	3 (inch)	4 (inch)	5 (inch)	6 (inch)	7 (inch)	8 (inch)	9 (inch)	10 (inch)	11 (inch)	12 (inch)
Area (square feet)	30	2880	1440	960	720	576	480	410	360	320	290	260
Area (square feet)	92	8800	4400	2930	2200	1760	1470	1260	1100	980	880	790
Area (square feet)	192	18400	9200	6130	4600	3680	3070	2650	2300	2045	1840	1675
Area (square feet)	360	34600	17300	11530	8630	6920	5765	4945	4325	3845	3460	3145
Area (square feet)	563	54000	27000	17995	13500	10800	9000	7715	6750	6000	5400	4910
Area (square feet)	8126	116000	58000	38660	29000	23200	19315	16570	14500	12890	11600	10545

For 5 inches: 1 inch = 25 mm, 1 gallon per minute = 0.028 L/s, 1 inch per hour = 2.54 mm/h, 1 square foot = 0.0929 m²

Note:
1. Maximum discharge capacity given (L/s) with approximately 1/2 inch (12.7 mm) head of water at the drain.
2. For rainfall rates other than those listed, determine the allowable roof area by dividing the area given in the table by the ratio of the actual rainfall rate to the listed rainfall rate.
3. Vertical pipe shall be smooth, unobstructed, and shall be sized to the equivalent pipe size. Horizontal pipe shall have not less than the same cross-sectional area as the equivalent vertical pipe, except that the ratio of its inside dimensions shall not exceed 3 to 1.

TYP ROOF PLAN NOTES

- 1 CLASS 'X' SARNAPIL G410 ROOFING MEMBRANE (ICC# ESR-1157) OVER 1/4" DENSDECK BOARD. SLOPE ROOF 1/4" PER FT. MIN TO ROOF DRAINSCUPPERS. SEE TYP MFG DETAIL 30A8.14
- 2 TILED DECK OVER WATERPROOFED DEX-O-TEX WATER PROOFING. ICC# ERS-1757 (OR EQUAL), SLOPE MIN 1/4" PER FT TO DECK DRAIN
- 3 TILE STAIRS OVER WATERPROOFED DEX-O-TEX WATER PROOFING. ICC# ERS-1757 (OR EQUAL), SLOPE TREAD MIN 1/4" PER FT. 12-R @ 7 5/8" 11-T @ 12" FIELD VERIFY
- 4 GLASS STAIR RAILING. TOP OF HAND RAIL @ 36" ABOVE STAIR TREAD NOSING. SEE DETAIL
- 5 4" DECK DRAIN. DIRECT FLOW TO DOWNSPOUT & TERMINATE @ HARDSCAPE
- 6 4" ROOF DRAIN. DIRECT FLOW TO DOWNSPOUT & TERMINATE @ HARDSCAPE
- 7 4"x4" 316 STAINLESS STEEL SHEET METAL ROOF DRAIN SCUPPER. DIRECT FLOW TO LEADER HEAD & DOWNSPOUT AND TERMINATE @ HARDSCAPE
- 8 4"x6" 316 STAINLESS STEEL SHEET METAL OVERFLOW SCUPPER. SEE DETAIL 20A8.11
- 9 316 STAINLESS STEEL SHEET METAL LEADER HEAD. SEE DETAIL 10A8.11
- 10 2x6 FRAMED FACADE. SEE FRONT EXTERIOR ELEVATION FOR HEIGHT
- 11 2x10 FRAMED FACADE. SEE FRONT EXTERIOR ELEVATION FOR HEIGHT
- 11 4"x6" COPPER OVERFLOW SCUPPER. SEE DETAIL 10A8.3
- 13 AC CONDENSERS. SEE ELECTRICAL UTILITY PLAN. SEE ANCHORING DETAIL 15S19D6
- 14 3'-0"x5'-0" FIXED SKYLIGHT ABOVE, BY VELUX. ICC ESR-4108
- 15 2x6 MANGUERAS SHADE BARS @ 5' OC (EQUALLY SPACED). SEE APPLICABLE DETAILS
- 16 4x6 MANGUERAS SHADE BARS @ 7' OC (EQUALLY SPACED). SEE APPLICABLE DETAILS
- 17 2x6 FRAMED DECK RAIL WALL W/ 1/2" TEMP GLASS RAILING ABOVE. TOP OF RAIL TO BE 42" ABOVE FIN DECK SURFACE. SEE FRONT ELEVATION FOR RAIL WALL HEIGHT
- 18 AC CONDENSERS. SEE ELECTRICAL UTILITY PLAN

Existing

NOTE: ALL DIMENSIONS ARE TO FRAMING. UNO.

NO.	DATE	REVISIONS:
1	02/20/20	
2	10/15/20	
3	N/A	
4	N/A	

DESIGNED BY: JM
DATE: 10/15/20

A4.1

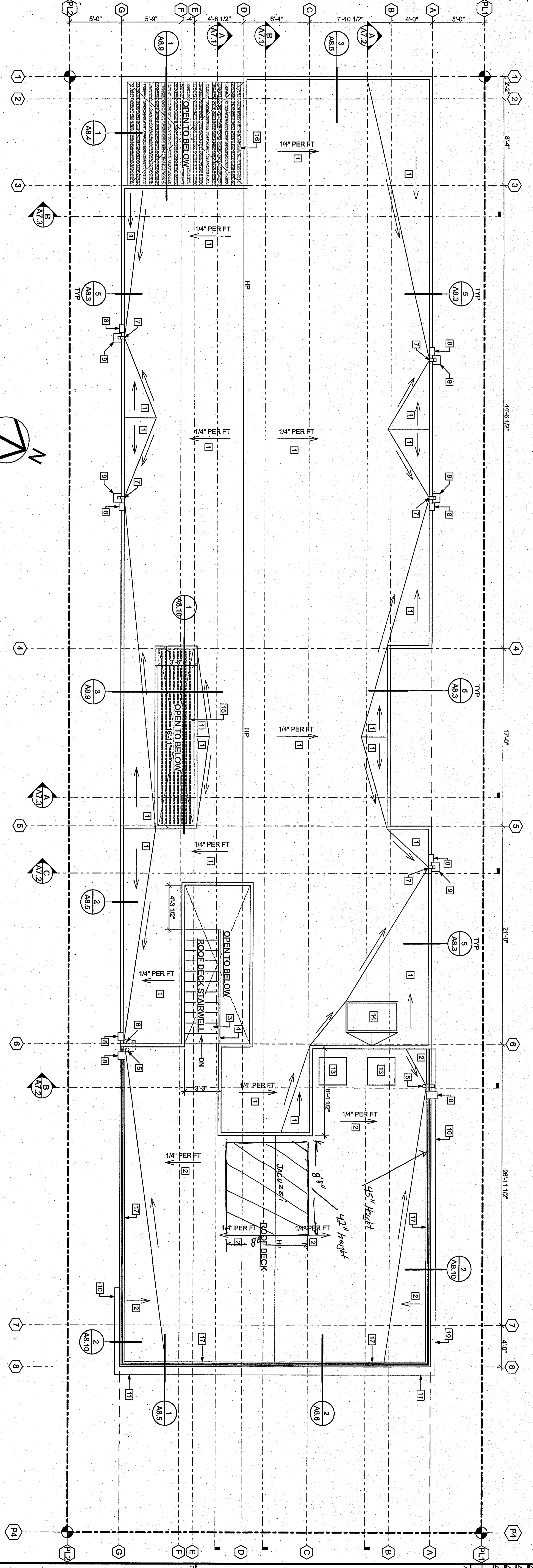
ROOF & ROOF DECK PLAN

SANDEFER RESIDENCE
FOR: JIM SANDEFER
1215 CAPRI WAY, LOT 57
OXNARD, CA 93035
PC#19-5271

MARTHA PICCIOTTI ARCHITECT
LICENSE # C18513
404 NORTH CATALINA STREET
VENTURA, CA. 93001
TEL (805) 641-3221
EMAIL mpdesign@charter.net

REGISTERED ARCHITECT
MARTHA PICCIOTTI
No. C-18513
State of California

ROOF & ROOF DECK PLAN
SCALE: 1/4" = 1'-0"



FLAT ROOF DECK DRAINAGE & DRAIN SIZE DETERMINATION

FLAT ROOF DECK DRAINAGE & DRAIN SIZE DETERMINATION
ROOF SCUPPER & DOWNSPOUT SIZE OR EQUIVALENT 3\"/>

SIZE OF LEADER ON PIPE	1 (0 in)	2 (0 in)	3 (0 in)	4 (0 in)	5 (0 in)	6 (0 in)	7 (0 in)	8 (0 in)	9 (0 in)	10 (0 in)	11 (0 in)	12 (0 in)
1/2 in	30	2880	1440	960	720	575	480	410	360	320	290	260
3/4 in	92	8800	4400	2930	2200	1760	1470	1260	1100	980	880	800
1 in	192	18400	9200	6130	4600	3680	3070	2630	2300	2045	1840	1675
1 1/4 in	340	34000	17000	11300	8500	6700	5765	4945	4325	3845	3460	3145
1 3/4 in	563	54000	27000	17950	13500	10800	9000	7715	6750	6000	5400	4910
2 in	1208	116000	58000	38600	29000	23200	19315	16570	14500	12890	11600	10545

Notes:
1. Maximum discharge capacity, gpm (l/m) with approximately 1% (1/8 inch) head of water at the drain.
2. For rainfall rates other than those listed, determine the allowable roof area by dividing the area given in the 1 inch per hour (2.54 mm/h) column by the desired rainfall rate.
3. Vertical piping shall be round, square, or rectangular. Square pipe shall be sized to provide an equivalent roughness. Rectangular pipe shall have not less than the same cross-sectional area as the equivalent round pipe - except that the ratio of the side dimensions shall not exceed 1.5:1.
4. For 3/4 inch, 1 inch, 1 1/4 inch per minute - 0.08 I.U.A., 1 inch per hour - 0.25 I.U.A., 1 square foot - 0.0293 m².

FLAT ROOF DRAINAGE & DRAIN SIZE DETERMINATION

FLAT ROOF DRAINAGE & DRAIN SIZE DETERMINATION
ROOF SCUPPER & DOWNSPOUT SIZE OR EQUIVALENT 3\"/>

SIZE OF LEADER ON PIPE	1 (0 in)	2 (0 in)	3 (0 in)	4 (0 in)	5 (0 in)	6 (0 in)	7 (0 in)	8 (0 in)	9 (0 in)	10 (0 in)	11 (0 in)	12 (0 in)
1/2 in	30	2880	1440	960	720	575	480	410	360	320	290	260
3/4 in	92	8800	4400	2930	2200	1760	1470	1260	1100	980	880	800
1 in	192	18400	9200	6130	4600	3680	3070	2630	2300	2045	1840	1675
1 1/4 in	340	34000	17000	11300	8500	6700	5765	4945	4325	3845	3460	3145
1 3/4 in	563	54000	27000	17950	13500	10800	9000	7715	6750	6000	5400	4910
2 in	1208	116000	58000	38600	29000	23200	19315	16570	14500	12890	11600	10545

Notes:
1. Maximum discharge capacity, gpm (l/m) with approximately 1% (1/8 inch) head of water at the drain.
2. For rainfall rates other than those listed, determine the allowable roof area by dividing the area given in the 1 inch per hour (2.54 mm/h) column by the desired rainfall rate.
3. Vertical piping shall be round, square, or rectangular. Square pipe shall be sized to provide an equivalent roughness. Rectangular pipe shall have not less than the same cross-sectional area as the equivalent round pipe - except that the ratio of the side dimensions shall not exceed 1.5:1.
4. For 3/4 inch, 1 inch, 1 1/4 inch per minute - 0.08 I.U.A., 1 inch per hour - 0.25 I.U.A., 1 square foot - 0.0293 m².

ROOF PLAN KEYNOTES

- CLASS 'W' SARNIAFL G410 ROOFING MEMBRANE (ICC# ESR-1157) OVER 1/4" DENSDECK BOARD. SLOPE ROOF 1/4" PER FT. MIN TO ROOF DRAINSCUPPERS. SEE TYP. MFG DETAIL 3/A8.14
- TILED DECK OVER WATERPROOFED DECK-OTEX WATER PROOFING, ICC# ESR-1757 (OR EQUAL), SLOPE MIN 1/4" PER FT TO DECK DRAIN
- TILE STAIRS OVER WATERPROOFED DECK-OTEX WATER PROOFING, ICC# ESR-1757 (OR EQUAL), SLOPE TREAD MIN 1/4" PER FT, 12-R @ 7 5/8" / 11-T @ 12" FIELD VERIFY
- GLASS STAIR RAILING, TOP OF HAND RAIL @ 36" ABOVE STAIR TREAD NOSING. SEE DETAIL
- 4" DECK DRAIN, DIRECT FLOW TO DOWNSPOUT & TERMINATE @ HARDSCAPE
- 4" ROOF DRAIN, DIRECT FLOW TO DOWNSPOUT & TERMINATE @ HARDSCAPE
- 4"x4" 316 STAINLESS STEEL, SHEET METAL ROOF DRAIN SCUPPER, DIRECT FLOW TO LEADER HEAD & DOWNSPOUT AND TERMINATE @ HARDSCAPE
- 4"x6" 316 STAINLESS STEEL, SHEET METAL OVERFLOW SCUPPER. SEE DETAIL 2/A8.11
- 316 STAINLESS STEEL SHEET METAL LEADER HEAD. SEE DETAIL 1/A8.11
- 2x6 FRAMED FACADE. SEE FRONT EXTERIOR ELEVATION FOR HEIGHT
- 2x10 FRAMED FACADE. SEE FRONT EXTERIOR ELEVATION FOR HEIGHT
- 4"x6" COPPER OVERFLOW SCUPPER. SEE DETAIL 1/A8.3
- AC CONDENSERS. SEE ELECTRICAL UTILITY PLAN. SEE ANCHORING DETAIL 153/SD8
- 3-0"x5-0" FIXED SKYLIGHT ABOVE, BY VELUX, ICC ESR-4108
- 2x6 MANGUERAS SHADE BARS @ 5' OC (EQUALLY SPACED). SEE APPLICABLE DETAILS
- 4x6 MANGUERAS SHADE BARS @ 7' OC (EQUALLY SPACED). SEE APPLICABLE DETAILS
- 2x6 FRAMED DECK RAIL WALL W/ 1/2" TEMP GLASS RAILING ABOVE, TOP OF RAIL TO BE 42" ABOVE FIN DECK SURFACE. SEE FRONT ELEVATION FOR RAIL WALL HEIGHT
- AC CONDENSERS. SEE ELECTRICAL UTILITY PLAN

TYP ROOF PLAN NOTES

- ALL FLAT ROOF DECKS SHALL HAVE GLASS 'W' SARNIAFL ROOFING MEMBRANE (ICC# ESR-1157) OVER 1/4" DENSDECK BOARD, SLOPE ROOF 1/4" PER FT. MIN TO ROOF DRAINSCUPPERS. SEE TYP. MFG DETAIL 3/A8.14
- ALL ROOF DECKS SHALL HAVE TILE OVER WATERPROOFED DECK-OTEX WATER PROOFING, ICC# ESR-1757 (OR EQUAL), SLOPE MIN 1/4" PER FT TO DECK DRAIN. ALL VAULTED CEILING SHALL BE AN UNVENTED ASSEMBLY & INSULATED W/ R50 INSULATION. SEE DETAIL 2/A8.8
- ALL FLAT ROOF CEILING SHALL BE AN UNVENTED ASSEMBLY & INSULATED W/ R50 INSULATION. SEE DETAIL 2/A8.8. THE UNVENTED ENCLOSURE RAFTER ASSEMBLY MEETS THE CRITERIA SET FORTH IN CRC, 808.6.5.
- ALL STUCCO PARAPET WALLS SHALL HAVE TYP. SMOOTH COAT STUCCO OVER 2 LAYERS GRADE 'P' PAPER, USE STAINLESS STEEL LATH AND CORNER METAL. SEE EXTERIOR ELEVATIONS FOR STUCCO LOCATIONS.
- ALL FASCOA, TRIMS AND BELLY-BRANDS SHALL BE PAINTED TRIM, USE 'BORAL' (TRU) EXTERIOR TRIM, (SOLO OR BUILT-UP TO OBTAIN CALL-OUT DETAIL DIMENSIONS)
- ALL ROOF DRAINAGE SHALL BE COLLECTED VIA ROOF DRAIN OR 316 STAINLESS STEEL SHEET METAL SCUPPERS AND LEADER HEADS. DOWNSPOUT TO DISCHARGE @ LANDSCAPE, DIRECT FLOW TO LANDSCAPING AND PUBLIC RIGHT-OF-WAY.

NOTE:
ALL DIMENSIONS ARE TO FRAMING, U.N.O.

Proposed

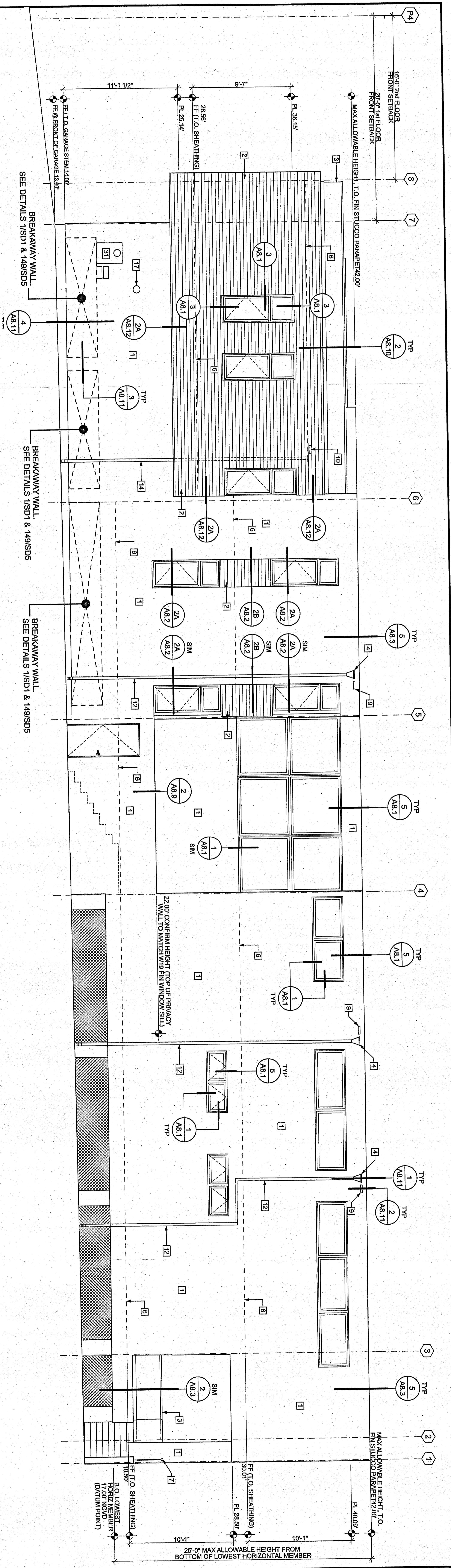
SANDEFER RESIDENCE FOR: JIM SANDEFER
1215 CAPRI WAY, LOT 57
OXNARD, CA 93035
PC#19-5271

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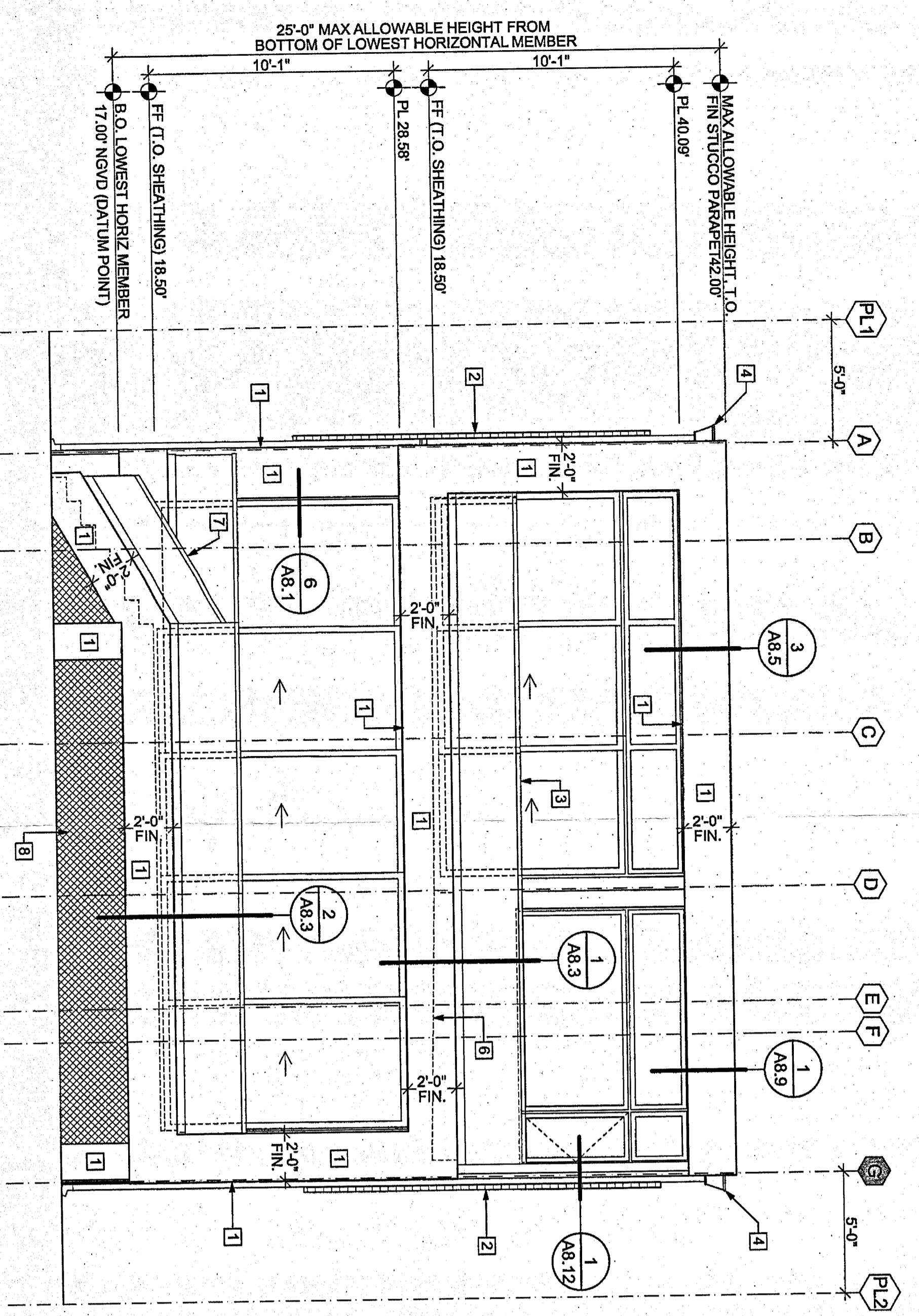
REVISIONS:
NO. DATE
1 02/20/20
2 10/15/20
3 N/A

DRAWN BY: JM
DATE: 10/15/20
SHEET: A4.1

ROOF & ROOF DECK PLAN



A RIGHT (NORTH) ELEVATION
SCALE: 1/8" = 1'-0"



B REAR (WEST) ELEVATION
SCALE: 1/8" = 1'-0"

- EXTERIOR ELEVATION KEYNOTES [#]**
- 7/8" SMOOTH STUCCO OVER SS LATH OVER (2) LAYERS GRADE "D" PAPER
 - HORIZ 1x4 MANGUERAS T&G SIDING OVER TYVEK BUILDING WRAP
 - 1/2" TEMP GLASS GAURD RAIL SYSTEM, TOP OF RAIL CAP @ 42" ABOVE FIN DECK SURFACE
 - 3/16 STAINLESS STEEL LEADER HEAD. SEE TYP DETAIL 1/AB.11
 - MANGUERAS SHADE SCREEN WALL. SEE APPLICABLE DETAILS
 - LINE OF FF (TOP OF SHEATHING)
 - 1/2" TEMP GLASS GAURD RAIL SYSTEM, TOP OF RAIL CAP @ 36" ABOVE FIN STAIR TREAD NOSING
 - 3/16 STAINLESS STEEL DECORATIVE WIRE SCREENMESH, STYLE CHOSEN BY ARCHITECT
 - 3/16 STAINLESS OVERFLOW SCUPPER. SEE TYP DETAIL 2/AB.11
 - 3/16 STAINLESS OVERFLOW SCUPPER. SEE TYP DETAIL 2/AB.11, SIM
 - STONE VENEER. SEE TYP DETAIL 4/AB.12 FOR ATTACHMENT
 - 3"x3" SQ 3/16 STAINLESS DOWNSPOUT FROM ROOF DRAIN ABOVE TO TERMINATE @ HARDSCAPE
 - 3"x3" SQ 3/16 STAINLESS DOWNSPOUT FROM DECK DRAIN ABOVE TO TERMINATE @ HARDSCAPE
 - 3"x3" SQ 3/16 STAINLESS DOWNSPOUT FROM ROOF & ROOF DECK DRAIN ABOVE TO TERMINATE @ HARDSCAPE
 - 3" ABS DRAIN PIPE, FROM ROOF ENTRY LANDING DECK DRAIN, TO TERMINATE @ HARDSCAPE
 - 3" ABS DRAIN PIPE, FROM ROOF ENTRY LANDING DECK DRAIN & PLANTER DRAINS, TO TERMINATE @ HARDSCAPE
 - EXTERIOR MOUNTED FIRE SPRINKLER BELL

TYP CONSTRUCTION NOTES

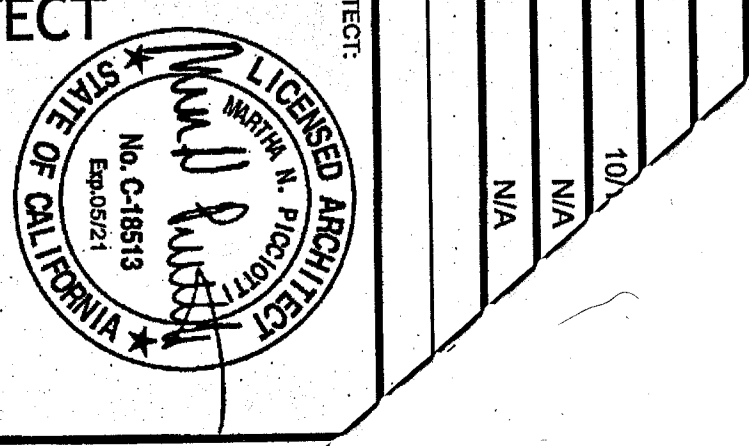
- ALL FLAT ROOF CEILING SHALL BE AN "UNVENTED ASSEMBLY" & INSULATED W/ R30 INSULATION. SEE DETAIL 2/AB.8.
- ALL CEILING SHALL BE INSULATED W/ R19 BATT INSULATION, TYP UNO.
- ALL EXTERIOR WALLS SHALL BE INSULATED W/ R30 BATT INSULATION, TYP UNO.
- ALL INTERIOR FLOORS SHALL BE INSULATED W/ R30 BATT INSULATION, TYP UNO.
- ALL FLOORS EXPOSED TO THE EXTERIOR SHALL BE INSULATED W/ R30 BATT INSULATION, TYP UNO.
- ALL EXTERIOR STUCCO WALLS SHALL HAVE THE SMOOTH COAT STUCCO OVER 2 LAYERS OF STUCCO OVER 1/2" LATH AND CORNER METAL. SEE EXTERIOR ELEVATIONS FOR STUCCO LOCATIONS.
- ALL EXTERIOR WALLS W/ SIDING SHALL HAVE 1x4 MANGUERAS HORIZONTAL SIDING OVER TYVEK BUILDING WRAP. ALL FASTENERS SHALL BE STAINLESS STEEL.
- ALL INTERIOR WALLS AND CEILING SHALL HAVE 5/8" GYP, TYP UNO.
- ALL INTERIOR WALLS @ GARAGE SHALL HAVE 5/8" TYPE "X" GYP. CEILING SHALL HAVE (2) LAYERS 5/8" TYPE "X".
- ALL CEILING HEIGHTS ARE MEASURED FROM TOP OF SLAB OR TOP OF SUB-FLOOR SHEATHING TO ROUGH FRAME CEILING AND/OR PLATE LINE.
- A MINIMUM VERTICAL CLEARANCE OF 2 FEET SHALL BE MAINTAINED UNDER THE FIRST FLOOR STRUCTURAL MEMBERS TO ASSURE THE FREE PASSAGE OF SHEET PILES.
- SUPPORT EQUIPMENT FOR THE RESIDENCE, SUCH AS WATER HEATERS, RANGES AND ANY OTHER EQUIPMENT SHALL BE LOCATED ABOVE SO AS NOT TO IMPED E SHEET WATER.
- SEE ATTACHED FORM G-FR, SHEET EN.1, SPECIFYING THE REQUIRED ENERGY FEATURES FOR WALL CEILING INSULATION AND WINDOW ENERGY EFFICIENCY. SEE ATTACHED FORM G-FR, SHEET EN.1, SPECIFYING THE REQUIRED ENERGY EFFICIENCY FEATURES FOR WALL CEILING INSULATION AND WINDOW ENERGY EFFICIENCY. SEE ATTACHED FORM G-FR, SHEET EN.1, SPECIFYING THE REQUIRED ENERGY EFFICIENCY FEATURES FOR WALL CEILING INSULATION AND WINDOW ENERGY EFFICIENCY.

APPROVED
REAR ELEVATION
THIS SET OF DRAWINGS IS THE PROPERTY OF MARTHA PICCIOTTI ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF MARTHA PICCIOTTI ARCHITECT IS STRICTLY PROHIBITED.

NOTE:
ALL DIMENSIONS ARE TO FRAMING, UNO

SANDEFER RESIDENCE
FOR: JIM SANDEFER
1215 CAPRI WAY, LOT 57
OXNARD, CA 93035
PC#19-5271

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EXTERIOR ELEVATIONS

A6.2

DRAWN BY: JM
DATE: 10/15/20

NOTICE OF CEQA EXEMPTION

Project Name: Mandelbaum Residence

Project Description: PZ No. 23-400-01 (Coastal Development Permit) - A request to allow for amendments to a previously approved single-family residence. The previously approved residence consisted of a 5,284 square-foot, two story, single-family beachfront residence with an attached 797 square-foot three-car garage, 1,095 square feet of deck space. The request would allow for a rooftop spa (“Project”). The Project site is a single-family home located at 1215 Capri Way within the Oxnard Shores Neighborhood in the Beachfront Residential (R-BF) zoning district. Filed by property owner Ben Mandelbaum.

Finding: The Planning Division of the Community Development Department of the City of Oxnard has reviewed the above proposed project and found it to be exempt from the provisions of the California Environmental Quality Act (CEQA).

- Ministerial Project
- Categorical Exemption
- Statutory Exemption
- Emergency Project
- Quick Disapproval [CEQA Guidelines, 14 Cal. Code of Regs. 15270]
- No Possibility of Significant Effect [CEQA Guidelines, 14 Cal. Code of Regs. 15061(b)(3)]

Supporting Reasons: In accordance with Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA) Guidelines, projects involving “negligible or no expansion of use beyond that existing at the time of the lead agency’s determination” may be found to be exempt from the requirements of CEQA. The project consists of minor alteration modifications to an existing building, the addition of a rooftop spa. There are no exceptions found within Section 15300.2 that defeat the Exemption. The Community Development Director has determined that there is no substantial evidence that the project may have a significant effect on the environment, the project is categorically exempt from the provisions of CEQA, and there is no requirement to prepare an environmental document.

(Date)

Joe Pearson II
Planning & Environmental Services Manager

RESOLUTION NO. PZ 20-400-01

A RESOLUTION OF THE COMMUNITY DEVELOPMENT DIRECTOR OF THE CITY OF OXNARD APPROVING PLANNING AND ZONING PERMIT NO. 20-400-01 (COASTAL DEVELOPMENT PERMIT), TO AUTHORIZE THE CONSTRUCTION OF A TWO-STORY 5,284 SQUARE-FOOT SINGLE-FAMILY RESIDENCE WITH AN ATTACHED 797 SQUARE-FOOT THREE-CAR GARAGE AND 1,095 SQUARE FEET OF DECK SPACE AND A ROOFTOP SPA ON A VACANT 5,600 SQUARE-FOOT LOT LOCATED AT LOCATED AT 1215 CAPRI WAY (APN: 191-0-091-285) WITHIN THE OXNARD SHORES NEIGHBORHOOD IN THE BEACHFRONT RESIDENTIAL (R-BF) ZONING DISTRICT AND WITHIN THE COASTAL ZONE, SUBJECT TO CERTAIN FINDINGS AND CONDITIONS. FILED BY PROPERTY OWNERS JAMES AND DORI SANDEFER.

WHEREAS, on December 18, 2019, James and Dori Sandefer (the “**Applicant**” and/or “**Developer**”) submitted a request for a Coastal Development Permit, pursuant to Oxnard City Code Section 17-57 through 17-58, to construct a 5,284 square foot two-story, single-family house with an attached 797 square-foot three-car garage, 1,095 square feet of deck space, and associated amenities and infrastructure on a vacant 5,600 square foot ubeachfront lot, located at 1215 Capri Way; and

WHEREAS, the Planning and Environmental Services Division has completed a preliminary environmental assessment of the Project in accordance with the California Environmental Quality Act (CEQA) and determined that the Project is subject to a Class 3 Categorical Exemption (Section 15303(a)). Further, the project does not trigger any of the Exceptions to the Exemptions (Section 15300.2) to defeat the Exemption:

- (a) Location. Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located. A project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant. Therefore, these classes are considered to apply to all instances, except where the project may impact on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.

The project site is located within the 2030 General Plan/Local Coastal Plan land use designation of Residential Existing (REX) within the Residential Beachfront (R-BF) zone. The Project is surrounded by residential development to the north, south and east. The project site and adjacent sites do not contain any known environmental resource of hazardous or critical concern. Therefore, the project will have no impact on an environmental resource of hazardous or critical concern.

- (b) **Cumulative Impact.** All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.

The proposed Coastal Development Permit request for construction of a 5,284 square foot, two-story, single-family house with associated amenities and infrastructure on a vacant 5,600 square foot beachfront lot is consistent with the 2030 General Plan, Local Coastal Plan and the Oxnard City Code and is compatible with the physical scale and character of other residential development in the project area. Any projects requiring discretionary approval would be analyzed with the 2030 General, Local Coastal Plan and the Oxnard City Code for consistency and CEQA for any potential impacts. Therefore, the project will have no significant cumulative impact.

- (c) **Significant Effect.** A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.

The proposed Coastal Development Permit request for construction of a 5,284 square foot, two-story, single-family house with associated amenities and infrastructure on a vacant 5,600 square foot beachfront lot will not result in an unusual circumstance that would cause the project to have a significant effect on the environment. The project will not alter the residential character of the surrounding development and the property does not contain any unusual environmental characteristics as the property is surrounded on all sides by residential development. Therefore, the project will not have a significant effect on the environment due to unusual circumstances.

- (d) **Scenic Highways.** A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway. This does not apply to improvements, which are required as mitigation by an adopted negative declaration or certified EIR.

The project is not located in or adjacent to a state designated scenic highway.

- (e) **Hazardous Waste Sites.** A categorical exemption shall not be used for a project located on a site, which is included on any list compiled pursuant to Section 65962.5 of the Government Code.

The proposed project site is not included on any list compiled pursuant to Section 65962.5 of the Government Code.

- (f) **Historical Resources.** A categorical exemption shall not be used for a project, which may cause a substantial adverse change in the significance of a historical resource.

The project site is undeveloped and does not contain an existing or potential landmark, point of interest, or historic resource, and it is not located within an existing, proposed, or potential Historic District. Therefore, the proposed project will not cause a substantial adverse change in the significance of a historical resource.

WHEREAS, on May 14, 2020, the Community Development Director of the City of Oxnard ("**Director**") conducted a duly noticed public hearing to consider an application for Planning and Zoning Permit No. 20-400-01 (Coastal Development Permit), filed by James Sandefer in accordance with 17-57(B)(5) of the Oxnard City Code; and

WHEREAS, the Community Development Director finds that the applicant agrees with the necessity of and accepts all elements, requirements, and conditions of this Resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this development in particular.

NOW, THEREFORE, BE IT RESOLVED that the Community Development Director of the City of Oxnard:

SECTION 1. Based on the entire record before the Community Development Director and all written and oral evidence presented, the Community Development Director finds, after due study, deliberation and public hearing that the following circumstances exist:

- 1. The proposed use is conditionally permitted within the subject sub-zone and complies with all of the applicable provisions of Chapter 17 of the Oxnard City Code.**

The proposed modification to the approved single-family beachfront residence is permitted in the R-BF sub-zone with a Coastal Development Permit, per Sections 17-57(I) and 17-25(C)(1). As discussed in the Staff Report, the project complies with all applicable provisions of Chapter 17 of the Oxnard City Code.

- 2. The proposed use would not impair the integrity and character of the sub-zone in which it would be located.**

The subject sub-zone is specifically designed for the development of single-family beachfront residences. The project site is a vacant lot that is generally surrounded by single-family residences. The development will be compatible with existing single-family beachfront residences in the surrounding area, in regard to its size, bulk, scale, and use. Therefore, the project will not

impair the integrity and character of the R-BF sub-zone.

3. **The subject site in terms of location and intensity of use would be physically suitable and would protect and maintain adjacent coastal resources for the land use being proposed.**

The project site is comprised of an infill lot specifically intended for single-family beachfront development. As discussed in the Staff Report, the project meets all pertinent development standards, such as building height and protection of public beach access, and the project has been evaluated and designed in the context of threats from seismic activity, liquefaction, tsunami run-up, beach erosion, and storm wave runup. Therefore, the project is designed to protect and maintain adjacent coastal resources.

4. **The proposed use would be compatible with the land uses presently on the subject property.**

The project site is currently a vacant lot. The vacant lot is specifically intended for single-family beachfront development. Therefore, the proposed single family dwelling would be compatible with the land use presently on the subject property.

5. **The proposed use would be compatible with existing and future land uses within the sub-zone and the general area in which the proposed use would be located.**

The proposed beachfront single family dwelling is allowed in the RB-F subzone. The surrounding lots are developed with single family dwellings. Allowed future uses on the adjacent RB-F lots include single-family dwellings. Therefore, the proposed single family dwelling will be compatible with the surrounding existing single-family beachfront development and future land uses within the subzone and general area in which the proposed project would be located.

6. **There are adequate public services for the proposed use, including, but not limited to, fire and police protection, water, sanitation and public utilities and services to insure that the proposed use would not be detrimental to public health and safety.**

The project site is an infill property that has access to public services. The proposed development would be compatible with surrounding development and would not require significant expansion of existing public services. The surrounding development has adequate fire, police, water, sanitation, and utility services. Therefore, there are adequate public services for the proposed use to ensure that the proposed use will not be detrimental to public health and safety.

- 7. The proposed use will provide a type and level of public access consistent with the access policies and standards of the Oxnard Coastal Land Use Plan.**

The project site is located 136 feet to the south of an existing 24-foot wide public easement for access to the beach (Parcels Q and R, Tract 4380). The project will not impede public access to the beach. Therefore, the proposed project will provide public access consistent with the Oxnard Coastal Land Use Plan.

- 8. The proposed use would be appropriate in light of an established need, based upon the underlying goals and objectives of specific Oxnard Coastal Land Use Plan (LCP) policies, applicable to the proposed location.**

Continued construction of single-family residences on vacant beachfront lots indicates a market demand and active interest from residents who desire to live along the beach. The development is in the Oxnard Shores area, which the LCP designates specifically for urban residential uses. Therefore, the proposed use is appropriate in light of an established need, based upon the goals and objectives on the Oxnard Coastal Land Use Plan.

- 9. The proposed use would be consistent with all of the applicable policies of the certified Oxnard Coastal Land Use Plan.**

The project site is located on a vacant lot within a developed area. The project provides needed housing near the coast without endangering local resources. As discussed in the Staff Report (Section 6(b)), the proposed use is consistent with all of the applicable policies for single-family beachfront development in the certified Oxnard Coastal Land Use Plan.

SECTION 2. In accordance with Section 15303 (Class 3) of the State California Environmental Quality Act (CEQA) Guidelines, projects involving “new construction... of small structures” may be found to be exempt from the requirements of CEQA. The Planning Manager is hereby authorized and directed to file a Notice of Exemption with the Ventura County Clerk pursuant to Section 15602 of the State CEQA Guidelines within five (5) working days of passage, approval and adoption of this Resolution.

SECTION 3. Upon approval of Planning and Zoning Permit 20-400-01, the Community Development Director of the City of Oxnard after conducting the public hearing hereby repeals Community Development Director Resolution No. 18-400-02, Coastal Development Permit No. 18-400-02, allowing the development of a 5,789 square-foot residence at 1215 Capri Way, and said Resolution shall be of no further force and effect.

SECTION 4. Based on the findings set forth herein, the Community Development Director hereby approves Planning and Zoning Permit 20-400-01 (Coastal Development Permit), subject

to the attached conditions of approval.

SECTION 5. The decision of the Community Development Director shall be final unless an appeal of the action is filed in accordance with the provisions of Section 17-58(H) of the Oxnard City Code.

CONDITIONS OF APPROVAL

Note: The abbreviations below identify the City department or division responsible for determining compliance with these standard conditions. The first department or division listed has responsibility for compliance at plan check, the second during inspection and the third at final inspection, prior to issuance of a certificate of occupancy, or at a later date, as specified in the condition. If more than one department or division is listed, the first will check the plans or inspect the project before the second confirms compliance with the condition. The italicized code at the end of each condition provides internal information on the source of each condition: Some are standard permit conditions (e.g. *G-1*) while some are taken from environmental documents (e.g. *MND-S2*).

DEPARTMENTS AND DIVISIONS			
CA	City Attorney	PL	Planning Division
DS	Dev Services/Eng Dev/Inspectors	TR	Traffic Division
PD	Police Department	B	Building Plan Checker
SC	Source Control	FD	Fire Department
PK	Public Works, Landscape Design	CE	Code Compliance

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another. (PL, *G-1*).
2. This permit is granted for the plans dated May 14, 2020, (“the plans”) on file with the Planning Division. The project shall conform to the plans, except as otherwise specified in these conditions, or unless a minor change to the plans is approved by the Planning and Environmental Services Manager (“Planning Manager”). A minor change may be granted for minimal changes to the extent of use or size of structures or of the design, materials or colors of structures or masonry walls, found to be in substantial conformance with the approved plans. Substantial conformance shall be determined by the Planning and Environmental Services Manager. A Coastal Development Permit Amendment shall be required for substantial changes or increases in such items. (PL, *G-2*)
3. This permit shall automatically become null and void 24 months from the date of its issuance, unless Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements. A one time extension to this permit may be granted for a maximum of 12 additional months. The request for the extension shall be applied for prior to the expiration of the permit (PL, *G-3*)

4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Planning and Environmental Services Manager allows the Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements. (DS, G-4)
5. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and waives any challenge to the validity of the conditions and obligations stated therein. (CA, G-5)
6. Developer agrees, as a condition of adoption of this resolution, at Developer's own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process. (CA, G-6)
7. Any covenants, conditions, and restrictions (CC&Rs) applicable to the project property shall be consistent with the terms of this permit and the City Code. If there is a conflict between the CC&Rs and the City Code or this permit, the City Code or this permit shall prevail. (CA, G-7)
8. Developer shall complete the "Notice of Land Use Restrictions and Conditions" form, using the form provided by the City, for recording with the Ventura County Recorder. Before the City issues building permits, Developer shall submit the original completed, signed and notarized document, together with the required fees to the Planning and Environmental Services Manager. (PL, G-8)
9. Developer shall provide off-street parking for the project, including the number of spaces, stall size, paving, striping, location, and access, as required by the City Code. (PL/B, G-9)
10. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property. (PL/B, G-10)
11. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit. (B, G-11)
12. Developer shall not permit any combustible refuse or other flammable materials to be burned on the project property. (FD, G-12)
13. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health to be handled, stored or

used on the project property, except as provided in a permit issued by the Fire Chief. (FD, G-13)

14. If Developer, owner or tenant fails to comply with any of the conditions of this permit, the Developer, owner or tenant shall be subject to a civil fine pursuant to the City Code. (CA, G-14)
15. Prior to issuance of building permits, Developer shall correct all violations of the City Code existing on the project property for which the Code Compliance Division has open cases. (PL, G-15).
16. Prior to issuance of building permits, Developer shall execute an agreement, in a form approved by the City Attorney, to hold harmless, indemnify and defend the City, its City Council, and each member thereof, and every officer, employee, representative or agent of City, from any and all liability, claims, demands, actions, damages (whether in contract or tort, including personal injury, death at any time, or property damage), costs and financial loss, including all costs and expenses and fees of litigation or arbitration, that arise directly or indirectly from the City's approval of this permit or other permits; from construction of the project or any part thereof approved herein; and from land failure, erosion, inundation, or wave attacks on the subject property or on any property near or adjacent thereto, arising out of or resulting from or caused by work performed or authorized by Developer. (PL/CA, G-16)
17. The subject Coastal Development Permit shall not become effective until 10 working days have elapsed without appeal to the Planning Commission following the notice of the decision of the Director to the Developer. Such notice to the Developer shall be given by Planning Division staff as described by Sections 17-58 H through J of the Oxnard City Code. (PL, G-17)

LANDSCAPE STANDARD CONDITIONS

18. Prior to issuance of building permits or the proposed use is initiated, whichever comes first, Developer shall submit two copies of landscape and irrigation plans, along with the appropriate permit application and fees, to the Planning Division and obtain approval of such plans. (PK/DS, PK-2)
19. Prior to issuance of a certificate of occupancy, Developer shall install landscape and automatic irrigation systems that have been approved by Parks and Facilities Superintendent. (PK, PK-3)
20. Developer shall properly maintain landscape planting and all irrigation systems as required by the City Code and as specified by this permit. Failure of Developer to do so may result in the revocation of this permit and initiation of legal proceedings against Developer to ensure compliance. (PK, PK-4)

21. Developer shall install an irrigation system that includes a water sensor shut off device as a water conservation measure. (PK, PK-22)
22. Developer shall include a note on the Landscape Plans submitted to the Building and Engineering Division for a building permit that “all landscaping and irrigation comply with Ordinance No. 2822, which adopted the City of Oxnard Landscape Water Conservation Standards, and applicable water conservation requirements of the State of California”. (PK, PK-24)

LANDSCAPE SPECIAL CONDITIONS

23. Landscaping shall consist of (2) 8’ brown trunk *Washingtonia robustas*, with 5 gallon (minimum) colorful shrubs and colorful ground covers which conform to City Landscape requirements. (PK)

FIRE DEPARTMENT STANDARD CONDITIONS

24. All roof covering materials on the project property shall be of non-combustible or fire retardant materials approved by the Fire Chief and in compliance with the City Code. (FD, F-2)
25. All structures on the project property shall conform to the minimum standards prescribed in Title 19 of the California Code of Regulations. (FD, F-5)
26. The project shall meet the minimum requirements of the “Fire Protection Planning Guide” published by the Fire Department. (FD, F-6)
27. Developer shall provide automatic fire sprinklers as required by the City Code and shall contact the Fire Chief to ascertain the location of all connections. (FD, F-12)
28. Developer shall install a carbon monoxide detector on each level of the residence in accordance with the manufacturer’s specifications. The detector shall be hardwired with a battery backup. (FD, F-17)

FIRE DEPARTMENT SPECIAL CONDITIONS

29. Fire sprinkler coverage is required for:
 - a. Patios, overhangs or any other projections that are 48” or more from the structure.
 - b. Open areas beneath stairs that serve a habitable space or when that area is accessible for storage or has mechanical equipment.
 - c. The protection of the forced air unit when located in the attic or other areas that are normally inaccessible.

30. All emergency egress/Fire Department access windows or doors that serve any room that can be utilized for sleeping, shall have access to a public right-of-way without re-entering the structure.

POLICE DEPARTMENT STANDARD CONDITIONS

31. A condition of approval requires compliance with the Outdoor Lighting Code & Guideline
 - a. Outdoor lighting shall comply with Title 24, Part 6, of the California Code of Regulations: California's Energy Efficiency Standards for Residential and Nonresidential Buildings.
 - b. Unless approved as a specific exception to this guideline, all outdoor lighting shall be flat lens, full cut-off fixtures with the light source fully shielded with the exceptions:
 - i. Luminaires with a maximum output of 260 lumens per fixture, regardless of number of bulbs (equal to one 20-watt incandescent light), may be left unshielded provided the fixture has an opaque top to keep light from shining directly up.
 - ii. Luminaires that have a maximum output of 1,000 lumens per fixture, regardless of number of bulbs (equal to one 60-watt incandescent light) may be partially shielded provided the bulb is not visible, and the fixture has an opaque to keep light from shining directly up.
 - c. Oxnard City Code 16-320: Lighting within physical limits of the area required to be lighted shall not exceed seven foot-candles, nor be less than one foot-candle at any point. A light source shall not shine upon, or illuminate directly any surface other than the area required to be lighted. No lighting shall be of a type or in a location that constitutes a hazard to vehicular traffic, either on private property or on the abutting streets. The height of light standards shall not exceed 26 feet. To prevent damage from automobiles, standards shall be mounted on reinforced concrete pedestals or otherwise protected.
32. Lighting instruments shall be full cut-off and installed so that light does not directly illuminate property outside the project site. Instruments shall not create glare for motorists or pedestrians.
33. Should an alarm system be installed, it shall be compliant with Oxnard City Code 11-95 through 11-100. Motion detection burglary or intrusion alarm systems shall utilize "Dual Technology" sensors capable of differentiating between human movement and non-human movement.

34. Lighted street address fixture is required.

PLANNING DIVISION STANDARD CONDITIONS

35. Plans submitted by Developer with building permit applications shall show on the building elevation sheets all exterior building materials and colors, including product and finish manufacturer name, color name and number, and surface finish type (such as: stucco with sand finish, plaster with smooth finish) to be used in construction. (PL/B, PL-1)
36. Before the City issues building permits, Developer shall include a reproduction of all conditions of this permit as adopted by resolution of the Community Development Director in all sets of construction documents and specifications for the project. (PL, PL-3)
37. Before the City issues building permits, Developer shall provide to the Planning and Environmental Services Manager color photographic reductions (8 1/2" by 11") of full-size colored elevations and any other colored exhibit approved by the Planning Commission. Developer may retain the full-size colored elevations after the reductions are so provided. (PL, PL-4)
38. Developer acknowledges that because of population limitations placed on the City by the Air Quality Management Program, approval of this permit does not guarantee that the City will issue building permits. The City's issuance of building permits may be delayed as a result of implementation of an air quality plan. (PL, PL-5)
39. In order to minimize light and glare on the project property, all parking lot and exterior structure light fixtures shall be high cut-off type that divert lighting downward onto the property and shall not cast light on any adjacent property or roadway. (PL, PL-9)
40. During construction, Developer shall water the area to be graded or excavated prior to commencement of grading or excavation operations. Such application of water shall be at least twice per day and shall penetrate sufficiently to minimize fugitive dust during grading activities. (B/DS, PL-11)
41. During construction, Developer shall control dust by the following activities:
 - a. All trucks hauling graded or excavated material offsite shall be required to cover their loads as required by California Vehicle Code section 23114, with special attention to sub sections 23114(b)(2)(F), (e)(2) and (e)(4) as amended, regarding the prevention of such material spilling onto public streets and roads.
 - b. All graded and excavated material, exposed soils areas, and active portions of the construction site, including unpaved onsite roadways, shall be treated to prevent fugitive dust. Treatment shall include, but not necessarily be limited to, periodic watering, application of environmentally-safe soil stabilization materials, and/or roll-compaction as appropriate. Watering shall be done as often as necessary and reclaimed water shall be used whenever possible. (B/DS, PL-12)
42. Developer shall provide for dust control at all times during project property preparation and construction activities. (B/DS, PL-13)

43. Because of water limitations placed upon the City by its water providers, approval of this permit does not guarantee that the City will issue building permits. Issuance of building permits may be delayed as a result of implementation of a water conservation or allocation plan. (PL, *PL-15*)
44. Prior to issuance of building permits, Developer shall pay a document imaging fee for the planning files in an amount calculated by planning staff at the time of building permit review based on fees then in effect. (PL/B, *PL-16*).
45. Developer shall install all roof and building rain gutters and downspouts to integrate as closely as possible with building design elements, including matching adjacent building colors as closely as possible. Developer shall submit a plan and scheme for approval by the Planning Division Manager prior to issuance of building permits. (PL, *PL-18*)
46. Developer shall provide utility meters, mailboxes and address directories, placed in decorative cabinets and clustered for efficient access for residents and service persons. Developer shall coordinate placement and design of such items accordingly, with the Planning Division Manager, the appropriate utility service provider and the United States Postal Service, prior to issuance of building permits. (PL, *PL-19*)
47. Developer shall provide automatic garage door opener for the garage. (PL/B, *PL-20*)
48. Garages closer than 23 feet to the front property line shall have sectional roll-up garage doors. (PL/B, *PL-21*)
49. Additions and patio covers shall conform to the requirements of the R-BF zone setbacks, or as otherwise approved by this permit, and match the materials and style of the residence. (PL/B, *PL-27*)
50. Developer shall participate in the City's Public Art Program by paying the Public Art fee prior to issuance of building permits, in accordance with City Council Resolution No. 14,124. (PL, *PL-50*)
51. All construction activities shall occur only between the hours of 7:00 am to 6:00 pm Monday through Saturday in accordance with Section 7-188(D) of the Oxnard City Code.

PLANNING DIVISION SPECIAL CONDITIONS

52. Developer shall not obstruct pedestrian or vehicular traffic on Capri Way or the associated sidewalk during construction and maintenance activities. (PL)
53. Developer shall maintain the construction site free of litter and the accumulation of construction debris. (PL)

54. Developer shall paint utility meter panels to match structures upon which it is located. Such panels shall be located to take advantage of screening (e.g., landscaping or other building elements) from public right of ways, to the maximum extent feasible.
55. Prior to grading permit approval, Developer shall include on the grading plans a reproduction of all conditions of this permit pertaining to dust control requirements. (PL)
56. Developer shall construct the improvements on driven pilings in accordance with Exhibit 6 of the settlement agreement in Oxnard Shores Oceanfront Lot Owners Association, et al. v. City of Oxnard, et al. (PL/DS)
57. Developer acknowledges and agrees to complete the following steps to mitigate the impacts associated with pile driving:
 - a. Developer shall distribute a written notice to all property owners within a 300-foot radius of the subject property informing them of the upcoming pile driving and providing the name and contact information for the Foreman and/or Developer. This notice shall be distributed no less than 60 days prior to pile driving. The City shall furnish an updated mailing list with a 300-foot radius in an electronic format to the Developer within two weeks of the Developer requesting the mailing list. The City will not charge additional fees for the updated electronic mailing list. The Developer will be responsible for the costs associated with mailing the notifications. The Developer shall furnish a copy of the pile driving notification and a signed statement confirming mailed notices were sent to all property owners who were on the City furnished updated mailing list to the City at the preconstruction meeting referenced below. Developer shall also provide Planning Manager and Deputy Building Official with a written notification confirming that the notice has been completed prior to issuance of a building permit;
 - b. Prior to issuance of a building permit, Developer shall coordinate and attend a preconstruction meeting with the Building and Engineering Division to verify and review all pile driving requirements. Attendees shall include the pile driving/drilling Foreman, Developer, Deputy Inspector, Deputy Building Official and Case Planner. The request for this meeting shall be made to the Building and Engineering Division by the Developer or their designee and include a minimum 72 hours notice in advance of the meeting;
 - c. Developer shall prepare and submit a predrilling and noise mitigation plan for approval during the plan review process. This plan shall consist of: 1) an identification of methods used to reduce the driving duration, force, and resulting vibration impacts to surrounding properties during pile driving; and 2) an identification of methods used to reduce the noise impacts to surrounding properties during pile driving, including detailed description of any noise

reduction techniques or equipment proposed, as verified by an acoustical report, technical report, or other objective data;

- d. Developer shall limit pile driving activities to the hours of 9:00 a.m. through 4:30 p.m., Monday through Friday; and
 - e. Developer acknowledges that the approval of the Building Official is conditional and may be revoked immediately if the aforementioned requirements are not completed and strictly adhered to during construction. (PL/B, PL-50)
58. Developer shall provide breakaway panels painted to match the structure that cover approximately 50% of the linear area between the first floor of the structure and the sand below in order to screen the pilings. (PL)
59. Developer shall provide mailbox detail that is theme-coordinated with the architecture of the building, subject to approval by the Planning and Environmental Services Manager. (PL)
60. Developer shall remove any and all graffiti from the project premises, including but not limited to graffiti within the building, within 24 hours of its appearance. The surface of such affected areas shall be matched to blend in with the underlying colors and/or design, and shall not look like a paint patch. (PL)
61. The Permittee shall comply with the provisions of applicable VCAPCD Rules and Regulations, which include but are not limited to, Rule 50 (Opacity), Rule 51 (Nuisance), Rule 55 (Fugitive Dust), and Rule 55.1 (Removal of Visible Roadway Accumulations). (PL)
62. Prior to issuance of demolition permits for any structure on the site, Developer shall provide evidence of notifying the Air Pollution Control District of such demolition. Demolition and/or renovation activities shall be conducted in compliance with APDC regularities regarding Asbestos (Rule 63.7). (MND, C-8)
63. Plans submitted by Developer with building permit applications shall include mailbox design with details that incorporate architectural design features that complement the building, subject to approval by the Planning and Environmental Services Manager. (PL)
64. Throughout construction, Developer shall sweep adjacent streets and roads at least once per day, preferably at the end of the day, so that any visible soil material and debris from the construction site is removed from the adjacent roadways. (PL)
65. The proposed hot tub shall be located on the first floor deck on the ocean side and shall be architecturally compatible with the deck. No spa or hot tub, subject to the requirement for Building Permits, shall be constructed on the roof deck. All equipment shall be subject to the sound regulations provided in Article XI of the Oxnard City Code. Revised plans showing the relocation of the hot tub shall be provided prior to the issuance of Building Permits.

66. The material used to construct the deck and balcony railing on the front elevation facing Capri Way shall be an opaque material.

ENVIRONMENTAL RESOURCES DIVISION

67. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused or recycled, Developer shall complete and submit a "City of Oxnard C&D Environmental Resources Management & Recycling Plan" ("Plan") to the City for review and approval. The Plan shall provide that at least 50% of the waste generated on the project be diverted from the landfill. The Plan shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The Plan shall be submitted to and approved by the Environmental Resources Division prior to issuance of a building permit. The Plan shall include the following information: material type to be recycled, reused, salvaged or disposed; estimated quantities to be processed; management method used; destination of material including the hauler name and facility location. Developer shall use the Plan form.
68. Developer shall follow the approved "City of Oxnard C&D Environmental Resources Management & Recycling Plan" and provide for the collection, recycling, and/or reuse of materials (i.e., concrete, wood, metal, cardboard, green waste, etc.) and document results during construction and/or demolition of the proposed project. After completion of demolition and/or construction, Developer shall complete and submit the "City of Oxnard C&D Environmental Resources Management & Recycling Report For Work Completed" ("Work Completed Report") and provide legible copies of weight tickets, receipts, or invoices for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, Developer shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused, and the project generating the discarded materials. Developer shall submit and obtain approval of the Work Completed Report prior to issuance of a certificate of occupancy.
69. Developer shall arrange for materials collection during construction, demolition, and occupancy with the City's Environmental Resources Division or Developer shall arrange for self-hauling. Regardless of hauling methods, all materials collected must be conveyed to the Del Norte Regional Recycling and Transfer Station.
70. Developer shall dispose of sewage and solid waste from the project by City's wastewater and solid waste systems in a manner approved by the City Engineer.

BUILDING AND ENGINEERING DIVISION STANDARD CONDITIONS

71. Developer shall pay plan check and processing fees in effect at the time of construction plan submittal and shall pay development fees, encroachment permit fees, and other applicable fees in effect at permit issuance. (DS-1)

72. Developer shall protect building pads from inundation during a 1% chance (100year) storm. (DS-5)
73. Developer shall replace all broken, uplifted, or missing curb, gutter, or sidewalk along the street frontage(s) of the project. (DS-6)
74. Before connecting the project to existing sewer and water service laterals, Developer shall inspect (pothole or video) existing lateral(s) and arrange for City staff to view inspection results. Developer shall make repairs to such facilities as determined necessary by City staff. Developer shall bring all existing water services into compliance with current City standards including removal of unused water or sewer laterals by disconnection at the main. (DS-7)
75. Curb cut widths and design shall conform to City ordinances, standards, and policies in effect at the time City issues an encroachment permit. (DS-9)
76. The conditions of this resolution shall prevail over all omissions, conflicting notations, specifications, dimensions, typical sections, and the like, that may or may not be shown on the improvement plans. (DS-21)
77. Developer shall pay the cost of all inspections of onsite and offsite improvements. (DS-22)
78. Prior to beginning construction, Developer shall designate in writing an authorized agent who shall have complete authority to represent and to act for Developer. The authorized agent shall be present at the work site whenever work is in progress. Developer or the authorized agent shall make arrangements acceptable to City for any emergency work. When City gives orders to the authorized agent to do work required for the convenience and safety of the general public because of inclement weather or any other cause, and the orders are not immediately acted upon by the authorized agent, City may do or have such work done by others at Developer's expense. (DS-24)
79. Developer shall dispose of sewage and solid waste from the project by City's wastewater and solid waste systems in a manner approved by the City Engineer. (DS-38)
80. Developer shall be responsible for and bear the cost of replacement of all existing survey monumentation (e.g., property corners) disturbed or destroyed during construction, and shall file appropriate records with the Ventura County Surveyor's Office. (DS-64)
81. Developer shall provide three City refuse containers for each lot or unit. An alternative number of containers may be approved by the Environmental Resources Division. (DS-67)

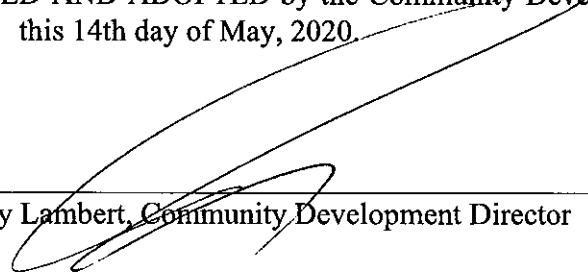
BUILDING AND ENGINEERING DIVISION SPECIAL CONDITIONS

82. Developer is hereby notified that the Federal Emergency Management Agency ('FEMA') is currently processing a revised Federal Insurance Rate Map ('FIRM') that is likely to significantly raise the Coastal Base Flood Elevation applicable to this property. It is

currently unknown when the revised FIRM will become effective but a draft version has been published by FEMA. Any rise in the Base Flood Elevation will affect the minimum allowed elevation of the finished floor for this structure. Revised minimum finished floor elevations will affect the ability of this structure to be constructed as approved by this permit when the revised FIRM becomes effective, unless the Developer has performed substantial work and incurred substantial liabilities in good faith reliance based upon the permit prior to the date that the revised FIRM becomes effective. (DS)

83. The Developer shall take sufficient precautions during construction to prevent ocean wave run-up from passing through the project site and into the street right-of-way. Failure to take adequate precautions will result in Developer being assessed street cleanup costs. (DS)
84. The Developer's architect and engineer shall provide written certification that the structure complies with all FEMA requirements. This shall include the filing of a FEMA "elevation certificate." (DS)
85. Developer shall repair and/or replace any existing broken or damaged sidewalk, curb gutter or asphalt paving adjacent to property as directed by the Construction Services Inspector. (DS)
86. Driveway shall be designed and constructed in general conformance with City Standard Plate No. 115. (DS)
87. Developer shall construct a level concrete pad for storage of two refuse containers out of view of the public street. Developer shall provide a paved path from the storage location to the street curb. All gates or doors along the path shall be constructed with a minimum of 36 inches of clear space to allow passage of the City issued containers. (DS)

PASSED AND ADOPTED by the Community Development Director of the City of Oxnard on this 14th day of May, 2020.



Jeffery Lambert, Community Development Director

RESOLUTION NO. PZ 23-400-01

A RESOLUTION OF THE COMMUNITY DEVELOPMENT DIRECTOR OF THE CITY OF OXNARD APPROVING PLANNING AND ZONING PERMIT NO. 23-400-01 (COASTAL DEVELOPMENT PERMIT), TO AUTHORIZE THE ADDITION OF A ROOFTOP SPA TO A 5,284 SQUARE-FOOT TWO-STORY SINGLE-FAMILY RESIDENCE WITH A 1,095 SQUARE FOOT ROOFTOP DECK LOCATED AT 1215 CAPRI WAY (APN: 191-0-091-285) WITHIN THE OXNARD SHORES NEIGHBORHOOD IN THE BEACHFRONT RESIDENTIAL (R-BF) ZONING DISTRICT AND WITHIN THE COASTAL ZONE, SUBJECT TO CERTAIN FINDINGS AND CONDITIONS. FILED BY PROPERTY OWNERS BEN AND MICHELLE MANDELBAUM.

WHEREAS, on February 21, 2023, Ben and Michelle Mandelbaum (the “**Applicant**” and/or “**Developer**”) submitted a request for a Coastal Development Permit, pursuant to Oxnard City Code Section 17-57 through 17-58, to add an approximately 75 square foot, 42 inch tall spa to the rooftop deck. The site is a beachfront lot located at 1215 Capri Way and is currently developed with a 5,284 square foot two-story, single-family house that has a 1,095 square foot rooftop deck.

WHEREAS, the Planning and Environmental Services Division has completed a preliminary environmental assessment of the Project in accordance with the California Environmental Quality Act (CEQA) and determined that the Project is subject to a Class 1 Categorical Exemption (Section 15301(Existing Facility)). Further, the project does not trigger any of the Exceptions to the Exemptions (Section 15300.2) to defeat the Exemption:

- (a) Class 1 applies to existing properties. The changes being made to the development are insignificant to the overall development; therefore, Staff has determined that it qualifies for an exemption.

The project site is located within the 2030 General Plan/Local Coastal Plan land use designation of Residential Existing (REX) within the Residential Beachfront (R-BF) zone. The Project is surrounded by residential development to the north, south and east. The project site and adjacent sites do not contain any known environmental resource of hazardous or critical concern. Therefore, the project will have no impact on an environmental resource of hazardous or critical concern.

- (b) Cumulative Impact. All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.

The proposed Coastal Development Permit request for construction of a 5,284 square foot, two-story, single-family house with associated amenities and infrastructure on a vacant 5,600 square foot beachfront lot is consistent with the 2030 General Plan, Local Coastal Plan and the Oxnard City Code and is compatible with the physical scale and character of other residential development

in the project area. Any projects requiring discretionary approval would be analyzed with the 2030 General, Local Coastal Plan and the Oxnard City Code for consistency and CEQA for any potential impacts. Therefore, the project will have no significant cumulative impact.

- (c) Significant Effect. A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.

The proposed Coastal Development Permit request for the addition of a spa located on the rooftop deck of a 5,284 square foot, two-story, single-family house on a 5,600 square foot beachfront lot will not result in an unusual circumstance that would cause the project to have a significant effect on the environment. The project will not alter the residential character of the surrounding development and the property does not contain any unusual environmental characteristics as the property is surrounded on all sides by residential development. Therefore, the project will not have a significant effect on the environment due to unusual circumstances.

- (d) Scenic Highways. A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway. This does not apply to improvements, which are required as mitigation by an adopted negative declaration or certified EIR.

The project is not located in or adjacent to a state designated scenic highway.

- (e) Hazardous Waste Sites. A categorical exemption shall not be used for a project located on a site, which is included on any list compiled pursuant to Section 65962.5 of the Government Code.

The proposed project site is not included on any list compiled pursuant to Section 65962.5 of the Government Code.

- (f) Historical Resources. A categorical exemption shall not be used for a project, which may cause a substantial adverse change in the significance of a historical resource.

The project site does not contain an existing or potential landmark, point of interest, or historic resource, and it is not located within an existing, proposed, or potential Historic District. Therefore, the proposed project will not cause a substantial adverse change in the significance of a historical resource.

WHEREAS, on August 24, 2023, the Community Development Director of the City of Oxnard (“**Director**”) conducted a duly noticed public hearing to consider an application for Planning and Zoning Permit No. 23-400-01 (Coastal Development Permit), filed by Ben Mandelbaum in accordance with 17-57(B)(5) of the Oxnard City Code; and

WHEREAS, the Community Development Director finds that the applicant agrees with the necessity of and accepts all elements, requirements, and conditions of this Resolution as being a reasonable manner of preserving, protecting, providing for, and fostering the health, safety, and welfare of the citizenry in general and the persons who work, visit or live in this development in particular.

NOW, THEREFORE, BE IT RESOLVED that the Community Development Director of the City of Oxnard:

SECTION 1. Based on the entire record before the Community Development Director and all written and oral evidence presented, the Community Development Director finds, after due study, deliberation and public hearing that the following circumstances exist:

- 1. The proposed use is conditionally permitted within the subject sub-zone and complies with all of the applicable provisions of Chapter 17 of the Oxnard City Code.**

The proposed modification to the approved single-family beachfront residence is permitted in the R-BF sub-zone with a Coastal Development Permit, per Sections 17-57(I) and 17-25(C)(1). As discussed in the Staff Report, the project complies with all applicable provisions of Chapter 17 of the Oxnard City Code.

- 2. The proposed use would not impair the integrity and character of the sub-zone in which it would be located.**

The subject sub-zone is specifically designed for the development of single-family beachfront residences. The project site is a vacant lot that is generally surrounded by single-family residences. The development will be compatible with existing single-family beachfront residences in the surrounding area, in regard to its size, bulk, scale, and use. Therefore, the project will not impair the integrity and character of the R-BF sub-zone.

- 3. The subject site in terms of location and intensity of use would be physically suitable and would protect and maintain adjacent coastal resources for the land use being proposed.**

The project site consists of a two-story 5,284 square foot house with a 797 square foot garage and 1,095 square foot rooftop deck. As discussed in the Staff Report, the project meets all pertinent development standards, such as building height and protection of public beach access, and the project has been evaluated and designed in the context of threats from seismic activity, liquefaction, tsunami run-up, beach erosion, and storm wave runup. Therefore, the project is designed

to protect and maintain adjacent coastal resources.

4. The proposed use would be compatible with the land uses presently on the subject property.

The site is a beachfront lot located at 1215 Capri Way and is currently developed with a 5,284 square foot two-story, single-family house that has a 1,095 square foot rooftop deck. The lot is specifically intended for single-family beachfront development. Therefore, the proposed alteration to the existing single family dwelling would be compatible with the land use presently on the subject property.

5. The proposed use would be compatible with existing and future land uses within the sub-zone and the general area in which the proposed use would be located.

The existing beachfront single family dwelling is allowed in the RB-F subzone. The surrounding lots are developed with single family dwellings. Allowed future uses on the adjacent RB-F lots include single-family dwellings. Therefore, the proposed single family dwelling will be compatible with the surrounding existing single-family beachfront development and future land uses within the subzone and general area in which the proposed project would be located.

6. There are adequate public services for the proposed use, including, but not limited to, fire and police protection, water, sanitation and public utilities and services to insure that the proposed use would not be detrimental to public health and safety.

The project site is a single-family home that has access to public services. The proposed alteration would be compatible with surrounding development and would not require significant expansion of existing public services. The surrounding development has adequate fire, police, water, sanitation, and utility services. Therefore, there are adequate public services for the proposed use to ensure that the proposed use will not be detrimental to public health and safety.

7. The proposed use will provide a type and level of public access consistent with the access policies and standards of the Oxnard Coastal Land Use Plan.

The project site is located 136 feet to the south of an existing 24-foot wide public easement for access to the beach (Parcels Q and R, Tract 4380). The project will not impede public access to the beach. Therefore, the proposed project will provide public access consistent with the Oxnard Coastal Land Use Plan.

8. The proposed use would be appropriate in light of an established need, based upon the underlying goals and objectives of specific Oxnard Coastal Land Use Plan (LCP) policies, applicable to the proposed location.

The current use is residential and the proposed alteration does not trigger a change of use, so the project is in compliance with the goals and objectives of the Oxnard Coastal Land Use Plan.

9. The proposed use would be consistent with all of the applicable policies of the certified Oxnard Coastal Land Use Plan.

The project site is an existing residence. The proposed alterations do not change the existing use; therefore, the use remains consistent with the Oxnard Coastal Land Use Plan.

SECTION 2. In accordance with Section 15301 (Existing Facility) of the State California Environmental Quality Act (CEQA) Guidelines, projects involving “negligible or no expansion of use beyond that existing at the time of the lead agency’s determination” may be found to be exempt from the requirements of CEQA. The Planning Manager is hereby authorized and directed to file a Notice of Exemption with the Ventura County Clerk pursuant to Section 15602 of the State CEQA Guidelines within five (5) working days of passage, approval and adoption of this Resolution.

SECTION 3. Upon approval of Planning and Zoning Permit 23-400-01, the Community Development Director of the City of Oxnard after conducting the public hearing hereby repeals Community Development Director Resolution No. 20-400-01, Coastal Development Permit No. 20-400-01, allowing the development of a 5,789 square-foot residence at 1215 Capri Way, and said Resolution shall be of no further force and effect.

SECTION 4. Based on the findings set forth herein, the Community Development Director hereby approves Planning and Zoning Permit 23-400-01 (Coastal Development Permit), subject to the attached conditions of approval.

SECTION 5. The decision of the Community Development Director shall be final unless an appeal of the action is filed in accordance with the provisions of Section 17-58(H) of the Oxnard City Code.

CONDITIONS OF APPROVAL

Note: The abbreviations below identify the City department or division responsible for determining compliance with these standard conditions. The first department or division listed has responsibility for compliance at plan check, the second during inspection and the third at final inspection, prior to issuance of a certificate of occupancy, or at a later date, as specified in the condition. If more than one department or division is listed, the first will check the plans or inspect the project before the second confirms compliance with the condition. The italicized code at the end of each condition provides internal information on the source of each condition: Some are standard permit conditions (e.g. *G-1*) while some are taken from environmental documents (e.g. *MND-S2*).

DEPARTMENTS AND DIVISIONS			
CA	City Attorney	PL	Planning Division
DS	Dev Services/Eng Dev/Inspectors	TR	Traffic Division
PD	Police Department	B	Building Plan Checker
SC	Source Control	FD	Fire Department
PK	Public Works, Landscape Design	CE	Code Compliance

GENERAL PROJECT CONDITIONS

1. This permit is granted for the property described in the application on file with the Planning Division, and may not be transferred from one property to another. (PL, *G-1*).
2. This permit is granted for the plans dated August 24, 2023, (“the plans”) on file with the Planning Division. The project shall conform to the plans, except as otherwise specified in these conditions, or unless a minor change to the plans is approved by the Planning and Environmental Services Manager (“Planning Manager”). A minor change may be granted for minimal changes to the extent of use or size of structures or of the design, materials or colors of structures or masonry walls, found to be in substantial conformance with the approved plans. Substantial conformance shall be determined by the Planning and Environmental Services Manager. A Coastal Development Permit Amendment shall be required for substantial changes or increases in such items. (PL, *G-2*)
3. This permit shall automatically become null and void 24 months from the date of its issuance, unless the Developer has diligently developed the proposed project, as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements. A one time extension to this permit may be granted for a maximum of 12 additional months. The request for the extension shall be applied for prior to the expiration of the permit (PL, *G-3*)
4. All required off-site and on-site improvements for the project, including structures, paving, and landscaping, shall be completed prior to occupancy unless the Planning and Environmental Services Manager allows the Developer to provide security or an executed agreement approved by the City Attorney to ensure completion of such improvements. (DS, *G-4*)
5. By commencing any activity related to the project or using any structure authorized by this permit, Developer accepts all of the conditions and obligations imposed by this permit and

- waives any challenge to the validity of the conditions and obligations stated therein. (CA, G-5)
6. Developer agrees, as a condition of adoption of this resolution, at Developer's own expense, to indemnify, defend and hold harmless the City and its agents, officers and employees from and against any claim, action or proceeding to attack, review, set aside, void or annul the approval of the resolution or any condition attached thereto or any proceedings, acts or determinations taken, done or made prior to the approval of such resolution that were part of the approval process. (CA, G-6)
 7. Any covenants, conditions, and restrictions (CC&Rs) applicable to the project property shall be consistent with the terms of this permit and the City Code. If there is a conflict between the CC&Rs and the City Code or this permit, the City Code or this permit shall prevail. (CA, G-7)
 8. Developer shall complete the "Notice of Land Use Restrictions and Conditions" form, using the form provided by the City, for recording with the Ventura County Recorder. Before the City issues building permits, Developer shall submit the original completed, signed and notarized document, together with the required fees to the Planning and Environmental Services Manager. (PL, G-8)
 9. Developer shall provide off-street parking for the project, including the number of spaces, stall size, paving, striping, location, and access, as required by the City Code. (PL/B, G-9)
 10. Before placing or constructing any signs on the project property, Developer shall obtain a sign permit from the City. Except as provided in the sign permit, Developer may not change any signs on the project property. (PL/B, G-10)
 11. Developer shall obtain a building permit for any new construction or modifications to structures, including interior modifications, authorized by this permit. (B, G-11)
 12. Developer shall not permit any combustible refuse or other flammable materials to be burned on the project property. (FD, G-12)
 13. Developer shall not permit any materials classified as flammable, combustible, radioactive, carcinogenic or otherwise potentially hazardous to human health to be handled, stored or used on the project property, except as provided in a permit issued by the Fire Chief. (FD, G-13)
 14. If Developer, owner or tenant fails to comply with any of the conditions of this permit, the Developer, owner or tenant shall be subject to a civil fine pursuant to the City Code. (CA, G-14)
 15. Prior to issuance of building permits, Developer shall correct all violations of the City Code existing on the project property for which the Code Compliance Division has open cases. (PL, G-15).

16. Prior to issuance of building permits, Developer shall execute an agreement, in a form approved by the City Attorney, to hold harmless, indemnify and defend the City, its City Council, and each member thereof, and every officer, employee, representative or agent of City, from any and all liability, claims, demands, actions, damages (whether in contract or tort, including personal injury, death at any time, or property damage), costs and financial loss, including all costs and expenses and fees of litigation or arbitration, that arise directly or indirectly from the City's approval of this permit or other permits; from construction of the project or any part thereof approved herein; and from land failure, erosion, inundation, or wave attacks on the subject property or on any property near or adjacent thereto, arising out of or resulting from or caused by work performed or authorized by Developer. (PL/CA, G-16)
17. The subject Coastal Development Permit shall not become effective until 10 working days have elapsed without appeal to the Planning Commission following the notice of the decision of the Director to the Developer. Such notice to the Developer shall be given by Planning Division staff as described by Sections 17-58 H through J of the Oxnard City Code. (PL, G-17)

PLANNING DIVISION SPECIAL CONDITIONS

18. Except as modified by this request, all permit conditions of Resolution No. PZ 20-400-01 (20-400-01 (Coastal Development Permit)), shall remain in full force and effect. (PL)
19. Condition of Approval 65 of Resolution 20-400-01 shall be deleted.

PASSED AND ADOPTED by the Community Development Director of the City of Oxnard on this 24th day of August, 2023.

Maureen Tamuri, Interim Community Development Director